



# **STRATEGIC PLANNING AND DEVELOPMENT COMMITTEE MEETING**

**ATTACHMENTS UNDER SEPARATE COVER**

**7.30 PM, TUESDAY 8 JUNE 2021**

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**ATTACHMENTS UNDER SEPARATE COVER****PD/5.1/21.06****Heritage Assessment - Adoption**

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WAVERLEY  
COUNCIL

# WAVERLEY COUNCIL HERITAGE POLICY

## VOLUME I

June 2021 (Draft)

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## PART 1: OVERVIEW OF HERITAGE ASSESSMENT



## EXECUTIVE SUMMARY

It has been over 15 years since the last Waverley Heritage Policy was prepared. Over the past 24 months, Council's heritage staff conducted a comprehensive and holistic review of the municipality's heritage with a view to updating the 2012 Heritage Policy and Waverley's Local Environment Plan Schedule 5 Environmental Heritage list. The Heritage Policy and Schedule have been reviewed based on field investigation, historical research, the growing availability of archival information available via improved digital resources and the increased appreciation of Inter-War architecture. Much insight and a wealth of stories about Waverley's development history, architecture and people have been revealed.

Applying the assessment criteria for determining cultural significance established by the NSW Heritage Council, the current draft Heritage Assessment proposed and placed on public exhibition for 13 weeks the following inclusions and amendments to Schedule 5:

- **4 New Urban Conservation Areas (UCAs):**
  - Bondi O'Brien Estate
  - Bondi Basin Inter-War
  - Avoca Estate
  - Bondi Road
- **3 Amended UCAs:**
  - Yanko/Lugar Brae – formerly Evans St
  - Charing Cross
  - Grafton Street
- **1 reduced UCA:**
  - Palmerston
- **1 new Landscape Conservation Area (LCA):**
  - Dickson Estate (King St, Stephen St and Ewell St, Bondi)
- **1 amended LCA:**
  - South Bronte Headland-Calga Reserve
- **47 new individually listed items** not currently captured in any heritage register
- **1 Heritage Tree site**



Proposed changes to Schedule 5 listings emphasised the use of Heritage Conservation Areas (HCAs). HCA is an overarching term that includes both Urban Conservation Areas (typically built form) and Landscape Conservation Areas (which could include landscape structures such as sandstone walls, streetscapes of established trees or other significant plantings). Identification of significant items worthy of inclusion in HCAs has limited the increase in individual listings. Past experience in Waverley of managing change within HCAs has shown that they achieve more cohesive integration of new works across neighbourhoods. This reduces the erosion of established character that is of historic and cultural significance.

The current review has considered more than 750 sites identified by precinct committees and Council survey. That number was reduced to 47 items assessed as being of heritage significance and not previously included on Schedule 5. Of the items not included for individual listing, many are within existing or proposed UCAs. As an outcome of this review, a series of recommendations that aim to highlight Waverley's rich and varied history are proposed. These include updating the municipality's Schedule 5 list and creating educational initiatives to reveal stories that communicate the importance of heritage to the local community.

## Background

Feedback from public exhibition of the draft Heritage Assessment 2020 revealed that a majority of the community hold the established historical character of Waverley in high esteem and are strongly supportive of its conservation. The challenge now is how to acknowledge heritage as an integral and defining part of Waverley's character so that what is significant is preserved for future generations.

In order to encourage this, the value of conserving heritage needs to be communicated to the community. The LGA's stories can be told, and heritage protected, in a number of ways. One way to do this is ongoing heritage interpretation, telling the stories of the people who lived in, worked in and visited the area. Establishing effective guidelines to manage change in historic streetscapes is also key. Another way is to create HCAs for inclusion on Schedule 5. Queens Park's streetscapes – protected by community actions to have them included in an HCA – are a much-loved testament to the value of conservation strategies. Identifying individual heritage items for listing also helps keep Waverley's architectural history and character and the stories of the people who lived here alive. If these tasks are done well, the area's heritage will be embraced, celebrated and conserved. In highlighting Waverley's rich history, heritage should be seen as making a positive contribution to and a necessary element of the retention of the area's character and significance.

Among the things that have changed since the last heritage review is the way some styles of architecture have become more celebrated. Inter-War flat buildings – most of which are nearing 100 years old – are one such example of an architectural type and style now being viewed with significant affection. There is also a greater understanding of the role particular types of architecture have played in the area's evolution, what that built form tells us about the evolution of Sydney's urban form over time and how their history connects with the wider social context.

Inter-War flat buildings played an important role in the formation of Waverley. Federation of the Australian colonies at nearby Centennial Park in 1901 awoke a profound and newfound national pride that sought a unique identity. Part of that identity was Federation architecture, featuring Australian motifs and wide verandas that acknowledged the intensity of the climate. We no longer built houses – Victorian terraces – for the British climate. Waverley had many elements that helped to define the national character: a population of colonial leaders and artists who had made the LGA its home (including Robert Lowe, Henry Parkes, Julian Ashton and Raynor Hoff); emerging beach culture, space to build, proximity to transport and city and, as the century moved on, a new type of building stock – the Inter-War residential flat building. It became a cornerstone of the prolific growth of Sydney in the Inter-War period, especially in the eastern beaches and in particular at Waverley. Coupled with the advent of Company land titles, this building type widened the opportunity for home ownership. Labour law reforms, which reduced working hours especially on weekends, created more leisure time, and beach-going tourism boomed (thanks to the famed Bondi tram and the legalizing of ocean swimming in 1902).

These social and economic reforms, at that time in history, impacted significantly on the character of Waverley. In some areas the change was dramatic – most significantly in the Bondi basin. Much of the central and northern part of the basin remained protected from early development because of massive sand dunes that remained untouched into the early 20<sup>th</sup> century. During the first two decades of the 20th century the sand hills were progressively levelled, initially for Federation housing and then for residential flat buildings and semi-detached housing in the years between the two World Wars. The Inter-War flat buildings became the new face of Bondi as development tamed the powerful forces of nature. Inter-War flats, of which the Art Deco style is perhaps the best known, continue to make an important contribution to the distinctive character of Waverley.

Ongoing change and development in Waverley must be well-considered to ensure that what is historically significant is thoughtfully conserved. In some parts of the municipality, there has been a loss of particular architectural styles over time, making the surviving examples rare and even more important. Hence, a new UCA is proposed in the Avoca Street area at Bondi to



conserve the late 19th and early 20th century streetscapes that remain largely intact. Many such streetscapes have suffered from poorly resolved additions and been altered to their detriment in other parts of Waverley. The advent of private vehicles has also degraded streetscapes with the addition of front carports.

This Heritage Assessment highlights areas and items that are considered significant. The Assessment has a two-fold purpose: envisioning and providing statutory protection. It will inform an update of Schedule 5-Environmental Heritage, as part of a comprehensive review of the LEP. Schedule 5, which lists all heritage items, HCAs and places or items of Aboriginal or archaeological significance identified in the LGA, is required to undergo ongoing update and change.

In this Assessment, a focus has been placed on utilizing HCAs where possible. This helps preserve streetscapes of heritage significance, maintains the character of an area, conserves the architectural history and historic tree canopies and allows for change in a managed way that protects what is significant. Items of individual heritage significance have also been recommended, selected through a strict application of the Heritage Council's criteria for listing. It resulted in a reduced list of 47 items (reduced from 750 potential items), which was further reduced to 47 items after peer review by a panel of external heritage experts, with some items removed from the list and other included in joint listings. Other heritage items were included in conservation areas, which will help guide their future development.

The proposed additional conservation areas and individual items will add to Waverley's 17 existing UCAs, 52 LCAs and about 500 individual items that are currently included in Schedule 5. The existing HCAs (which include UCAs and LCAs - both of which can co-exist in the same area, for example in Queens Park and Grafton Street) are good precedents for understanding the value of the heritage protection measures proposed in this Assessment. For example, the Queens Park and Mill Hill HCAs have over time become highly valued for their heritage character while still enabling adaptive change and development in a considered way that protects what is significant. Many independent studies, including those noted by the NSW Heritage Council in its factsheet *Heritage Listing Explained: What It Means for You*, have found that heritage-listed properties with well-maintained features attract premium prices. Period features and other heritage attributes often feature prominently in advertising because of the appeal they hold for the public.

The preparation of the Heritage Assessment began two years ago, and was endorsed for public exhibition by Council in May 2020. It was opened to public feedback from the community and

key stakeholders on Council's Have Your Say website for a total of 13 weeks, closing on October 25, 2020. Of the feedback received by Council, 70 per cent were in support of its recommendations. All recommendations in the Assessment – including those that were contested during public feedback – were presented for peer review by a panel of independent heritage experts with a community representative that was endorsed by Council in November 2020. The panel assessed and deliberated on the final individual items and HCAs for inclusion in an updated Schedule 5 list over three panel meetings in March 2021. Their comments have been incorporated into this updated Assessment, now forming the draft Heritage Policy, for the purposes of informing a Planning Proposal with the intention of amending the LEP. The proposed heritage list embraces history, character and context – the cornerstones of what makes Waverley unique.

## 1 INTRODUCTION

Waverley Council is required to maintain a list of heritage items and HCAs that are significant to the local area under the LEP 2012 (Schedule 5). The last full Waverley heritage assessment occurred in 15 years ago and informed the current Waverley Heritage Policy 2012. An updated Heritage Assessment has now been prepared and exhibited, and when finally gazetted, it will become the new Waverley Heritage Policy.

The map below shows the Assessment study area, which includes all of the Waverley Local Government Area, which is Sydney's second oldest LGA and is now over 160 years old.



**Study Area: Waverley LGA**

## 1.1 Study Aims

The aims of the Waverley Heritage Assessment were to:

- Identify, analyse and assess the cultural heritage of the Waverley LGA;
- Conduct ongoing research to help guide conservation of Waverley's heritage character;
- Recommend heritage promotions; and
- Educate and inform Waverley's residents about the heritage of the LGA and why and how it needs protection.

The study identified and assessed previously unidentified individual items and HCAs of notable heritage significance not included in the existing Schedule 5-Environmental Heritage LEP 2012.

## 1.2 Methodology

The Assessment was informed by best-practice standards and guidelines used for determining heritage significance established by the NSW Heritage Council, Heritage Office and NSW Department of Planning, Industry and Environment, as set out in the NSW Heritage Manual. It has also been prepared in accordance with the national best-practice standards for assessment contained in the Burra Charter (Australia ICOMOS, 2013).

The **Burra Charter** defines significance as being of:

*“... aesthetic, historic, scientific, social or spiritual value for past, present or future generations. Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects. Places may have a range of values for different individuals or groups.”*

To determine whether sites have heritage significance, and therefore warrant conservation or heritage listing, each site has been assessed against the seven NSW criteria of heritage significance as set out in the NSW Heritage Manual:

**Criterion (a):** An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area);

**Criterion (b):** An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW cultural or natural history (or the cultural or natural history of the local area);

**Criterion (c):** An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area);

**Criterion (d):** An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons;

**Criterion (e):** An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the culture or natural history of the local area);

**Criterion (f):** An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area);

**Criterion (g):** An item is important in demonstrating the principal characteristics of a class of NSW's cultural or natural places or environments.

Using Heritage Office guidelines, data provided by the Waverley Architectural Mapping Project, historical research and submissions from Waverley Precinct Committees, Council's Heritage team developed a systematic approach to identifying and assessing heritage. The WAMP, which began in 2018, highlighted items of potential heritage significance. These items were reviewed through site visits, desktop assessment or a combination of both. Consideration with comparable precincts was also reviewed. This visual assessment was supported by vigorous research using newly released digital information, maps and Dowd's *History of Waverley*.

A detailed history and inventory sheet was prepared for each proposed UCA or LCA. The inventory sheets include a full history, a statement of significance and the reasons for each listing. A summary of each proposed UCA, LCA and individual item was included in the draft Heritage Assessment to help emphasize what is important about the area or item proposed for inclusion on Schedule 5. However, it is highly recommended that the full inventory sheets, contained in Volume 2 of the Assessment, be reviewed to understand the historical and architectural complexity of each of the proposed conservation areas. All of the inventory sheets were available to the public in the 13-week exhibition of the draft Assessment and prompted much positive comment about the depth of the study.

### 1.3 Heritage and Sustainability

Heritage and sustainability have a strong connection in relation to the future of the LGA, yet heritage is often overlooked as a tool for achieving more sustainable development. The built

environment contributes heavily to global greenhouse gases, with figures from the World Green Building Council revealing that 45% of carbon dioxide emissions are related directly or indirectly to construction and building. Taking better care of heritage buildings and extending their life expectancy significantly reduces the demand that new development makes for energy, land and materials. It also helps to communities ensure continuity between past, present and future. Cultural heritage is not renewable: new items can be added to it, but it cannot be reproduced once it has been destroyed.

Conservation of heritage buildings, and strategies for their adaptive reuse, represents a more sustainable alternative to demolition and reconstruction. It offers the opportunity to recycle resources in place, reduce energy use, decrease waste and offers opportunities to design in change that results in improved community resilience, including for example the of solar panels and shared community batteries in typically high-density heritage neighbourhoods. Research by Sydney's Total Environment Centre found that upgrading existing buildings to achieve substantial cuts in greenhouse gases is more climate-friendly than producing new energy-efficient buildings.

## 2 FRAMEWORK

### 2.1 Structure of this Report

The Assessment has identified, described and analyzed the environmental heritage of the Waverley LGA. The document is made up of three parts:

- **Part 1** includes an 'Executive Summary' and 'Introduction', which establishes the aims and methodology. The 'Background' contains a discussion of the historical context that produced Waverley's architectural character. It helps describe the story of Waverley's development and the underlying reasons for and importance of listing items and areas.
- **Part 2** provides detailed information on the changes to Schedule 5 recommended in the Heritage Assessment 2020. It includes summary descriptions of each proposed new and amended HCA. The individual listing recommendations include Section 170 items (heritage items managed by state agencies) and trees with heritage significance. Some items are recommended for inclusion in Schedule 5; other items have been reviewed but are not recommended for listing; others fall within a proposed or existing HCA. Part 2 also contains recommendations and next steps.

- **Appendix 1** contains an undated Waverley Thematic History.

**Appendix 2** contains the detailed Heritage Inventory Forms for all proposed and amended HCAs.

**Appendix 3** contains detailed Heritage Inventory Forms for all of Waverley's HCAs that have not been amended in this review. It also contains a list of all items included in the 2012 LEP. These will be brought forward into the updated 2020 LEP.

## 2.2 Limitations

The Waverley Heritage Assessment did not include an assessment of Aboriginal heritage. A Waverley Aboriginal Cultural Heritage Study was prepared in 2009 and includes a comprehensive background to Aboriginal heritage in the Waverley LGA. Any item of Aboriginal significance that is uncovered has immediate protection in place, mainly under the *NSW National Parks and Wildlife Service Act (1974)*.

Notwithstanding the above, Council has recommended that further research be carried out to further identify and understand how Aboriginal people connected to Waverley as a place. Such as study would inform an updated history of Waverley, which can be updated as part of future LEP Housekeeping amendments and separate discrete studies. The Aboriginal historical study has not yet been commenced.

Other limitations of the heritage assessment were recognized during the preparation of the Waverley Heritage Assessment, including movable heritage and archaeological items, and these have not been addressed.

## 2.3 Public Consultation

The Heritage Assessment included extended periods of public consultation, both before and after the recommendations were presented to Council in May 2020. As part of the Waverley Architectural Mapping Project (WAMP), which began in 2018, presentations were made to Waverley's Precinct Committees to gain their input into identifying items of heritage significance in their areas. The WAMP aimed to map all of Waverley's architectural styles and urban typologies by systematically reviewing every lot in the LGA according to architectural style, dwelling type, evidence of modifications to architectural styles, land use, on-site car parking, number of storeys, items of heritage interest and distinctive property features.

As part of the WAMP process, Precinct Committees were asked to contribute information on



historic buildings and sites in their areas. They were provided with guidance on the identification of potential heritage items. By the time the consultation process concluded in April 2019, a large number of nominations for potential heritage listing had been provided. The precinct nominations were publicly exhibited on Council's Have Your Say website over the period December 2018 to January 2019.

The primary objectives of the project are to uncover patterns of use across the LGA since colonial settlement, and to develop a comprehensive database of attributes relating to the built form. The WAMP was also used to help inform the review of Schedule 5. The WAMP data will continue to contribute to Council's land use knowledge base and be used to inform local strategic planning decisions.

## 2.4 Interim Protection

After the draft Assessment was exhibited publicly some legal protection existed for the proposed heritage items. This was in the form of an Interim Heritage Order (IHO), which can be applied to a building of significance if there is the threat of demolition, as outlined in the *NSW Heritage Act 1977*. The purpose of an IHO is to provide a "breathing space" of no more than 12 months, during which a full heritage assessment can be completed. This would confirm whether or not an item should be listed as a heritage item as part of Schedule 5.

Once the draft Heritage Assessment was endorsed by Council and the public exhibition and feedback process completed, a draft Planning Proposal will be prepared and exhibited. The listed heritage items and HCAs then have status under the *Environmental Planning and Assessment Act* and weight can be given to their significance as part of any future development assessment. Full heritage status is claimed upon gazettal of a future LEP amendment.

## 3 BACKGROUND TO HERITAGE ASSESSMENT

### 3.1 Introduction

Heritage best-practice was applied to assessing items submitted for inclusion in Waverley's updated Schedule 5 list. Documentary and physical evidence relating to subject sites was reviewed under Categories of Cultural Significance identified by NSW Heritage Office *Guidelines for Assessment of Significance*. Grounds for exclusion from listing have also been acknowledge in the assessment. The following is an overview of historical, aesthetic and architectural research, discoveries and stories that informed decision-making for this study.



### 3.2 Historic and Architectural Overview

For more than a thousand generations, Aboriginal people occupied the area now known as Waverley in the period before and after European settlement. The Bidjigal and Gadigal people of Sydney's east used the high ridgelines to travel, overlook and manage their lands. They developed sophisticated food husbandry techniques that involved a spiritual relationship with the land to ensure food, animal and plant reproduction. Their legacy is embedded in sites across the area. Further research has been endorsed to provide a more detailed insight into how First Nation people connected to the area that became known as the Waverley.

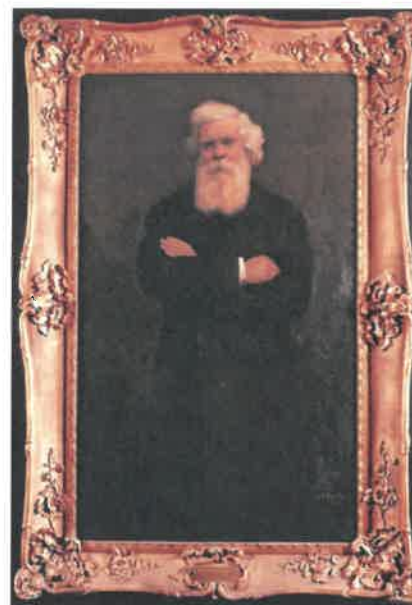
Waverley became a municipality – Australia's second – in 1859. It remains a small LGA, at just 9.2 square kilometres. Over the past 160-odd years, economic boom and bust have shaped Waverley's streetscapes. Despite its size, the municipality has a big history, with connections to many of the landmark events in Australia's evolution to nationhood. The story has a cast of colourful characters; leaders who helped form a country and a surf culture that became a permanent part of Australia's national identity. Telling such stories will help establish a bond between Waverley, its people and the heritage contained within it.

From the ridgeline at Charing Cross, Waverley's first commercial centre overlooks the great Centennial Parklands. It is an extraordinary neighbourhood asset, bequeathed to future generations by Governor Lachlan Macquarie. Macquarie established the Sydney Common and later Centennial Park to prevent development, providing the early colony with a fresh water supply (from Lachlan Swamp and Busby's Bore), replacing the polluted Tank Stream that ran along what today is Pitt Street.



**1858 Centennial Swamps Sands & Kenny's map of Sydney and its Environs.** Source: State Library

Standing in Centennial Park, near the Paddington Gates, is a statue of Sir Henry Parkes, a towering figure in the push towards Federation and self-government of the Australian colonies. Several times Premier of NSW in the run-up to Federation, Parkes (right, painted by Julian Ashton) stood for the NSW seat of Waverley at the last election he contested. Much is owed to the drive and momentum Parkes provided in federating the Australian colonies. Not more than 100m away from the Parkes statue in Centennial Park is the Federation memorial dome, which now stands on the spot Lord Hopetoun proclaimed the Commonwealth of Australia on January 1, 1901, watched by tens of thousands of people. He swore in Edmund Barton as the nation's first Prime Minister. Barton now lies at Waverley's South Head Cemetery.



Source: Parliamentary Education Office

The newly federated nation needed a range of architecture to establish national government. Up on the ridgeline at Charing Cross, John Smith Murdoch dictated the design of a building as the new nation's first Commonwealth Architect.

That building is the now-heritage-listed former Post Office. It is Stripped Classical in style and still stands wedged between Bronte and Carrington roads. While overseeing the Post Office design and many other civic buildings, Murdoch was part of a selection panel that chose Walter and Marion Burley Griffin as winners of the design competition for the layout of the nation's new capital, Canberra. Murdoch designed another key civic building in Stripped Classical style – Canberra's "temporary" Parliament House, which remained the centre of



Sources: Waverley Library, National Museum of Australia



federal government until 1988. The architect also helped choose winning designs for two Stripped Classical Australian war memorials: one on the Western Front at Viller-Bretonneux in France, the other in Canberra.

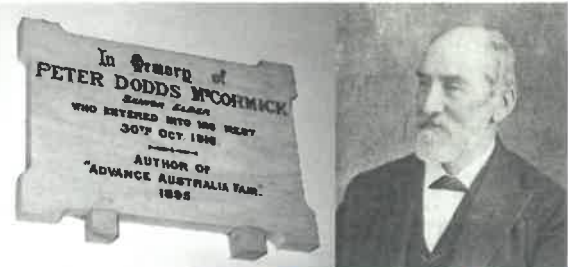
At the inauguration of the Commonwealth of Australia in Centennial Park in 1901, a 10,000-voice choir sang an anthemic piece of music composed by a noted resident of Waverley, Peter Dodds McCormick. That anthem was *Advance Australia Fair*.

Sources: Waverley Library

McCormick, a Scotsman, was an elder of the Grahame Memorial Uniting Church, still extant on Victoria St at Charing Cross. McCormick's Victorian terrace home at 20 Yanko Ave, Bronte, still stands much as it was when he lived there. He



composed the anthem in 1878. It was played by massed bands at celebrations for the naming of the federal capital in Canberra and at important national events thereafter, but was not officially named the national anthem until 1984. McCormick died in Waverley in



1916. His home at Yanko Ave remains within the proposed extension to the **Evans St HCA at Bronte**. The area's colonial evolution began in the 1840s, when demand for villas in Waverley grew. *Bronte House* was the first to be built, in 1845, as a romantic retreat from formal city life and is now considered one of only a small group of exemplary Regency-style villas in Australia. It is the oldest extant residence in Waverley. The proposed extended HCA nearby would include a significant



Source: Domain

number of late Victorian and early Federation buildings and streetscapes still remaining from 1880s subdivisions of Bronte's grand Marine Villa estates – *Yanko*, *Lugar Brae*, *Bleak House* and *Ocean View* estate – all on the slopes above *Bronte House*. The late Victorian-era building boom left a legacy of often-grand terrace houses in notable groups, also conserved in the proposed extension to the **Charing Cross HCA**.

The proximity and extension of tramways throughout Waverley hastened the pace of change, leaving a legacy of consistent Federation streetscapes, such as those identified in the proposed **Bondi O'Brien Estate HCA**. A similar story of late Victorian and early Federation development is recorded in the proposed new **Avoca Estate HCA**, on the southern side of Bondi Road. Consistent Federation streetscapes of established character and cultural significance



Source: Waverley Library



remain today from the speculative subdivision of the 19<sup>th</sup>-century grand villas, including *Avoca*, *Baylesford* and *Boonara*, build along Bondi Road on purchase grants issued in the 1840s-60s.

At nearby Tamarama, amid the Federation-era development boom that consumed the *Avoca* estate, an artists' colony began to form around the home of the man whose work included portraits of Sir Henry Parkes dating back to 1891 (and now held in the National Portrait Gallery, London). The pair, each hugely influential in the newly federated country, were friends and confidantes. Julian Rossi Ashton, illustrator for *The Bulletin* and founder of the art school bearing his name, took up residence in a house on what is now Illawong Ave, Tamarama. It overlooked Fletcher's Glen, which he first saw while producing engravings, including the one at right, for the monumental publication *The Picturesque Atlas of Australasia* in 1886. In the 1890s he became a Trustee of the Art Gallery of NSW, in which capacity he encouraged the collection of Australian art. Through the gallery and his school, he created strong connections with many of Australia's most notable artists – including Norman Lindsay, Charles Conder, Arthur Streeton, Tom Roberts, Elioth Gruner, Jesse Hilder, George Lambert, Thea Proctor, Sydney Long, Sydney Ure Smith and William Dobell. They orbited Ashton's home at Tamarama for 50-odd years. Their collective body of work includes many paintings of Bondi, Tamarama and Bronte beaches, now held in Australia's state galleries.



FLETCHER'S GLEN.

Sources: *The Picturesque Atlas of Australasia*. Art Gallery of NSW



Norman Lindsay



Charles Conder



Elioth Gruner (self portrait)



Arthur Streeton



Tom Robert

Sources: *50 Years of Art*; Art Gallery of NSW (below)

In 2019, paintings of Waverley's coastline began to attract the attention of the National Gallery in London, in particular the painting by Sir Arthur Streeton, *Blue Pacific* (right), depicting cliffs north of Coogee Beach. The gallery hung the painting next to one of Monet's *Water Lilies* masterpieces as part of



its recognition that the Impressionist art movement of the late 19th century was thriving well beyond Europe, having filtered to far-flung corners of the globe via artists who had connections to the European avant garde. Bondi's lost post-Impressionist artists include



Jesse Jewhurst (J.J) Hilder (Bondi resident and Waverley bank employee) and Elioth Gruner (who lived at 12 Ashley St, Tamarama).

Waverley was the home of other significant artists at the time of Federation and on into the Inter-War period. Their work played an unrivalled role in defining and shaping Australia's emerging national identity.

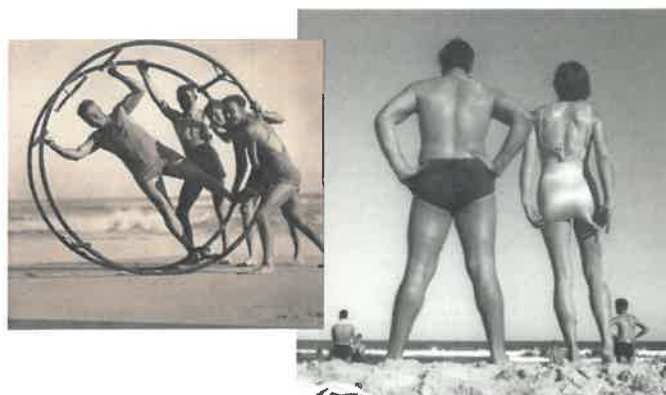


Photographer Henry King, who lived at 22 Wellington Street and is buried at Waverley Cemetery, took a famous photograph (right) in 1907 of Ashton with his fellow Society of Artists members, which includes some of the most significant Australian artists of that generation, notably Norman and Rose Lindsay, Harry Weston, Will Dyson, Sydney Long and D.H Souter. All had strong connections with turn-of-the-century Bondi.





Many of photographer Max Dupain's most celebrated images (right) were taken at Bondi. Noted photographers Harold Cazneaux (known as the father of modern Australian photography) and Frank Hurley (regarded as the most powerful force to shape Australian documentary film before World War II) also documented life at Bondi.



Other important Waverley artists included the architect of the Anzac War Memorial at Hyde Park (right), Bruce Dellit, who was educated at the Christian Brother College, now Waverley College. His collaborator on the memorial, Rayner Hoff, was the original "sculptor by the sea" - having purchased a small cottage called *Rosamond*, at 23 Kenneth St, Tamarama, in 1928. Hoff taught sculpture at East Sydney Technical College and produced all the sculpture for Dellit's acclaimed memorial. Hoff also designed the Lion logo for the Holden motor company, won the Wynne Prize in 1927 and designed the Sulman Award medal for architecture. He collapsed surfing at Bondi in 1937 and died two days later.



Another significant Bondi resident was Henry Souter, writer, poet, playwright, graphic satirist on *The Bulletin* and arts editor for *Arts and Architecture* magazine. His largest surviving work is the allegorical mural painting depicting the emergence of the lifesaver as an icon of Australian manhood, painted for the Bondi Surf Bathers Life Saving Club, of which he was president in 1920-21. The mural is now on display in the National Maritime Museum's permanent collection. Along with the "digger" and the "bushman", the lifesaver achieved an iconic place in Australia's cultural imagery and the beach emerged as



an alternative mythological landscape to the Australian interior. The interior represented toil and hardship against unforgiving landscapes; the coast evoked images of health and leisure in the equally unforgiving environment of the sea. Bondi became the place Australians met nature's challenge in the surf - and the Bronzed Aussie image emerged.

What attracted the artists to Waverley's coast? Research reveals Bondi was a suburb that emerged only at Federation, despite the

first land grants having been made in the early colonial period. Governor Lachlan Macquarie signed a grant of 200 acres - from Bondi's beachfront to Old South Head Rd and Edward St in the south to Beach Rd in the north - to William

**[] BONDIED CATTLE.** - William Roberts, Corner of Castlereagh street, hereby gives Notice, that he has a Farm at Bundye, near Sydney, which is well-calculated for the Depasturing of Stock of the above description, which will be taken every possible care of at the low rate of six-pence a week for each head, which will be necessary to defray the expence of a proper Herdsman.

Roberts as early as 1810. Roberts, a noted colonial road builder, Sydney innkeeper and emancipated convict, leased his land at "Bundye" for cattle grazing.

Macquarie made another large grant at this time, to Captain John Piper. It covered 1500 acres between Point Piper and Bondi Junction. Piper, a gambler, soon lost the estate to debt. It was purchased by Daniel Cooper and Solomon Levey (emancipated convict brother of Barnett Levey, who built Waverley House). Solomon Levey was married to Ann Roberts, daughter of Bondi Beach grantee William Roberts. The Cooper/Levey lands included the current **Grafton St HCA**, which, if extended, would preserve the last remnant of the original Victorian and Federation shopping strip at West Oxford Street.

The land at Bondi remained in Roberts family hands, undeveloped, until 1848 when it was sold to E.S. (Monitor) Hall in trust for his daughter Georgiana. She was married to Francis O'Brien (far right). Their home, known as The Homestead (right), was built on the ridge of the south side of the Bondi Valley, and was set among leafy grounds that featured a family mausoleum (right), today marked by Forest Knoll Avenue.

Over time, they sold off land because of



financial difficulties. At the same time, the tramway's arrival and extension drove interest in development at Bondi. The estate lands O'Brien sold off to clear debt provided sites for rapid Federation-era speculative subdivision on the southern ridge and slope of Bondi basin, which created the consistent Federation streetscapes which remain today and are identified in the proposed **Bondi O'Brien Estate UCA**.

It took another decade for the floor of the Bondi basin to begin to develop. Tramway maps from that period reveal there were few roads in the Bondi valley before 1890 and a limited number on the southern slope. Geology and geomorphology dictated the evolution of the Bondi basin we see today. High sand dunes (pictured right by photographer Frank Hurley) and the crescent beach formed the present-day Bondi embayment over the course of 6000 years. Early photos of Bondi from 1870 reveal the evolution of a highly volatile landscape of sand dunes and hinterland lagoons (right) surrounded by windswept vegetation on higher ground. Extensive mobile sand drifts are recorded well into the 20th century between Bondi Beach and Rose Bay.



The dunes kept the area free of development in the 19th century (below). Only in the early 20th century did engineers, funded by the state government, begin to work out ways of removing hundreds of tonnes of sand from the Bondi basin. Wicker fences and marram grass were employed to stabilise the dunes at the beachfront. Horses were also used (seen in the

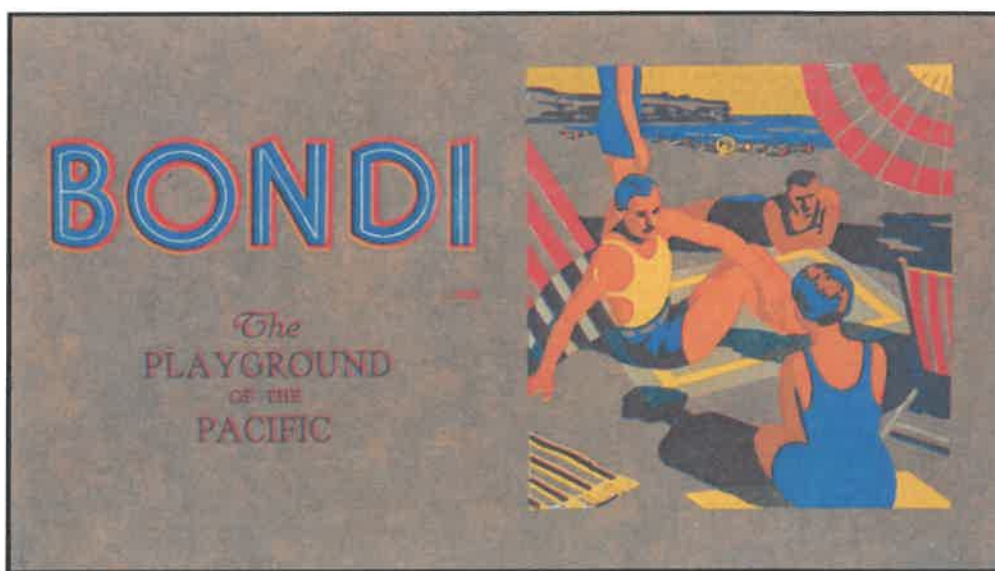






photo above from 1916) to speed-up the removal of 180 acres of sand dunes at Bondi. When it was sufficiently cleared, by about 1920, so began the massive Inter-War building boom in the Bondi basin that still shapes Bondi's streetscapes today.

The Inter-War boom had a remarkable impact on the character of Waverley. Sydney's population grew enormously during this era and the demand for housing grew with it. Bondi basin provided the one missing ingredient for growth – undeveloped land. By 1920, the sand dune remediation created a stage for the rapid transformation of the suburb. The speed of development resulted in a consistency of streetscapes - with a predominant aesthetic of face-brick exteriors with terra cotta tile roofs. This historically, socially, aesthetically and architecturally important era would be preserved in the proposed **Bondi Basin Inter-War UCA**.



- Detailed Waverley Thematic History – Volume 2

## **PART 2: POST-EXHIBITION ASSESSMENT CHANGES**

## 1 FEEDBACK ON RECOMMENDED SCHEDULE 5 CHANGES

### 1.1 Overview

The rigorous Heritage Assessment research and analysis process outlined above was endorsed by Council and exhibited to the public for 13 weeks in 2020, and peer reviewed in March 2021. The following discussion, maps and tables outline the recommendations and the feedback received for each during the extensive consultation process. The initial proposals included:

**1 4 New UCAs:**

- Avoca Estate
- Bondi O'Brien Estate
- Bondi Basin Inter-War
- Bondi Road

**2 3 Amended UCAs:**

- Yanko-Lugar Brae – formerly Evans St
- Charing Cross
- Grafton Street

**3 1 reduced UCA:**

- Palmerston

**4 1 new LCA:**

- Dickson Estate (King St, Stephen St and Ewell St, Bondi)

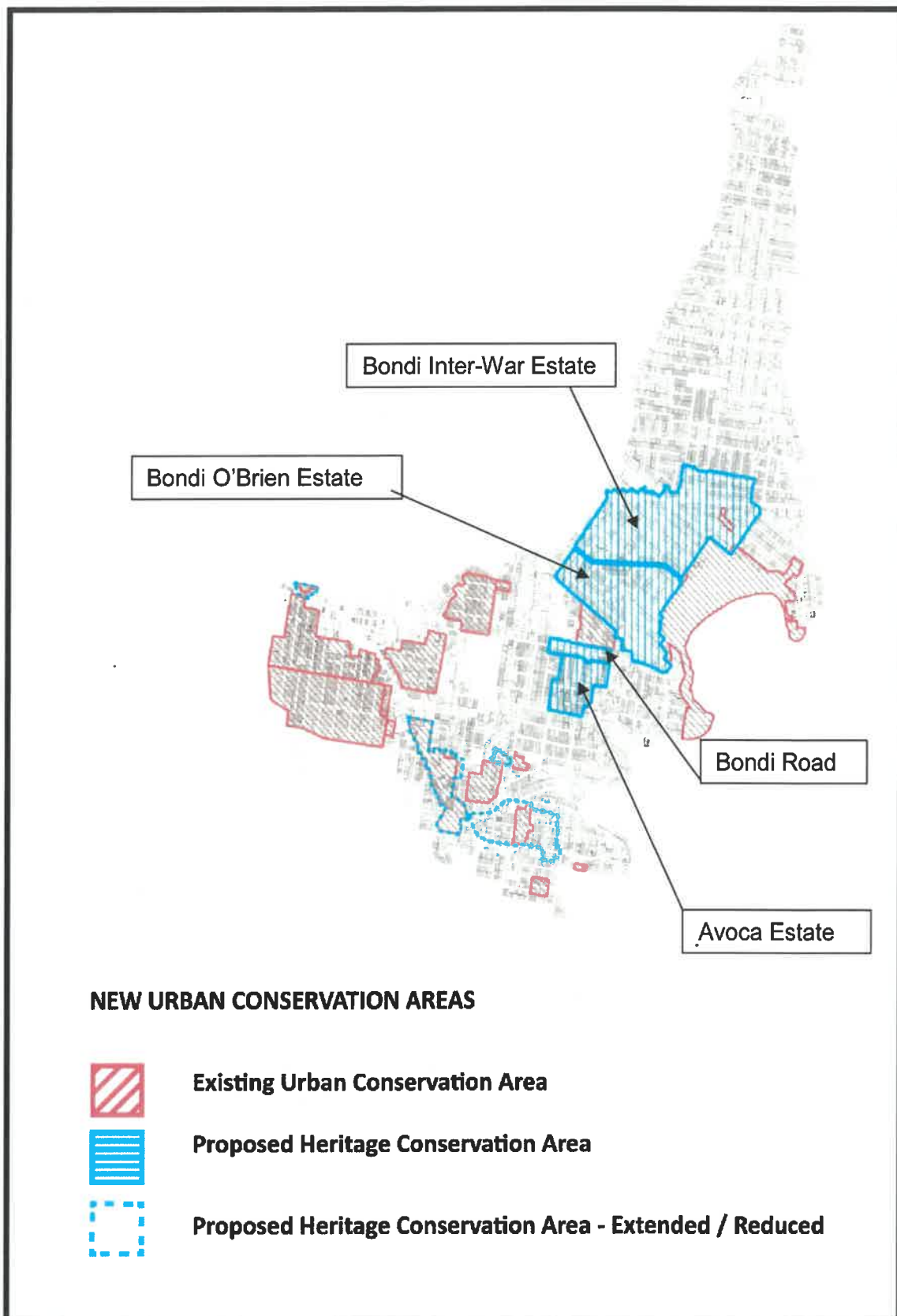
**5 1 amended LCA:**

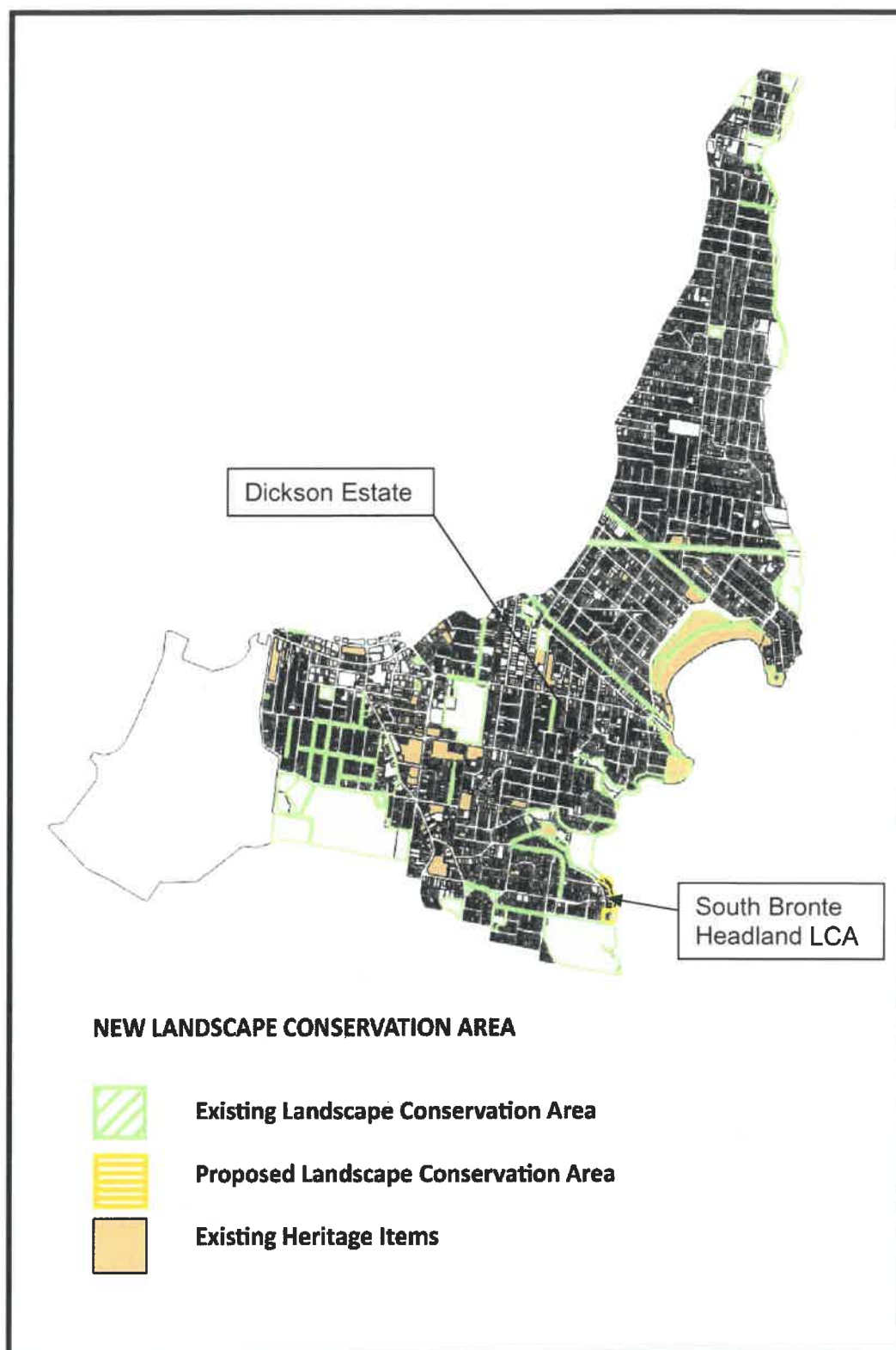
- South Bronte Headland-Calga Reserve

**6 47 new individually listed items** not currently captured in any heritage register.

**7 1 Heritage Tree site.**









## 2 SUMMARY OF FEEDBACK ON DRAFT NEW CONSERVATION AREAS

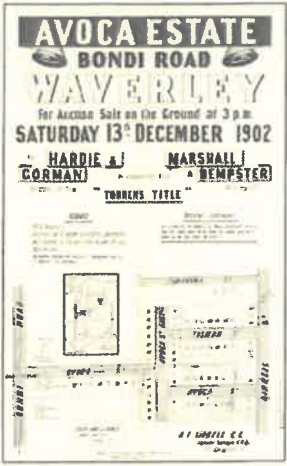




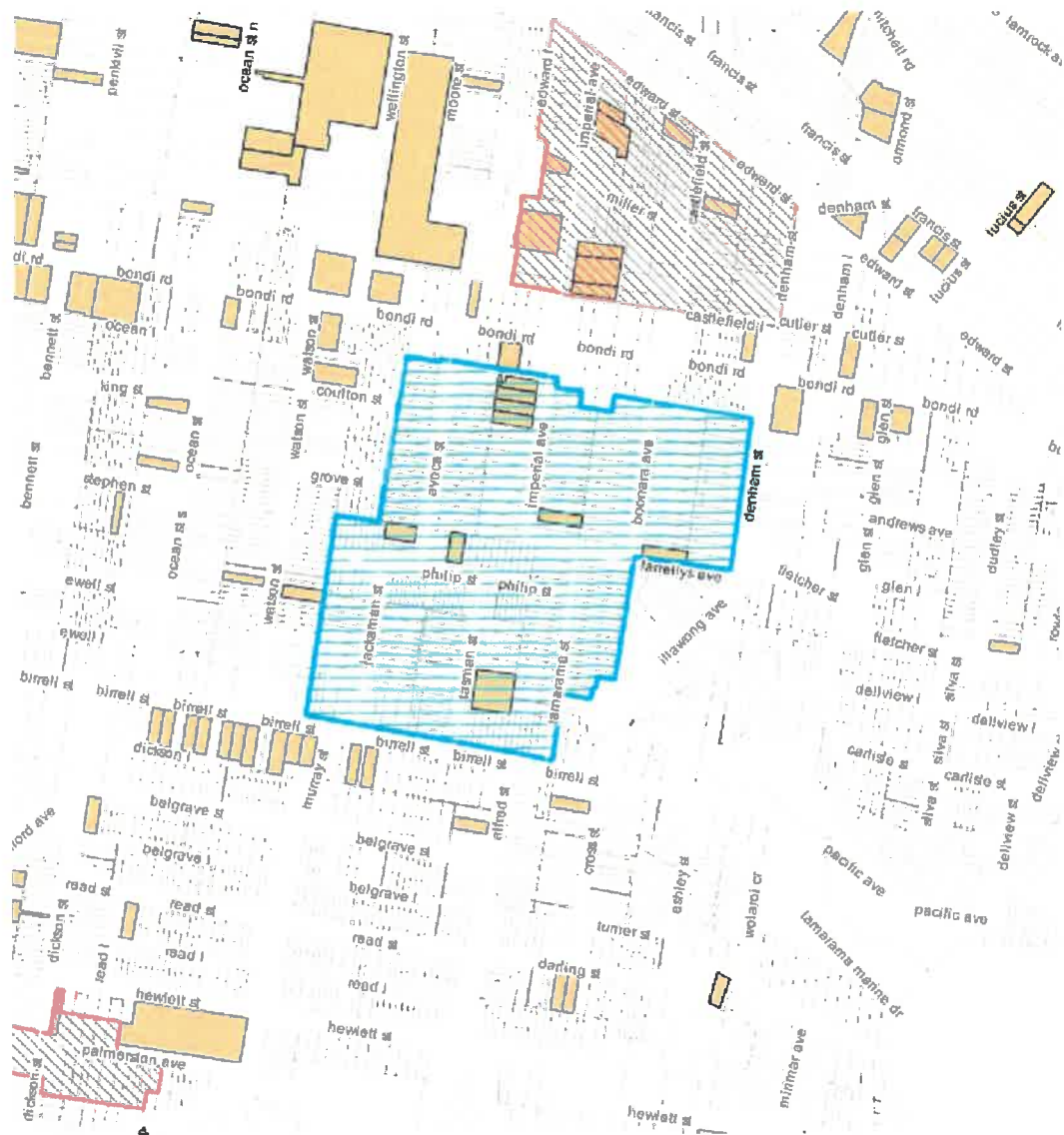
The following pages include a summary of each of the proposed new or amended HCAs, a brief history and an explanation of their significance to Waverley - all of which were publicly exhibited and considered by the peer review panel. The summaries include maps of proposed changes and its curtilage and heritage items already listed in the area. Also included are early subdivision posters and photographs highlighting local character and development history. The summaries are in addition to more detailed histories revealing the ways in which proposed areas contribute to the cultural heritage of Waverley (contained in Volume 2 of the draft Heritage Policy). It is strongly recommended that the full Heritage Inventory Sheet for each HCA be reviewed in detail to appreciate their significance. An overview of each UCA, both those already listed on Schedule 5 and those recommended for listing in the Assessment, are provided.



## 2.1 New Urban Conservation Areas

### 2.1.1 Avoca Estate UCA

<p><b>History</b></p>  <p><i>Avoca Estate Bondi.</i> For Auction Sale on the Ground DEC 4 1897</p>	<p>The draft Avoca Estate UCA aims to conserve the consistent Federation-era streetscapes that emerged from the sell-off of large gentlemen's estates whose grounds extended south from Bondi Road around present-day Avoca Street. Its resulted from the speculative subdivision of the estate in the later 19th century. It provided suburban freestanding and semi-detached housing lots in an area of growing demand, driven by access to public tram transport and the growing popularity of ocean bathing. The streetscapes were established by the progressive subdivision of the grounds to the large residences <i>Avoca</i>, <i>Braylesford</i>, <i>Boonara</i>, <i>Greganhurst</i> and <i>Gaerlock</i> originally constructed facing Bondi Road in the mid- to late-19th century.</p>
<p><b>Character</b></p> 	<p>Cohesive groupings of Federation and Inter-War residences forming streetscapes of cohesive scale, form, consistent building types and alignment.</p>
<p><b>Statement of Significance</b></p> 	<p>Demonstrates the forms and streetscapes of commuter-based housing resulting from subdivision of mid-19th century villa residences. The area has historic, aesthetic and social significance as a demonstration of Waverley's evolution from isolated gentleman's residences to close-set suburban housing. Aesthetically significance streetscapes of cohesive form and scale.</p>
<p><b>Public Feedback</b></p>	<p>12 submissions supported UCA; 2 objections</p>
<p><b>Expert Panel Feedback</b></p>	<p>Supported listing the draft Avoca Estate UCA's historically cohesive streetscapes.</p>



## AVOCA URBAN CONSERVATION AREA - NEW



**Existing Urban Conservation Area**



**Proposed Urban Conservation Area**



**Existing Heritage Items**

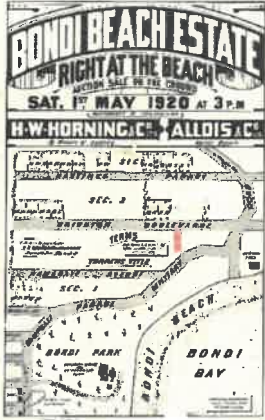

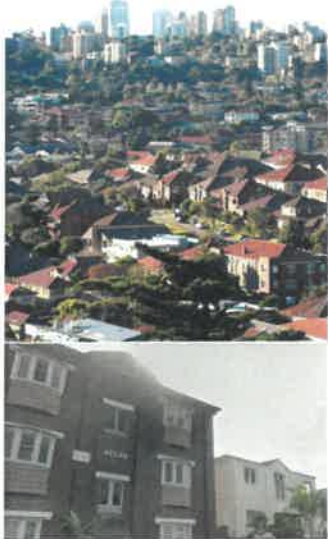


## 2.1.2 Bondi O'Brien Estate UCA

<p><b>History</b></p> 	<p>The draft UCA substantially occupies the south-west portion of what was the O'Brien Estate. The estate covered a large portion of the original 200-acre land grant made to noted colonial road builder William Roberts by Governor Lachlan Macquarie in 1810. It was purchased by E. S. "Monitor" Hall in 1851 in trust for his daughter Georgiana, who was married to Francis O'Brien. The O'Brien family remained in residence at "The Homestead" near Lucius St until 1911. They sold off 52 acres of land to Frederick Curlew in 1873 when O'Brien faced bankruptcy. The remaining O'Brien land included a mausoleum built on a former quarry at what is now Sir Thomas Mitchell Rd, where their park-like crypt became a tourist attraction until it was demolished in 1928 (the bodies were reinterred at Waverley Cemetery). The area evolved between 1890 and 1919 (when the last O'Brien land was sold) as a location of freestanding and semi-detached Federation, and later Inter-War, dwellings.</p>
<p><b>Character</b></p> 	<p>The setting contains mixed Federation and Inter-War building types notable for dominant face-brick and tile-roof construction. The resulting streetscapes retain much of the original diverse yet cohesive housing, and later infill of Inter-War flat buildings.</p>
<p><b>Statement of Significance</b></p> 	<p>The area is defined by the built forms and streetscapes resulting from initial subdivisions of open lands within the estate nearest to the formed roads of South Head Road and Bondi Road. The subdivision in the Federation period 1890-1919 saw construction of semi-detached and freestanding residences on the south side of the valley in response to improved tram transport and the emerging aquatic recreation at Bondi Beach. Resulting streetscapes show continued influence of the O'Brien Homestead and grounds, which remained a feature valley to the 1920s. The subsequent Inter-War period, 1919-1939, saw the emergence of the residential flat building, employed in new subdivisions of the O'Brien Homestead and sites of opportunity.</p>
<p><b>Public Feedback</b></p>	<p>15 submissions supported UCA; 7 objections</p>
<p><b>Expert Panel Feedback</b></p>	<p>Supported listing the draft Bondi O'Brien Estate UCA's historically, architecturally and aesthetically significant streetscapes.</p>



### 2.1.3 Bondi Basin Inter-War UCA

<p><b>History</b></p> 	<p>Geology and geomorphology dictated the evolution of Bondi Beach. The crescent-shaped embayment formed over 6000 years and resulted in vast high sand dunes across the basin floor. Early photos from 1870 reveal mobile sand dunes interspersed with hinterland lagoons. Extensive sand drifts were recorded well into the 20th century between the beach and Bellevue Hill. The sand formations to the middle and north side of the Bondi basin restricted development until remediation and removal of sand began, with the allocation of State funding, between 1900 and 1920 - the year the Bondi Basin Inter-War building boom began.</p>
<p><b>Character</b></p> 	<p>Street planning reflected the Garden Suburb philosophy that was also evident in the concurrent planning of Bondi Park and Bondi Pavilion. The rapid infill of the resulting streets with Inter-War flats and semi-detached bungalows provided a distinctive setting of Inter-War styles largely of brick and terra cotta tile. Development by common owners further added to the consistency of the location. The resulting streetscapes - now approaching 100 years of age - retain much original construction and are subject to increasing gentrification and growing pressure for redevelopment.</p>
<p><b>Statement of Significance</b></p> 	<p>Occupying the north-east areas of the Bondi basin, the draft UCA demonstrates town planning principles of Inter-War suburban planning, combining broad planted avenues with the emerging residential flat building form. Contiguous rows of speculative semi-detached residences and focal intersections of mixed-use buildings provide visual balance and amenity despite the density. Comparison with development of coastal lands at Merewether in NSW and Sydney harbour-side suburbs demonstrates cohesion of varied forms achieved in the Bondi Basin through the combined factors of town planning, variation of building types, consistency of materials and condensed period of construction. The resulting setting retains an ongoing identity in Australian culture.</p>
<p><b>Public Feedback</b></p>	<p>14 submissions supported UCA; 2 objections</p>
<p><b>Expert Panel Feedback</b></p>	<p>Supported listing the draft Bondi Inter-War UCA's historically, architecturally and aesthetically significant streetscapes.</p>





### BONDI BASIN INTER-WAR URBAN CONSERVATION AREA - NEW



**Existing Urban Conservation Area**



**Proposed Urban Conservation Area**



**Existing Heritage Items**

## 2.1.4 Bondi Road UCA

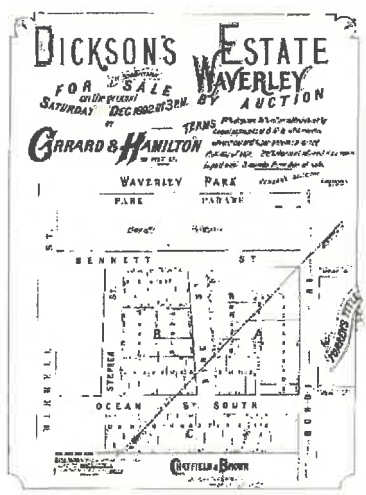


<p><b>History</b></p> 	<p>The extension of the Sydney tram service to Bondi around 1894 resulted in a residential and shopping strip along Bondi Road (formerly Waverley Street), which became a key transport route. Coupled with the growing interest in surf bathing (legalised in 1902), this created conditions for businesses servicing the growing local population and tourist trade. Shops began to appear in the UCA area in the Federation era as land tied up in earlier grants featuring large gentlemen's estates with substantial grounds began to be sold for speculative sub-division. The buildings retain substantial detailing from the original phase of construction.</p>
<p><b>Character</b></p> 	<p>Commercial strip featuring shopfronts with residences above, built at the turn of the 20<sup>th</sup> century. Some integrity has been lost due to painting of brick and other alterations, but retain good historical detail. The groups are a good example of the architecture and aesthetics of the eras of their construction. The streetscapes show integrity and consistency with the shop rows strong defining elements of that represent the history of development of Bondi Rd. The top-floor detailing is articulated with projecting gables with terra cotta tiles (Federation) and Inter-War parapets.</p>
<p><b>Statement of Significance</b></p> 	<p>The commercial and residential Bondi Road streetscape demonstrates the historic subdivision of early gentry estates in response to improved tram transport and speculative land booms of 1881-1939, producing a setting of Federation and Inter-War styles cohesive in scale, massing and alignment. Later replacement of remaining early structures has eroded the cohesion of the setting, which remains notable for its detail, extended groupings and demonstration of the early-to mid-20<sup>th</sup> century history of building and Waverly society.</p>
<p><b>Public Feedback</b></p>	<p>13 submissions supported UCA; 1 objections</p>
<p><b>Expert Panel Feedback</b></p>	<p>Supported the draft Bondi Road UCA and the conservation of the early, original shopfronts, scale and interiors.</p>

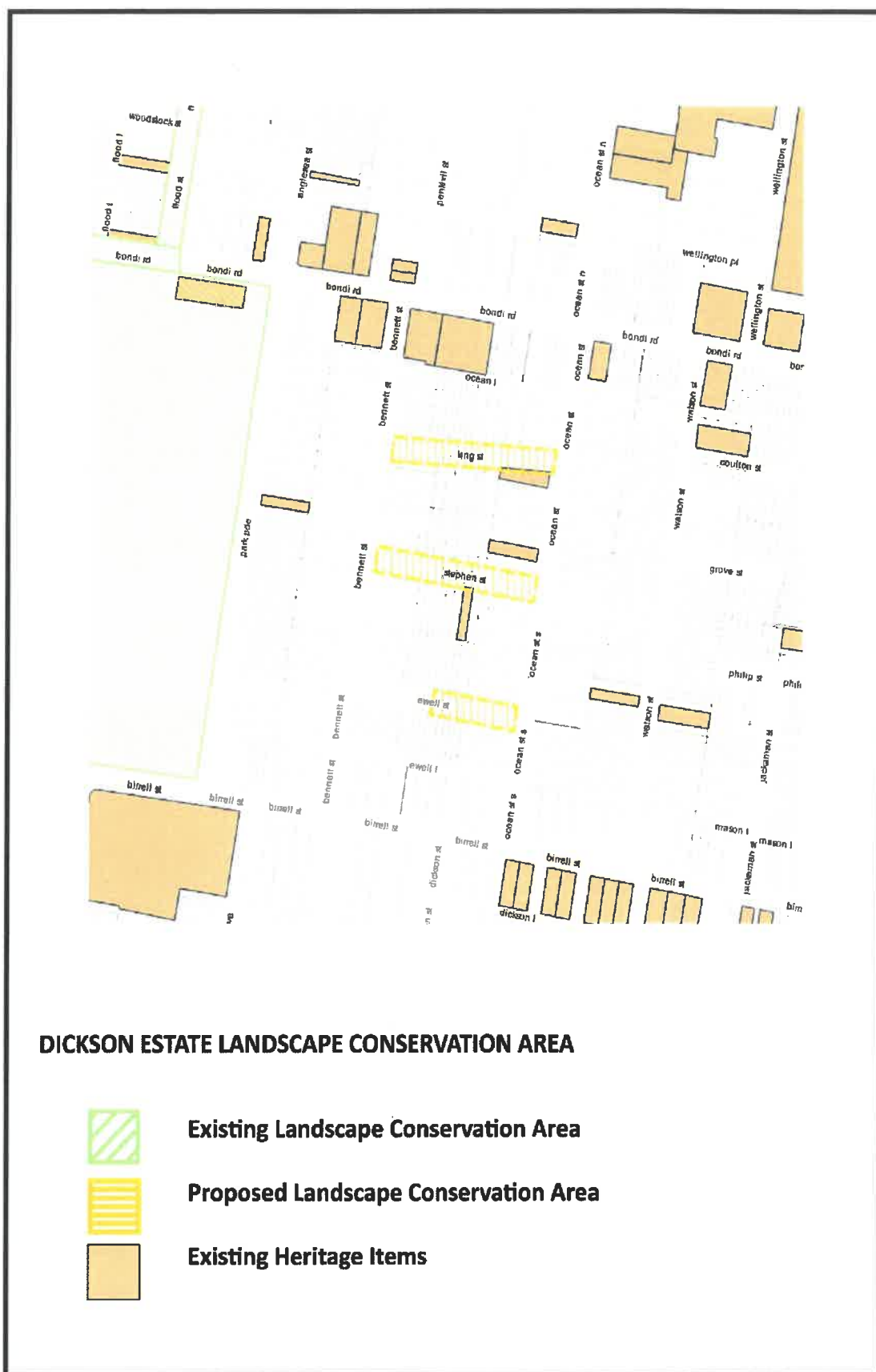




## 2.2 New Landscape Conservation Areas

### 2.2.1 Dickson Estate LCA - (King, Ewell and Stephen Streets, Bondi)

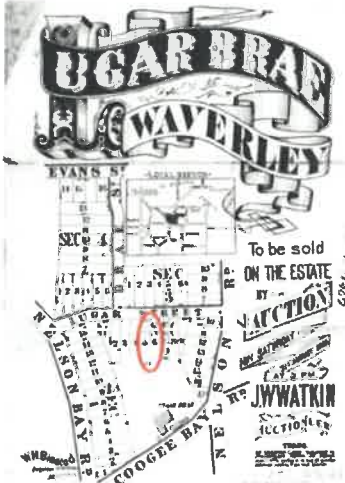


<p><b>History</b></p> 	<p>The proposed LCA protects consistent streetscapes of <i>Ficus macrocarpa</i> var 'Hillii' (Fig) trees typical of those created along with the speculative subdivision of later 19th century estates in Waverley. The streetscapes of the short cross streets were established by the subdivision of the Dickson's family estate occupied by the residence of James Dickson and the associated timber yard. Dickson's Estate was subdivided for sale on December 3, 1892, with frontages to King, Stephen and Ewell streets. A further sale of unsold lots took place on November 10, 1907, in Ewell and Stephen streets.</p>
<p><b>Character</b></p> 	<p>The plantings created distinctive secondary streets with avenues of street trees that now support built heritage streetscapes of Federation and Inter-War residences resulting from the subdivision of the Dickson family residence and timber mill.</p>
<p><b>Statement of Significance</b></p> 	<p>Cohesive groupings of heritage fig street trees, most dating back to Great Depression unemployment relief tree planning programs of the 1930s. The Landscape Conservation Area has historic, aesthetic and social significance as a demonstration of the evolution of Waverley from isolated gentleman's residences to close-set suburban housing of the Federation and Inter-War periods. The streetscapes also have social significance as a demonstration of Depression-era work schemes. Aesthetic significance includes streetscapes of cohesive planting, type, scale form and alignment.</p>
<p><b>Public Feedback</b></p>	<p>1 submissions supported UCA; 1 objection</p>
<p><b>Expert Panel Feedback</b></p>	<p>Supported listing the draft Dickson Estate LCA's historically, and socially significant (Depression-era work) streetscapes.</p>

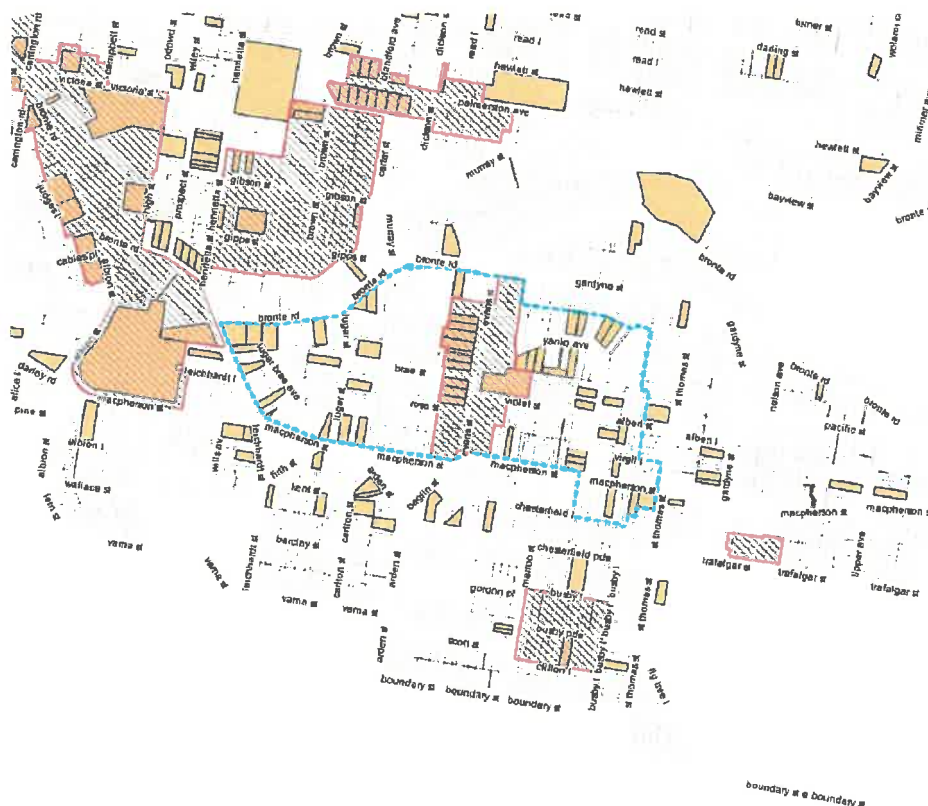


### 3 SUMMARY OF FEEDBACK ON AMENDED CONSERVATION AREAS

#### 3.1 Amended Urban Conservation Areas

##### 3.1.1 Yanko-Lugar Brae - Evans St UCA extension

<p><b>History</b></p> 	<p>Bronte's early architectural history begins with the construction of Bronte House and its extensive gardens by the aristocratic MLA Robert Lowe (who later became Britain's Chancellor of the Exchequer) and his wife Georgiana in the 1840s. The house set a precedent in the area for gentlemen's marine villa estates, constructed away from the polluted city on high point and ridgelines that captured ocean views. Within a decade, Bronte House was joined by other marine villas. These included Oceanview, Yanko, Lugar Brae and Bleak House. Land from these three grand estates was progressively sold off from 1880. The street grid within the proposed HCA extension was formed around this time and still carries the names of the marine villas.</p>
<p><b>Character</b></p> 	<p>The streetscapes retain the character of the speculative subdivision of three mid-19th century Marine Villa estates that created predominantly Victorian and Federation freestanding and semi-detached suburban housing lots. Construction in the Victorian and Federation periods created consistent heritage streetscapes now enhanced by mature trees.</p>
<p><b>Statement of Significance</b></p> 	<p>The proposed HCA extension demonstrates Waverley's early colonial history of marine villa land grants at Bronte which can still be traced in the extant subdivision patterns, street names and built forms. Subdivision of the estates was emblematic of and served to shape the set-out of streets and built pattern within the area and provided a legacy of house (Lugar St, Brae St, Lugar Brae Ave, Yanko Ave) and family names (Macpherson St, Evans St).</p>
<p><b>Public Feedback</b></p>	<p>5 submissions supported UCA; 3 objections</p>
<p><b>Expert Panel Feedback</b></p>	<p>Supported listing the draft Yanko-Lugar Brae UCA's historically, architecturally and aesthetically significant streetscapes.</p>



**YANKO - LUGAR BRAE URBAN CONSERVATION AREA - EXTENSION  
(Formerly Evans St HCA)**



**Existing Urban Conservation Area**



**Proposed Heritage Conservation Area - Extended**

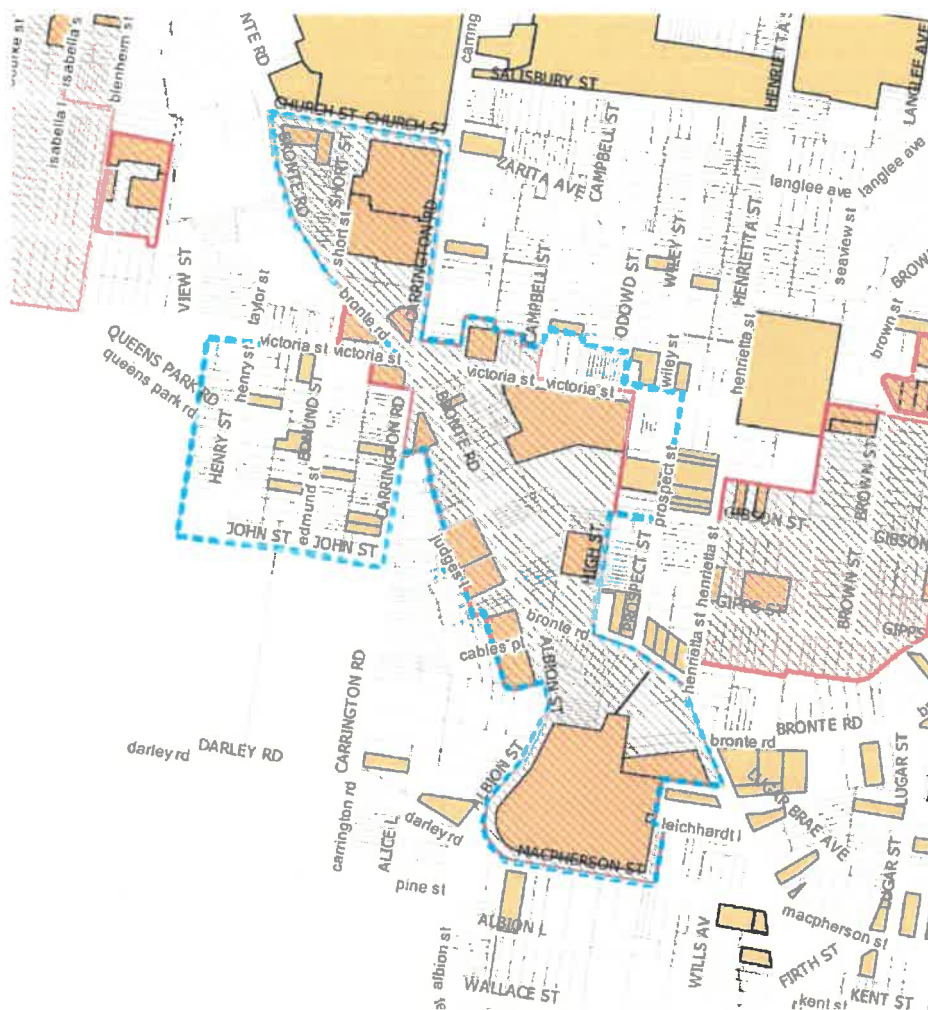


**Existing Heritage Items**



### 3.1.2 Charing Cross UCA - extension

<p><b>History</b></p> 	<p>The existing Charing Cross HCA covers Waverley's oldest and most intact commercial centre, dating from its days as a small service village on the road to Coogee and on to Governor Lachlan Macquarie's watchtower at La Perouse, erected in 1822. The centre pre-dates Bondi Junction as Waverley's commercial hub and was established from land grants made in the 1830s. Waverley was inaugurated as a municipality at Charing Cross (known then as Maddens Corner) in 1859. Its Victorian history remains visible in the streetscapes, characterised by rare, mid-Victorian shops interspersed with two-storey retail facades of late-Victorian, Federation and Inter-War styles, and Post-War infill. The proposed HCA extension aims to include a small number of significant buildings of those eras that contribute to and further preserve the heritage streetscapes, which contain two buildings (including Mary Immaculate Church) significant enough to warrant State Heritage listing.</p>
<p><b>Character</b></p> 	<p>The existing HCA exhibits a two-storey character with near-complete rows of late Victorian and Federation-style terraces and some Inter-War apartments. The peripheral streets contain a number of large freestanding Victorian residences which remain generally unaltered.</p>
<p><b>Statement of Significance</b></p> 	<p>The streetscapes retain notable 19th and early 20th buildings of both state and local heritage significance. The high integrity of the built form in the area records the historic evolution of a place from a village east of Sydney. The slowing of growth in post-World War 2 ensured the preservation of the historic fabric of Charing Cross.</p>
<p><b>Public Feedback</b></p>	<p>2 submissions supported UCA; 1 objections</p>
<p><b>Expert Panel Feedback</b></p>	<p>Supported listing the draft Charing Cross UCA's extended boundaries' historically and architecturally streetscapes.</p>



### CHARING CROSS URBAN CONSERVATION AREA - EXTENSION



Existing Urban Conservation Area

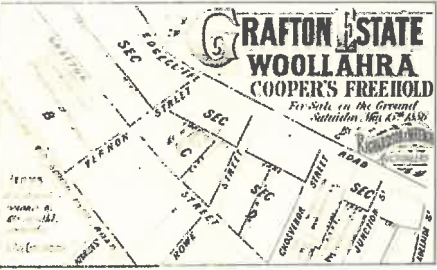





Proposed Heritage Conservation Area - Extended



Existing Heritage Items

### 3.1.3 Grafton Street HCA - extension

<p><b>History</b></p> 	<p>Grafton Street was identified as a conservation area in 2012 after the land south of Syd Einfeld Drive was transferred from Woollahra Council, which had listed the precinct in its West Woollahra Conservation Area in 2002. The draft HCA extension aims to include and preserve the last remnant of the late Victorian streetscape along Oxford Street that grew along the tramline. It is an important remnant of the visual presentation of Bondi Junction in the late 19th and early 20th century, now abutted by high-rise towers of the modern era.</p>
<p><b>Character</b></p> 	<p>The proposed HCA extension includes the historic streetscape of Victorian terraces on Leswell St and Victorian and Federation shops on Oxford St. Residential and retail buildings from the period 1880-1915 remain substantially intact and maintain their low-density character, despite intense pressure for redevelopment in the area.</p>
<p><b>Statement of Significance</b></p>  	<p>The HCA is a remnant of the historic Grafton Estate, now bisected by Syd Einfeld Drive, and the late-Victorian and Federation commercial streetscape of Oxford St. The Oxford St streetscape is the last commercial remnant in west Oxford St and remains historically consistent in character and form. The HCA's surviving built and natural fabric demonstrates important historical phases of the area's development, including late-19th and early 20th century speculative subdivision and commercial development responding to the growth of public transport (tramways) in mid-19th century Sydney. The area is also significant for its association with the growth of the heritage conservation movement in the 1960s. It was an early example of an area that received recognition by the National Trust and the Australian Heritage Commission through local community efforts.</p>
<p><b>Public Feedback</b></p>	<p>1 submissions supported UCA; 3 objections</p>
<p><b>Expert Panel Feedback</b></p>	<p>Supported listing the draft Grafton St UCA as historically, architecturally and socially significant streetscapes.</p>



### GRAFTON STREET URBAN CONSERVATION AREA - EXTENSION



**Existing Urban Conservation Area**



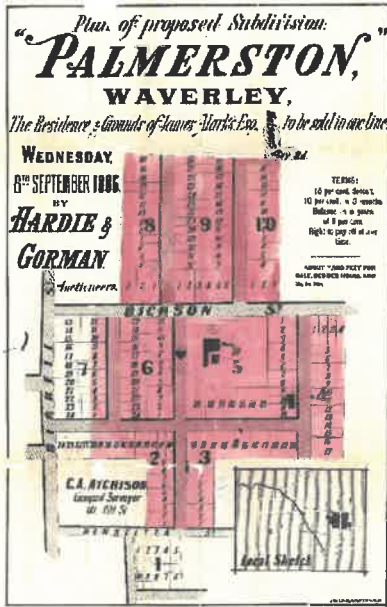


**Proposed Heritage Conservation Area - Extended / Reduced**



**Existing Heritage Items**



### 3.1.4 Palmerston Street UCA - reduction

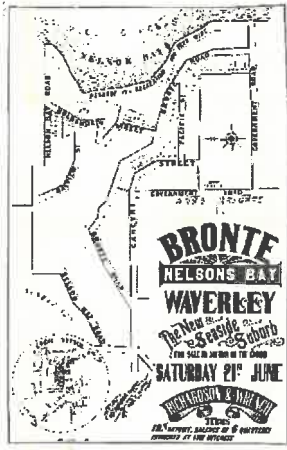

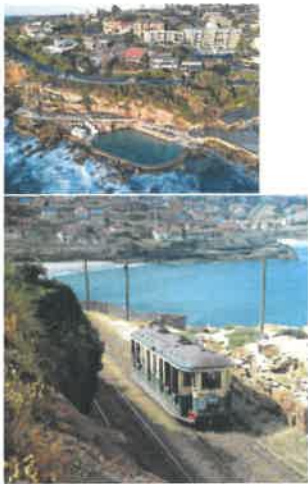
<p><b>History</b></p> 	<p>The conservation area covers part of the original grounds of Palmerston House, erected for William Spain to the design of Edmund Blackett in the 1860s. Current boundaries of the conservation area exceed the area of heritage significance. The Palmerston Estate of 15 acres was marketed in 1865 and in 1872 was purchased by the Sydney merchant John De Villiers Lamb for 6250 pounds. The estate was bounded to the south by Gipps Street and to the east by Dickens Street. Progressive subdivision of the estate saw the establishment of Palmerston Avenue from Murray Street to Dickson Street, enabling residential construction and the southern side of Bronte Public School. Vacant land to the west was utilized as a quarry until the 1940s. The post-war extension of Palmerston Avenue to the west provided land for subdivision and construction of residential flat buildings in the immediate post-WWII period.</p>
<p><b>Character</b></p> 	<p>Cohesive grouping of early post-war residential flat buildings demonstrating the transition from Inter-War to Post-War aesthetic styles.</p>
<p><b>Statement of Significance</b></p> 	<p>Inter-War flat buildings to the corner of Palmerston Avenue and Dickens Street provide a benchmark for the beginnings of stylistic change of the residential flat building from Inter-War to Post-War periods.</p>
<p><b>Public Feedback</b></p>	<p>1 submissions supported UCA; 4 objections</p>
<p><b>Expert Panel Feedback</b></p>	<p>Supported listing the draft Palmerston UCA's architecturally significant Inter-War and immediate Post-War streetscape.</p>

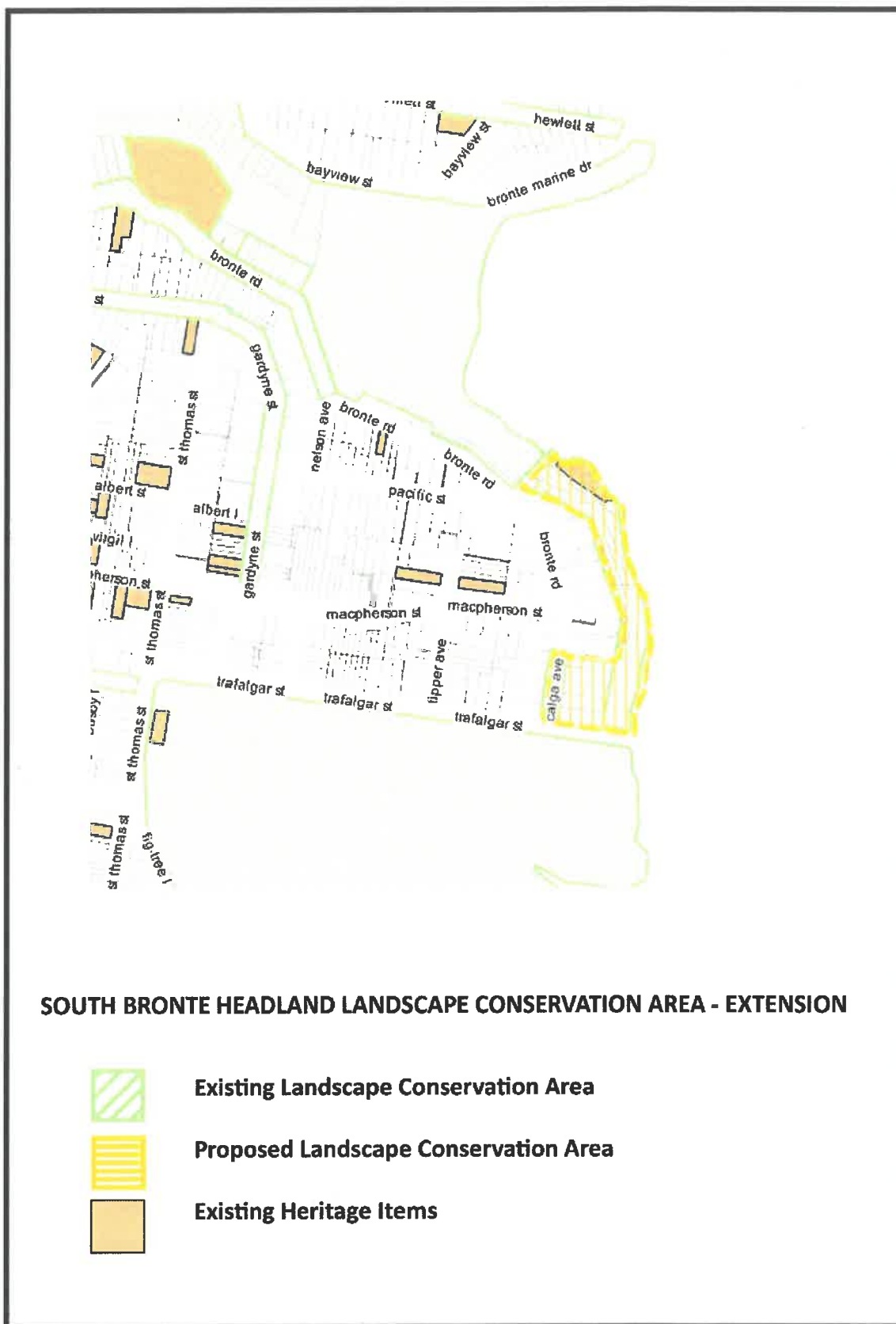




## 3.2 Amended Landscape Conservation Areas

### 3.2.1 South Bronte-Calga Headland LCA - extension

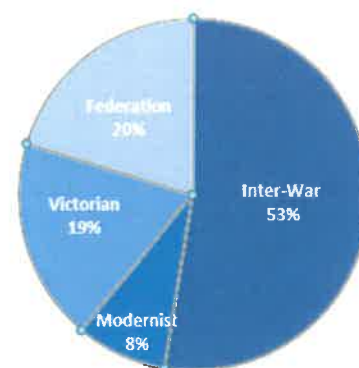
<p><b>History</b></p> 	<p>The proposed extension to the South Bronte Headland LCA aims to bring the adjacent Calga Reserve into the existing LCA. The LCA already includes Calga Cutting - the former tram corridor that connected Macpherson Street to Bronte Beach - but did not include Calga Reserve parkland. More than 1 million people use the Coastal Walk from Bronte to Bondi every year. Calga Reserve is aesthetically significant as part of that much greater cliff-scape along the highly esteemed coastal walk.</p>
<p><b>Character</b></p> 	<p>The headland, including the Calga Cutting, is well-known and esteemed as a prominent corridor of coastal public land, with dramatic topographical and geological attributes combined with sweeping ocean views.</p>
<p><b>Statement of Significance</b></p> 	<p>The LCA has significant natural heritage values as a cultural landscape. The location has a long history of seaside bathing and is associated with the beginnings of the surf lifesaving movement, the soon-to-be state heritage-listed Bronte Ocean Pool and the c.1911 Bronte tram cutting. The area's scenic features are held in high esteem by locals and tourists who utilise Calga Cutting and the adjoining Calga Reserve to traverse the Coogee-Bronte-Bondi coastal walk. The headland also has local historic significance as part of the Bronte arrival experience for tram travellers from the early 1910s. It is associated with civic consciousness, modern municipal conveniences and the setting of Waverley Cemetery.</p>
<p><b>Public Feedback</b></p>	<p>1 submissions supported UCA; 0 objections</p>
<p><b>Expert Panel Feedback</b></p>	<p>Supported listing the extended UCA as a historically and aesthetically significant cultural landscape.</p>



## 4 SUMMARY OF FEEDBACK ON DRAFT INDIVIDUAL LISTING

### 4.1 Overview of process

Like the UCAs and LCAs, individual heritage items were recommended for listing for various reasons, including changing values and because a loss of good examples of a particular style of architecture makes the remaining one rarer and more significant. The Assessment proposed 47 individual heritage items, with some joint listings of stylistic groups.



Individual items were grouped by Precinct Committee boundary (mapped on the next page).

Of the 47 items, Inter-War architecture made up the highest proportion of architectural styles, at 53%. The Bondi Beach precinct area narrowly included the highest number of draft individual listings, predominantly on Campbell Parade, with 24%.

All draft items went on public exhibition and 7000 letters were sent to owners affected by inclusion in UCAs and individual listing. All listings were peer reviewed. As a result, the number of items proposed for individual listing was reduced to 47 after removal of some items and joint listings for others. The proposed changes are documented in the discussion below:

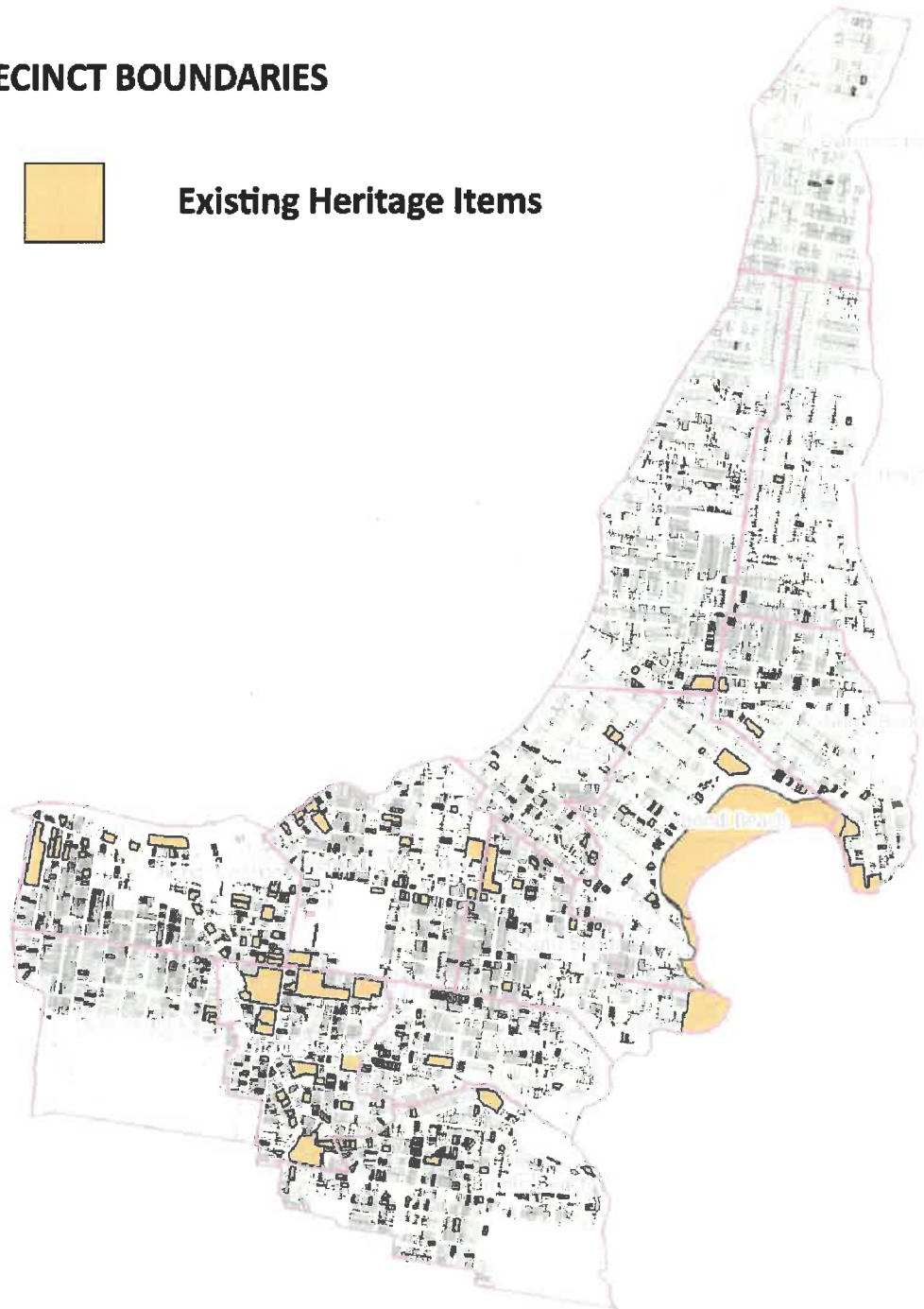
Precincts	Victorian	Federation	Inter-war	Post-war	Total
<b>Bondi</b>	-	3	11	-	14
<b>Bronte</b>	2	-	3	-	5
<b>Penkivil- Waverley</b>	4	2	6	-	12
<b>Rose Bay</b>	-	-	2	-	2
<b>North Bondi</b>	-	-	6	-	6
<b>Dover Heights</b>	-	-	-	4	4
<b>Charing Cross</b>	2	-	1	-	3
<b>South Bondi</b>	-	1	5	-	6
<b>Total</b>	9	12	34	4	52*

\* **Note:** 52 items from the original 59 draft items remain on the draft Schedule 5 list. Five items have become joint listings. The total draft items to be included on Schedule 5 (joint and individual listings) is 47.

## PRECINCT BOUNDARIES



Existing Heritage Items











## Individual Items: Individual Description and Feedback

No	Address	Rationale for listing	Panel, public feedback
	<b>Bondi Beach precinct</b>		<i>Images, maps: Google</i>
1	28-30 Campbell Parade	<p><b>Inter-War: Cenira Mansions – 1924</b>  Paired with <i>Remola Mansions</i> (1923) at 20-26 Campbell Parade, which together form a defining element of the Campbell Parade UCA. The buildings demonstrate the stylistic influences that dominated the beach frontage during the Inter-War years.</p> <p><i>Cenira Mansions</i>, now finished in rendered masonry comprises an asymmetrical façade with canted bay on the right, continuing the pattern of its paired neighbour. Balconies now enclosed and projecting over a suspended street awning. Some windows within the canted bays retain original double-hung glazed sashes. Elongated openings to the recessed balconies now enclosed with metal-framed glazing. Moulded render banding above and below window openings and about the upper raised triangulated parapet providing horizontal emphasis to the façade. Later shopfronts beneath the street awning are not contributory.</p> <p><b>History:</b> The legalisation of sea bathing in daylight hours on NSW beaches in 1902 and the extension of electric tram services to Bondi's south in 1907 spurred popularity of the beach as a holiday and residential destination. Campbell Parade is dominated by Inter-War shop-top housing buildings, which make a key contribution to the distinctive character of the locality. The land, between Lamrock Avenue, Campbell Parade and Sir Thomas Mitchell Road, was part of the O'Brien Estate. It was offered for sale on January 25, 1919.</p> <p><b>Significance:</b> A fine example of the Inter-War Free Classical style, despite some loss of integrity. One of the original buildings on Campbell Parade to retain its original character and streetscape appeal. <i>Cenira Mansions</i> has aesthetic and historical significance as an Inter-War flat building defining the Campbell Parade Conservation Area.</p> <p><b>Level of Significance:</b> Local  <b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b>  <b>Endorsed individual listing</b></p> <p><b>Public: no individual feedback received</b></p>





2	32 Campbell Parade	<p><b>Inter-War: Arnotts Flats 1923 (Sands 1924)</b> Two-storey Classical Revival-style residential building with shopfronts to ground floor. Features pilastered columns above awning, with moulded capitals. Bracketed cornice to parapet. Upper windows unsympathetically altered. Façade remains essentially intact. Reversible unsympathetic changes.</p> <p><b>History:</b> The Inter-War years in Waverley were marked by a building boom, driven by post-war housing shortages, ready availability of public transport and development opportunities. Flats became increasingly popular with the advent of Company title and led to a rapid increase in numbers. Flats at Campbell Parade and in the Bondi basin serviced the growing number of tourists as well as a booming residential population.</p> <p><b>Significance:</b> An essentially intact Inter-War Classical Revival-style shop and residential flat building. Some loss of integrity but continues to make an important streetscape contribution. Arnotts Flats has aesthetic and historical significance as an Inter-War flat building within the Campbell Parade Conservation Area.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Endorsed individual listing, capable of resoration</p> <p><b>Public:</b> No individual feedback received</p>	
3	50-54 Campbell Parade	<p><b>Inter-War: Walhalla Court 1930s</b> The building has elements of both Inter-War Stripped Classical and Inter-War Art Deco style. Symmetrical composition, simplified classical motifs reflect the Stripped Classical style. Columns and capitals provide strong vertical emphasis and a streamlined modern effect with clean, geometric lines. Inter-War Art Deco doorway. Horizontal stripped recesses of the façade show Inter-War Art Deco influence.</p> <p><b>History:</b> Six lots of land along Campbell Parade and Beach Road were offered for sale on January 26, 1929, as part of the Esplanade Estate. Municipal improvements at Bondi beach, including construction of the Bondi Pavilion in 1929, catered for the growth in aquatic recreation. Its popularity continued to grow in the 1930s. Guest and boarding houses two- and three-storey flats clustered close to the beach. By the 1930s a wall of hotels, and flats extended along Campbell Parade.</p> <p><b>Significance:</b> <i>Walhalla Court</i> has aesthetic and historical significance as an Inter-War flat building defining the Campbell Parade UCA.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Endorsed individual listing as a group with 56 and 58 Campbell Parade as a significant streetscape element</p> <p><b>Public:</b> No individual feedback received</p>	



4	56 Campbell Parade	<p><b>Inter-War: 1930s</b></p> <p>Two-storey Art Deco-style Inter-War shop-top housing building. Upper level original brick in four regular bays with two end bay extruded narrowly. Original windows removed. Decorative parapet with central detail of Egyptian style. Parapet steps down to the sides. Rendered brick at street level.</p> <p><b>History:</b> The building contributed to a wall of hotels, guest houses and flats that extended the length of Campbell Parade by the 1930s. The Inter-War style is reflective of the building boom in the Bondi basin to meet the population explosion after WWI.</p> <p><b>Significance:</b> The building has aesthetic and historical significance as an Inter-War flat building defining the Campbell Parade Conservation Area.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b></p> <p>Endorsed individual listing as a group with 50-54 and 58 Campbell Parade as a significant streetscape element</p> <p><b>Public:</b> No individual feedback received</p> 
5	58 Campbell Parade	<p><b>Inter-War: 1938 Functionalist</b></p> <p>Four-storey Inter-War residential flat building in late Art Deco style. Original face brick with central vertical raised decorative element. Side bays with window pairs on either side.</p> <p><b>History:</b> The building's late Art Deco style has transitional elements of Functionalist architecture emerging at the end of the Inter-War era as the building boom in the Bondi basin continued and took up sites of opportunity remaining from the Federation subdivision of the O'Brien Estate on the southern side.</p> <p><b>Significance:</b> The building by the significant Inter-War architect Percy Gordon Craig represents the final stage of the Inter-War architecture story, before post-war Modernism took hold. The façade represents a dropping of affectations of the past as architects responded to changes flowing from Europe. Of architectural, streetscape, aesthetic and historical significance at a local level as an Inter-War flat building helping to defining the Campbell Parade Conservation Area.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b></p> <p>Endorsed individual listing as a group with 50-54 and 56 Campbell Parade as a significant streetscape element</p> <p><b>Public:</b> Objections received</p> 
6	72-76 Campbell Parade	<p><b>Federation:</b></p> <p><i>Grenfell Court, Majestic Mansions 1916</i> (Sands 1917)</p>	<p><b>Panel:</b></p> <p>Endorsed individual listing</p>

		<p>Four-storey residential flat building with commercial at ground floor. Typical of the Arts and Crafts style continuing from the Federation period – an informal style that employed traditional materials and details.</p> <p><b>History:</b> Photographs from 1929 show the original building had light wall colours with features highlighted in a dark colour.</p> <p><b>Significance:</b> Historical, aesthetic landmark, long a part of the Bondi Beach townscape. Architectural integrity lost but continues to make an important streetscape contribution. Good example of the Commercial Palazzo style. <i>Grenfell Court, Majestic Mansions</i> has aesthetic and historical significance as an Inter-War flat building defining the Campbell Parade Conservation Area.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Public:</b> No individual feedback received</p> 
7	80 Campbell Parade	<p><b>Federation Oceanic Mansions 1918 (Sands 1919)</b></p> <p>Four-storey late Federation residential flat building with shopfronts at ground floor. Good Stripped Classical-style with Arts and Crafts influences. Fifth-storey is a modern addition. Features rendered masonry comprising a symmetrical façade with canted bays on both sides of a narrow central tower with porthole window feature in centre above a raised social panel identifying <i>Oceanic Mansions</i> in rendered lettering. Windows within the canted bays retain original double-hung glazed sashes. Render banding above and below window openings and about the upper raised triangulated parapet. Later shopfronts beneath the street awning are not in keeping with the elevation's quality and character.</p> <p><b>History:</b> The consolidation of the residential flat building as a form of housing proliferated after World War I particularly along the eastern suburbs tram routes and beach frontages. The flats provided both holiday accommodation and permanent residences and were constructed in an amalgam of popular revival styles, frequently combined with the emerging Inter-War architectural styles.</p> <p><b>Significance:</b> <i>Oceanic, Majestic Mansions</i> has aesthetic and historical significance as an Inter-War flat building defining the Campbell Parade HCA. A fine example of the Inter-War</p>	<p><b>Panel:</b> Endorsed individual listing, capable of resoration</p> <p><b>Public:</b> No individual feedback received</p> 




		Stripped Classical style. One of the original buildings on Campbell Parade to retain its character and streetscape appeal. <b>Level of Significance:</b> Local <b>Integrity:</b> Substantially intact	
8	96 Campbell Parade	<b>Inter-War Ozone Flats 1921 (Sands)</b> Three-storey Inter-War Chicago School influences. Three-storey residential building with shopfronts to ground floor. Features pilastered columns above awning, with moulded capitals. Bracketed cornice to parapet. Original windows removed. Rendered brick. Shopfronts substantially altered. <b>History:</b> The flats provided both holiday accommodation and permanent residences and were constructed in an amalgam of popular revival styles. <b>Significance:</b> <i>Ozone Flats</i> has aesthetic and historical significance as an Inter-War flat building defining the Campbell Parade Conservation Area. <b>Level of Significance:</b> Local <b>Integrity:</b> Substantially intact	<p><b>Panel:</b> Endorsed individual listing, capable of resoration</p> <p><b>Public:</b> No individual feedback received</p> 
9	104 Campbell Parade	<b>Inter-War Biltmore Private Hotel 1915-1928 (Sands)</b> Four-storey residential building with shopfronts to ground floor. Good Classical Revival style. Features pilastered columns above awning, with elaborately moulded capitals. Bracketed cornice to parapet of special note. Some good leadlight survives in some windows. Probably face brick originally but above awning façade remains essentially intact. Shopfronts substantially altered. <b>History:</b> The flats provided both holiday accommodation and permanent residences and were constructed in an amalgam of popular revival styles. <b>Significance:</b> <i>Biltmore Private Hotel</i> has aesthetic and historical significance as an Inter-War flat building defining the Campbell Parade Conservation Area. <b>Level of Significance:</b> Local <b>Integrity:</b> Substantially intact	<p><b>Panel:</b> Endorsed individual listing, capable of resoration</p> <p><b>Public:</b> No individual feedback received</p> 
10	140-142 Campbell Parade	<b>Late Federation: Hazel Flats 1920 (Sands 1921)</b> Three-storey Inter-War residential flat building with shopfronts at ground floor. Stripped	<p><b>Panel:</b> Endorsed individual listing, capable of resoration</p>






		<p>Classical-style in three bays, canted on the right and left bays. Twinned windows in the central bay on each of the first and second floors. Hazel Flats in raised lettering on the parapet with raised Classical framing detail. Features rendered masonry on the symmetrical façade. Windows within the canted bays retain original double-hung glazed sashes. Render banding above and below window openings and about the upper raised parapet. Later shopfronts beneath the street awning are not in keeping with the elevation's quality and character.</p> <p><b>History:</b> The consolidation of the residential flat building as a form of housing proliferated after World War I particularly along the eastern suburbs tram routes and beach frontages. The flats provided both holiday accommodation and permanent residences and were constructed in an amalgam of popular revival styles, frequently combined with the emerging Inter-War architectural styles.</p> <p><b>Significance:</b> <i>Hazel Flats</i> has aesthetic and historical significance as an Inter-War flat building defining the Campbell Parade HCA. A fine example of the Inter-War Stripped Classical style. One of the original buildings on Campbell Parade to retain its character and streetscape appeal.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Public:</b> No individual feedback received</p> 
11	33 Denham St	<p><b>Inter-War, 1930</b> Double-storey Mediterranean-style residential building. Original face brick with contrasting soldier course brickwork and shutters. Mosaic detail above portico. Unusual house-form apartment shaped in response to a corner site.</p> <p><b>History:</b> Architectural firm noted on the original approval documents is L and G. McCredie and D Forsyth-Evans. The latter designed other significant buildings including a Georgian Revival cottage in Gordon (1926) for sister Annie Forsyth Wyatt OBE, National Trust movement founder (1945). George McCredie, Scottish architect and engineer, oversaw cleansing, lime washing and demolition in The Rocks after plague outbreak in 1900. His photographic record of housing and poverty an extraordinary reminder of 1900s Sydney. He was also a NSW MLA (<i>Dictionary of Sydney</i>).</p> <p><b>Significance:</b> Further research on the building includes locating the original approval</p>	<p><b>Panel:</b> Endorsed individual listing; the building is worthy of listing for its notable and worthwhile corner presentation, unique design elements and Inter-War Georgian Revival detailing.</p> <p><b>Public:</b> Objections received</p> 




		<p>documents from January 1930 for H. C. Cutler, proprietor for "proposed flats to be erected at Denham Street, Waverley". Architectural firm noted on the plans is L and G. McCredie and D Forsyth-Evans. RAIA lists buildings associated with the firm including Burn Philp (Bridge St), University of Sydney, Mark Foys / Downing St Courts. George McCredie's son Leith is noted for his design of Bondi Surf Club in 1930 (noted in <i>Bondi Pavilion CMP</i>), Sydney Boys High and, later, as a partner in the noted firm Robertson, Marks &amp; McCredie (designer of state-listed AWA Tower). It is likely Leith served his apprenticeship in his father's firm.</p> <p><b>Level of Significance:</b> Local <b>Integrity:</b> Substantially intact</p>	
12	25 Denham St	<p><b>Inter-War</b> Landmark two-storey Spanish Mission-style house on corner of Bondi Rd. Rainbow terra cotta roof tiles. Paired window arches on ground floor separated by barley columns and featuring sunrise motif above windows. Paned double-hung windows on upper floor. Barley columns at entry. Detailed heavy stucco overlap render. Masonry fence characteristic of predominant style of the era.</p> <p><b>History:</b> Development along Bondi Rd was integrally linked with extension of the Bondi tram, which helped to drive the Inter-War building boom in the Bondi Valley. The associated break-up of old land grant estates provided sites for speculative building to meet rapidly increasing population growth. This site once formed part of the O'Brien estate and its carriage-way entrance.</p> <p><b>Reasons for listing:</b> Historical; architectural; aesthetic; streetscape</p> <p><b>Significance</b> Good example of an Inter-War Spanish Mission-style flat building. Typical of the style. Landmark building on Bondi Road.</p> <p><b>Level of Significance:</b> Local <b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Endorsed individual listing, for its design detail: window corbelling, roof tiles, parapet detail, balcony brick detail, arch tops of windows.</p> <p><b>Public:</b> Objections received</p>
13	1 Edward St 10 Francis St	<p><b>Inter-War</b> Cecil, 1919</p> <p>Four-storey residential flat building containing 11 flats of 1-3 bedrooms constructed in late Federation Arts and Crafts Style with flat roof and originally with extensive grounds intended as play areas for children of residents. The building is a rendered masonry Inter-War flat building set into the prevailing slope</p>	<p><b>Panel:</b> Endorsed individual listing</p> <p><b>Public:</b> No individual feedback received</p>





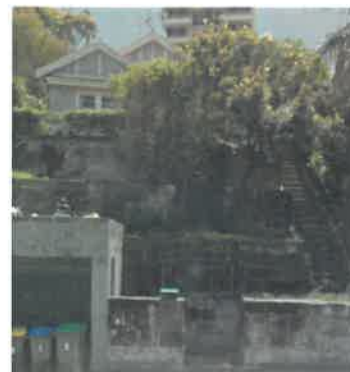
		<p>resulting in a two storey presentation to Edward Street and four to the northern rear elevation facing Francis Street behind a row of street front garages.</p> <p><b>Reasons for listing:</b> Historical; architectural; aesthetic; social</p> <p><b>Significance:</b> The four-level residential flat building Cecil, erected 1919-20, is a significant variation of the residential flat building type, being specifically designed for families at a time when residential flat building was focused on adult occupation. The building, financed and occupied by local Waverley 62tilized62 and businessman A. M. Loewenthal, employed the late Federation Arts and Crafts style in a building of generous one- to three-bedroom apartments with sleep-outs based on those 62tilized in large family residences of the time. Extensive grounds included children's playgrounds, shade pergolas and a tennis court for parents and children. Cecil remains an exceptional example of innovative design utilizing the evolving residential flat building and combines high social significance with notable aesthetic qualities.</p> <p><b>Level of Significance:</b> State</p> <p><b>Integrity:</b> Intact</p>		
14	8 Fletcher St, Tamarama	<p><b>Inter-War</b> Spanish Mission-style freestanding, two-storey residential flats building. Elevated coast views. Detailed render in seashell pattern stucco-overlap. Paned double-hung windows in pairs with faux fanlight windows on lower floor. Stained glass arched leadlight window over entry portico with scrolled decorative parapet above. Masonry fence characteristic of the predominant local style.</p> <p><b>History:</b> Elevated building captures ocean views to the south, built on original tram route to Bondi terminating near Wonderland and the Aquarium before the line was extended to the beach. Street pattern curve responded to the trams' inability to take tight corners.</p> <p><b>Reasons for listing:</b> Historical; architectural; aesthetic; streetscape</p> <p><b>Significance:</b> Good example of an Inter-War Spanish Mission-style flat building. Built in response to the population and building boom in Bondi in the Inter-War years along the tram line, reflected in the curved street alignments.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Endorsed individual listing, capable of resoration</p> <p><b>Public:</b> No individual submissions received</p>	



	<b>Bronte precinct</b>		
15	2 Bayview St	<p><b>Inter-War</b> residential flat building. Landmark double-fronted 2 and 3-storey apartment block overlooking Bronte Beach. Original face-brick with contrasting brick lintels over windows. Projecting entrance portico with central parapet obscuring tile roof. Front elevation Portico with Old English-style brick detailing.</p> <p><b>History:</b> Proposed subdivision plans for Bayview St, on the edges of the Bronte Estate, were drawn up from 1861, by Reuss &amp; Browne, for J.J. Falconer, the Superintendent of the Bank of Australasia who was a Bronte landowner and developer. Bay View St appears on Parish Maps in the 1890s and became a formal roadway in the 1920s when it was connected to Bronte parklands via walking paths built by Waverley Council. Marine Drive was constructed as a formal roadway 1931-32, connecting to Bayview St. The building at 2 Bayview St appears in the 1943 Sydney aerial survey with unimpeded beach views. The building supports the growing appreciation of beachside recreation and living.</p> <p><b>Reasons for listing:</b> Historical; architectural; aesthetic; streetscape</p> <p><b>Significance:</b> Unusually large Inter-War flat building with landmark proportions with well detailed entrance brickwork a feature.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Endorsed individual listing, capable of resoration</p> <p><b>Public:</b> Bronte Beach Precinct Committee supported listing</p>  
16	10 Belgrave St, Bondi	<p><b>Victorian:</b> Remnant part of Dickson estate subdivision, part of Victorian era early grand estate sub-division</p> <p><b>History:</b> Land originally put up for sale in 1855 and was later subdivided.</p> <p><b>Significance:</b> Freestanding single-storey bungalow constructed in the Victorian Italianate style during the subdivision of lands from large gentlemen's estates in the late Victorian era.</p>	<p><b>Panel:</b> Remove from draft individual listing – due to loss of original detailing</p> <p><b>Public:</b> No individual submissions received</p> 
17	13 Belgrave St	<p><b>Federation</b> Single-storey bungalow. Dominant terra cotta roof with setdown veranda. Single-fronted symmetrical design. Timber posts.</p> <p><b>History:</b> The Federation residence was built on land sold off in a sale branded "Palmerston"</p>	<p><b>Panel:</b> Remove from draft individual listing – due to loss of original detailing</p> <p><b>Public:</b> objection received</p>







		<p>Estate" between Belgrave and Hewlett streets in the early 1890s.</p> <p><b>Significance:</b> The house is an example of the evolution of housing in 19<sup>th</sup> and 20<sup>th</sup> century Waverley as the area changed from a district of rural worker housing and isolated marine villas to a setting of close subdivisions accessed by improving tram links. Original detail lost.</p>	
18	20 Belgrave St	<p><b>Victorian</b> Free Classical freestanding single-storey bungalow; Entry recessed on left. Slate roof. Original chimney.</p> <p><b>History:</b> The residence was built on land that once formed the Mandeville estate, on the western half of Belgrave St. The subdivision sale notice advertised "commanding grand views, convenient access to Waverley and Bondi trams and the availability of city water and gas on the sites".</p> <p><b>Significance:</b> The Victorian residence is an example of speculative subdivision housing built in the late Victorian period with the subdivision of early land grants in the Bronte area. Too much original detail lost.</p>	<p><b>Panel:</b> Remove from draft individual listing – due to loss of original detailing</p> <p><b>Public:</b> No individual submissions received</p> 
19	22 Belgrave St	<p><b>Victorian</b> Freestanding single-storey bungalow; projecting 3-bay front with arched cornice detail; timber double-hung windows. Iron veranda posts. Rendered brick.</p> <p><b>History:</b> The residence was built on land that once formed the Mandeville estate, on the western half of Belgrave St.</p> <p><b>Significance:</b> The Victorian residence is an example of speculative subdivision housing built in the late Victorian period with the selloff of early land grants in the Bronte area.</p>	<p><b>Panel:</b> Remove from draft individual listing due to loss of original detailing</p> <p><b>Public:</b> No individual submissions received</p> 
20	209 Birrell St	<p><b>Federation</b> Early single-storey Federation freestanding bungalow on corner. Dominant roof form. Double-fronted symmetrical design. Extruded curved 3-window front bay. Iron veranda posts.</p> <p><b>History:</b> The early settlement of Waverley's coastal areas began along roads constructed on ridgelines, leaving the lower gully areas at Bronte and Tamarama (Fletcher's Glen) undeveloped and overlooked by freestanding</p>	<p><b>Panel:</b> Support individual listing</p> <p><b>Public:</b> No individual submissions received</p>





		<p>villas. The roads provided the location of early suburban subdivisions, initially occupied in the later 19<sup>th</sup> century by freestanding residences.</p> <p><b>Significance:</b> Historical, aesthetic</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	
21	213 Birrell St	<p><b>Federation</b> Single-storey bungalow. Dominant roof form. Double-fronted symmetrical design. Extruded 3-window curved bay front of street façade. Iron veranda posts. Stone posts, palisade fence. Original modest Federation freestanding bungalow.</p> <p><b>History:</b> The early settlement of Waverley's coastal areas began along roads constructed on ridgelines, leaving the lower gully areas at Bronte and Tamarama (Fletcher's Glen) undeveloped and overlooked by freestanding villas. The roads provided the location of early suburban subdivisions, initially occupied in the later 19<sup>th</sup> century by freestanding residences.</p> <p><b>Significance:</b> Historical, aesthetic</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Support individual listing</p> <p><b>Public:</b> No individual submissions received</p> 
22	3 Blandford Ave	<p><b>Inter-War</b> Freestanding Californian bungalow, elevated off street for ocean views. Painted brickwork on sandstone foundations. Street-facing gable of timberwork. Substantial sandstone terracing with mature garden canopy to street. Locally quarried sandstone stairs up to house from street. Unaltered; last of an original group built in prominent position remaining Californian bungalow in street. Rare example of type left in the area</p> <p><b>History:</b> While Californian Bungalows first appeared in the 1920s and was reinterpreted by Australian architects and speculative builders. Its popularity soared until the Depression in 1929.</p> <p>Blandford Ave was formed from a large land sale in 1855 on the south side of Birrell Street, extending from Seaview Street to Tamarama and Hewlett and Murray streets to the south. Sixteen blocks, between 4 and 7 acres, were sold. Among the purchasers were Edward Bennett (Bennett Street), who bought 4 lots, and Dugald Macpherson (Macpherson Street) who purchased one lot. The resulting Marlborough Estate subdivision had frontages</p>	<p><b>Panel:</b> Support individual listing</p> <p><b>Public:</b> No individual submissions received</p> 

		<p>to Dickson, Brown and Palmerston streets, Blandford and Langlee avenues.</p> <p><b>Significance:</b> Good and last remaining example of a 1920s Californian Bungalow in this location in Bronte with mature gardens and landscaping across prominent sandstone terraces stepping down steep site.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	
23	2 Read St	<p><b>Federation</b> Freestanding, single-storey early 20<sup>th</sup> century weatherboard cottage; ironwork veranda posts, sandstone front fence.</p> <p><b>History:</b> Land in the area was originally sold off in 1855.</p> <p><b>Significance:</b> The modest Federation residence is an example of speculative subdivision housing.</p>	<p><b>Panel:</b> Support individual listing</p> <p><b>Public:</b> Objection received</p> 
24	7 Read St	<p><b>Federation</b> Early 20<sup>th</sup> century freestanding weatherboard cottage.</p> <p><b>History:</b> Houses in the area were constructed from 1890 on lots that offered "grand views" and a "healthy locality".</p> <p><b>Significance:</b> The Federation residence is an example of speculative subdivision housing built in the late Victorian period with the selloff of early land grants in the Bronte area.</p>	<p><b>Panel:</b> Remove from individual listing due to loss of original detail</p> <p><b>Public:</b> Objection received</p> 
25	16 St Thomas St	<p><b>Inter-War 1927</b></p> <p>Meta-Court is a Georgian Revival-style Inter-War residential flat building. Its symmetrical façade with extruded central entry bay with gables roof appears as a two-storey building at street level. The building is of four stories from its rear elevation in response to the sloping topography. The building's name appears above the front entrance in raised lettering on a contrasting concrete band across original face brick of differing red colours. The side bays on the front façade contain recessed</p>	<p><b>Panel:</b> Support individual listing</p> <p><b>Public:</b> Submissions of support for listing received</p>

		<p>balconies with contrasting lintels above. The entrance is accessed across a bridge as the land slopes away from the street. Good leadlight survives in the upper floor windows in the central bay.</p> <p><b>History:</b> Meta-Court was built by the property developer Philip Nicholas Renouf, who purchased sites of opportunity around Waverley in the Inter-War period. He is noted for a development approval court case with Waverley Council. It is a court case still cited in planning disputes. The land on which Meta-Court was built became available as a result of the subdivision of lands from Bronte's colonial marine villas.</p> <p><b>Significance:</b> historical, aesthetic and association. The residential flat building Meta-Court is a good example of Inter-War building developed to meet the population boom that occurred after World War I.</p> <p>It is associated with a person whose development of sites of opportunity had an impact on the character of Waverley. The building is an example of the evolution of housing in 20<sup>th</sup> century Waverley as the area changed from a district of rural worker housing to a setting of close subdivisions.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	
	<p><b>Penkivil Waverley precinct</b></p>		
26	<p>40 Flood St, Bondi</p>	<p><b>Inter-War</b> Freestanding three-storey Art Deco style residential flats building. Symmetrical street façade arrangement in vertical bays. Double-hung windows. Rounded cantilevered balconies on building corners. Original face brick. Forms part of a cohesive Inter-War residential streetscape group.</p> <p><b>History:</b> Inter-War Art Deco style demonstrated the dynamic progress of and confidence in modern technology. The building reflects Bondi's Inter-War building boom, responding to the post-war population boom, access to public transport on Bondi Road and the availability of land from the subdivision of early land grant estates. Similar rounded balcony design evident in heritage-listed flats on 69-71 Curlewis St, Bondi.</p>	<p><b>Panel:</b> Support individual listing</p> <p><b>Public:</b> No individual feedback received</p> 

		<p><b>Significance:</b> Well-preserved 1940s flat building. Part of a good streetscape group of apartment blocks of a similar age. Has survived in hardly altered condition.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	
27	17 Ocean St North, Bondi	<p><b>Inter-War</b> Early Functionalist freestanding flats, elevated from street. Symmetrical design. Good decorative dark-band brickwork against lighter-colour original face brick colour. Bow-fronted paired central portion with decorative parapets. Low pitched, hipped, tile roof, largely hidden by parapets. Double-hung timber windows, side entrance. Garages to street level, offset to right. Original brick fence creates front-lawn terrace.</p> <p><b>History:</b> Inter-War flats reflected Bondi's building boom, responding to a post-war population boom. Distinctive unmatched flat-group streetscape.</p> <p><b>Significance:</b> Good, intact example of an Inter-War, Functionalist-style flat building. Original brickwork with decorative parapets over unusual paired central curved bays. Interesting streetscape group</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Endorse as a group listing with 17a and 19 Ocean Street as a significant streetscape element</p> <p><b>Public:</b> Submissions of support for listing received</p> 
28	17a Ocean St North	<p><b>Inter-War</b> Freestanding Free Classical flats building. Asymmetrical façade, 3 vertical bays, central bay with Art Deco-style vertical fin on a stepped pediment. Original face brick in chequered pattern. Sandstone garages at street. Left-hand bay features extruded balconies with triangulated pediment concealing a low pitched, hipped, tile roof. Balconies in original condition with none enclosed. Double-hung timber windows.</p> <p><b>History:</b> Ocean St became available for speculative subdivision for flats after the sale of early, large land-grant estates and the development of Company Title for property ownership.</p> <p><b>Significance:</b> Good, intact example of an Inter-War, Free Classical-style flat building with Chicago school elements. Original face-brick with decorative brick parapets elements. Unusual asymmetrical façade in good original condition. Historical; architectural; aesthetic; streetscape significance.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Endorse as a group listing with 17 and 19 Ocean Street as a significant streetscape element</p> <p><b>Public:</b> No individual submission received</p> 



29	19 Ocean St North	<p><b>Inter-War</b> Freestanding Georgian Revival-style three-storey flats building named <i>Yagobie</i>. Constructed before 1930 (<i>Sands</i>). Original face brick offset with rendered banding above windows and entrance. Simple symmetrical façade features rosette detailing on a rendered lintel cornice at the top of each of four columns spreads into three bays across façade. Circular feature below balconies on rendered banding. Entrance recessed in middle portion of façade's vertical bays. Stained glass windows above classical entrance portico. Stepped terracing to main façade entry. Balconies have been enclosed. Sandstone garage at street level.</p> <p><b>History:</b> Inter-War flat building in Waverley was supported by access to nearby tram transport along Bondi Road. Built on land that once formed mid-Victorian-era gentlemen's estates along Bondi Road.</p> <p><b>Significance:</b> Rare example of Chicago School-style flats. Original face-brick with decorative classical motifs. Enclosed balconies detract. Distinctive and remnant Inter-War flats group in the streetscape</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Endorse as a group listing with 17 and 17a Ocean Street as a significant streetscape element</p> <p><b>Public:</b> Objection received</p>	
30	2b Penkivil St	<p><b>Inter-War</b> Freestanding three-storey Art Deco-style Inter-War flats building, named <i>Roland Gardens</i>. Original textured multi-coloured face brick of red-brown colours. Symmetrical facade with 5 stepped bays. Second and fourth bays projecting and capped with Art Deco-style stepped decorative brick parapets. Façade also features decorative contrasting brick banding introduced into an otherwise simple exterior. Windows are clear-glazed double-hung sashes.</p> <p><b>History:</b> The Art-Deco-style building overlooked Schneider's Garden (now Thomas Hogan Reserve). The land formed part of the early Mamhead estate, and was built on a street named after George Penkivil Slade. The land was owned by Edward Flood and J. B. Jones, who had previously bought two 10-acre portions on Bondi Road. They also purchased 14 acres for £210, between Anglesea Street and Penkivil Street, extending north to Old South Head Road. The grant was issued on February 27, 1839. This land was subdivided</p>	<p><b>Panel:</b> Endorse individual listing</p> <p><b>Public:</b> No individual submissions received</p>	





		<p>before 1885 by J. Newman, of <i>Mamhead Lodge</i>. A portion of the south end of the early subdivision between Penkivil and Anglesea streets and Bondi Road became Slade's subdivision about the 1880s. The land was later sold and developed in the Inter-War building boom at Bondi.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	
31	5 Penkivil St	<p><b>Victorian</b> Freestanding double-storey hilltop late Victorian villa of Italianate and Filigree styles largely intact. Double-fronted with asymmetric plan form with projecting gable roof bay on left side. Arched sandstone lintel and arched portico on ground and first floor. Rendered with stripped classical detailing. Tower encloses the left end of the upper balcony, with iron filigree to the right. Sandstone arched garages at street level. Broad sandstone stair entry through arched gate in sandstone retaining wall.</p> <p><b>History:</b> 5 Penkivil Street is known as <i>Summerton</i> and once overlooked Schneider's Garden with views to Bondi. The centre of the garden was called Bondi Glen. Schneider was a well-known Waverley landscape gardener. The land formed part of the early Mamhead estate, and was built on a street named after George Penkivil Slade. The land was owned by Edward Flood and J. B. Jones, who had previously bought two 10-acre portions on Bondi Road. They also purchased 14 acres for £210, between Anglesea Street and Penkivil Street, extending north to Old South Head Road. The grant was issued on February 27, 1839. This land was subdivided before 1885 by J. Newman, of <i>Mamhead Lodge</i>. Robert Newman was in occupation in 1867. The Lodge was later known as <i>Mamhead Flats</i>. The estate had frontages to New Street and Old South Head Road. A portion of the south end of the early subdivision between Penkivil and Anglesea streets and Bondi Road became Slade's subdivision about the 1880s. Slade was a Sydney solicitor whose second name was Penkivil. It is on this grant that the present Bondi-Waverley School of Arts and the Masonic Hall now stand. (Dowd) <i>San Jose</i> was No 1 in 1900, occupied by Mrs M MacKenzie.</p>	<p><b>Panel:</b></p> <p>Endorse individual listing – of aesthetic significance as an example of the evolving form of the Victorian freestanding townhouse. Missing historical detail can be replaced and does not preclude heritage listing. Listing does not prevent site development. Other buildings of heritage significance remain in Penkivil St. Even if there were none, it is not unusual for a street to contain only one listed house. Past zoning changes have no impact on decisions on heritage significance.</p> <p><b>Public:</b> Objections received</p>





		<p><b>Significance:</b> The Victorian villa demonstrates significant streetscape character and remains of aesthetic significance as an example of the evolving form of the Victorian freestanding townhouse. The residence is of aesthetic and historic significance as a dramatic streetscape remnant of large Victorian villa development on a raised site with views to Bondi Beach over Schneider's Glen (Thomas Hogan Reserve).</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	
32	<p>70 Penkivil St</p> <p>Also known as 160 Bondi Road</p>	<p><b>Inter-War:</b> Constructed in the 1930s in a simple Classical style with Chicago School influences rendered frieze and cornice and upper level window architraves.</p> <p><b>History:</b> Victorian, Federation and Inter-War shop-top housing buildings are a feature of Waverley streetscapes. Bondi Road has some fine examples of such architecture, which makes an important contribution to its distinctive character. It is a strong defining element of the corner site and the streetscape. Few shop-top housing buildings display Classical revival architectural styles, as the majority are Edwardian, Arts &amp; Crafts or Federation in style for those built in the 1910s to 1920s, while those constructed in the 1930s to 1940s tend to be Art Deco in style.</p> <p><b>Significance:</b> The building records and marks out the corner block that once housed one of Bondi Road's early Marine Villa gentleman's estates. Its presence records the pattern of subdivision of the area. It also records the scale of the fabric and the humanity of original streetscape. Strong cubic form is part of its strength. Demolition of such a building from the Inter-War period would see the removal of quality and texture from streetscape. Missing historical fabric does not mean it should not be heritage listed.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Endorse individual listing - building has landmark status; its architectural detail is still present, giving quality and variety, texture and activity as opposed to standardization.</p> <p><b>Public:</b> Objection received</p>
33	<p>22 Bennett St</p>	<p><b>Victorian</b> Freestanding double-storey Italianate terrace, arched entrance on right with Classical detail, arched window above. Iron lace on veranda, Classical door detail mirrored on three-bay window</p> <p>Aesthetic, historical, part of early grand estate subdivision along the top half of Bondi Road.</p> <p><b>History:</b> The land on which Bennett St was constructed was purchased by Edward Bennett in March, 1853, who paid the high price of £5 per acre for his 10-acre lot. It ran along Bondi Road and extended to Birrell and</p>	<p><b>Panel:</b> Endorse individual listing</p> <p><b>Public:</b> No individual submissions received</p>





		<p>Bennett streets and Park Parade. Bennett's estate was subdivided for sale on May 16, 1881, and contained 66 allotments. This house dates from that period.</p> <p><b>Significance:</b> Historical, aesthetic</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	
34	27 Bennett St	<p><b>Victorian</b> Freestanding double-storey Victorian Italianate terrace; central tower with classical detail. Palisade fencing with decorative sandstone posts.</p> <p><b>History:</b> The land on which Bennett St was constructed was purchased by Edward Bennett in March 1853, who paid the high price of £5 per acre for his 10-acre lot. It ran along Bondi Road and extended to Birrell and Bennett streets and Park Parade. Bennett's estate was subdivided for sale on May 16, 1881, and contained 66 allotments. This house dates from that period.</p> <p><b>Significance:</b> The double-storey Victorian Italianate residence retains original detailing and provides a streetscape element of landmark quality. The building suffers from later unsympathetic work, but could be restored.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Altered unsympathetically, reversible</p>	<p><b>Panel:</b></p> <p>Endorse individual listing</p> <p><b>Public:</b> No individual submissions received</p> 
35	28, 29 Park Parade	<p><b>Victorian</b> Pair of attached Victorian Italianate terraces, high off street. Dual central arched entry tower, original double-hung tower window. Balcony enclosed on left. Original sandstone fencing; stair tiles, chimney on left. Distinctive streetscape feature facing Waverley Oval, aesthetic, historical significance as part of late Victorian subdivision of early grand estates sub-division along Bondi Road.</p> <p><b>History:</b> Three 10-acre lots fronting present Bondi Road were sold in the late 1830s. This included land now identified as Waverley Park and Cricket Oval and formerly Flagstaff Farm. The land on which Park Parade was constructed was bought by Edward Bennett in March 1853, who paid the high price of £5 per acre for his 10-acre lot. It ran along Bondi Road and extended to Birrell and Bennett streets. The estate was subdivided for sale on May 16, 1881. The house is from that period.</p> <p><b>Significance:</b> The double-storey Victorian Italianate semi-detached residential pair retain</p>	<p><b>Panel:</b></p> <p>Endorse individual listing. The attached terraces are the most prominent pair along Park Parade, facing Waverley Park. They are a significant example of the transition in architectural styles from late Victorian to early Federation. The towers incorporated into the building serve to emphasise the scale of the building and give greater substance to building than typical terrace. Their position on the park and relationship to water/ horizon / Bondi Valley reflect their landmark status and their original outlook across Waverley before it was developed in the Inter-War</p>

		<p>extensive original detailing and provide a streetscape element of considerable aesthetic quality. The building, while containing unsympathetic later work, retains aesthetic significance and could be restored.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact, reversible</p>	<p>period and later. Distinctive streetscape feature of aesthetic, historical significance.</p> <p><b>Public:</b> Objection received</p> 
36	2-14 King St	<p><b>Federation</b> Row of single-storey terraces; terra cotta tile roofs, timber balcony fretwork; pitched portico.</p> <p><b>History:</b> The Federation semi-detached residences formed part of the speculative subdivision of later 19th century estates in Waverley. The streetscapes were established by the progressive subdivision of the grounds of the large gentlemen's residences constructed between Bondi Rd and Bronte in the mid- to late-19th century, with building continuing into the early 20th century. Dickson's Estate was subdivided for sale on December 3, 1892, with frontages to King, Stephen and Ewell streets. A further sale of unsold lots, took place on November 10, 1907, in Ewell and Stephen streets.</p> <p><b>Significance:</b> Cohesive row of Federation semi-detached dwellings within a streetscape of mature fig trees, most dating back to Great Depression unemployment relief tree planning programs of the 1930s. The pair has historic, aesthetic and social significance as a demonstration of the evolution of Waverley from isolated gentleman's residences to close-set suburban housing of the Federation and Inter-War periods. The streetscapes have social significance as a demonstration of Depression-era work schemes. Aesthetic significance includes streetscapes of cohesive planting, type, scale form and alignment.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Unsympathetically altered</p>	<p><b>Panel:</b></p> <p>Endorse individual listing</p> <p><b>Public:</b> No individual feedback received</p> 
37	4, 6, 8, 10 Stephen St	<p><b>Federation</b> Row of single-storey terraces; terracotta and slate roofs, chimneys intact; some iron fretwork, pitched central portico.</p>	<p><b>Panel:</b></p> <p>Remove from draft listing – original fabric too altered</p>




		<p><b>History:</b> The Federation semi-detached residences formed part of the speculative subdivision of later 19th century estates in Waverley. The streetscapes were established by the progressive subdivision of the grounds of the large gentlemen's residences constructed between Bondi Rd and Bronte in the mid- to late-19th century, with building continuing into the early 20th century. Dickson's Estate was subdivided for sale on December 3, 1892, with frontages to King, Stephen and Ewell streets. A further sale of unsold lots, took place on November 10, 1907, in Ewell and Stephen streets.</p> <p><b>Significance:</b> Row of Federation-era semi-detached dwellings within a streetscape of mature fig trees, most dating back to Great Depression unemployment relief tree planning programs of the 1930s.</p> <p><b>Integrity:</b> Unsympathetic altered</p>	<p><b>Public:</b> No individual feedback received</p> 
38	97 Ocean St	<p><b>Federation</b> Well-detailed freestanding single-storey bungalow, red brick. Complex and dominant terra cotta tiled roof broken with splayed corner gables. Lowered entry roof supported on turned timber veranda posts. Original brick fence castellated pattern. Entry porch recessed. All gables decorated with hoods. Original chimneys.</p> <p><b>History:</b> Land began to be sold off along the unnamed Government Road, later Waverley Street and now Bondi Road in the 1830s. In 1839, Michael Woolley purchased 11.5 acres from Old South Head Road and Bondi Road and Anglesea Street to Flood St for £161. The land was subdivided under the name of Anglesea Estate before 1887. Soon after, Woolley purchased two more land parcels on Bondi Road of 141 and 131 acres each for £123 and £67. This area was subdivided into allotments before 1887. In 1845, four portions were secured by Joseph Dickson for £25 each. Two of the portions faced Bondi Road and two Birrell Street, from Bennett Street to between Ocean and Watson streets. Dickson was one of Waverley's first councillors. By the 1870s, the grant was known as Dickson's Paddock, stretching to McKenzie's dairy at Denham Street. Before 1859, Dickson ran a soap factory and a boiling works fronting Bondi Road. It closed after complaints.</p>	<p><b>Panel:</b> Endorse individual listing</p> <p><b>Public:</b> No individual feedback received</p> 



		<p>The Dicksons then built a timber yard and the family lived in a two-storey house flanked by two landmark Norfolk pines on Ewell Street, (felled in 1929). The estate was subdivided in December 1892. A Federation estate that contained No 97 was then constructed, including the Bondi Road Post Office in 1907.</p> <p><b>Significance:</b> Good example of a Federation residence, intact. Historical, architectural, aesthetic; streetscape significance.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	
<b>Rose Bay precinct</b>			
39	70 Liverpool St	<p><b>Inter-War</b> Double-storey residence designed in the Ocean-liner style. Irregular arrangement of elements, simple curved geometry, white rendered face brick, flat roof concealed by raised parapet. Linear window patterns. Cantilevered entrance hood. Stepped, rendered masonry fence, probably original. Functionalist-Ocean-liner style house. Local aesthetic, historical importance, Rare surviving example.</p> <p><b>History:</b></p> <p><b>Significance:</b> Historical, aesthetic. The bungalow is an intact mid-20<sup>th</sup> century residence constructed in the Ocean Liner style. It records the detail and quality of construction employed in consolidation of outer suburbs of Waverley during the Inter-War period.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Endorse individual listing</p> <p><b>Public:</b> No individual feedback received</p> 
40	1 Warners Ave	<p><b>Inter-War, 1935</b></p> <p>The Bondi Lawn Bowling Club was established in 1935. The clubhouse is an important streetscape feature of Warners Ave's parkland entry off the original South Head Rd. It is a good example of an Inter-War building with Old English influences. Features an unusual roof with hipped gable feature set asymmetrically, with terra cotta roof, face brick and original roof form still intact. Non-original windows detract from façade. Despite later extensions behind façade, the building's original design is still clearly as Inter-War architecture. Curtilage and later alterations could be reversed.</p> <p><b>History:</b> Comparable bowling clubs of a 1920s-1950s already on local heritage lists</p>	<p><b>Panel:</b> Endorse individual listing</p> <p><b>Public:</b> No individual feedback received</p> 




		<p>include: Willoughby (1953); Kyle Bay (1950s); Mona Vale (1954); Mosman (1927); South Hurstville (1950s). The site was originally leased from the Lands Board.</p> <p><b>Significance:</b> The Bondi Bowling Club has historical, aesthetic and social significance. . The building has a long history of association with the local community. Its use as a recreation facility for the community is ongoing. The building demonstrate the growth of community facilities in Bondi's years of expansion. Current use demonstrates and continues ongoing community recreation use of the site as a lawn bowling club since 1935, and of a sport imported to Australia in 1845 (first inter-colonial game was played in 1880. NSW Bowling Association formed the same year.) The collection of memorabilia contained within the clubhouse reaches back to the inception of the club in the 1930s.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	
	<b>North Bondi precinct</b>		
<b>41</b>	127-129 Hastings Parade	<p><b>Inter-War</b></p> <p>The paired residential flat buildings demonstrate the later Arts &amp; Crafts style employed in speculative residential flat buildings of the 1920s. The paired two-storey buildings were originally of face brick with hipped Marseilles tile roofs, broad eaves with exposed rafters and projecting, canted central bays to the street front with quarry-faced sandstone spandrels to ground floor and shingle-clad spandrels to first floor. Double-hung timber sash windows typically in single openings originally incorporated multi-paned upper sashes. Detailed quarry-faced low sandstone fences address the street frontage. The paired flat buildings retain substantial original detail with later changes including render and painting of face brick to roof tile profiles and removal of some window sashes.</p> <p><b>History:</b> Following initial development as the Queenscliff Estate in the 1880s, Hasting Parade at Ben Buckler became a sought-after site for Inter- War residential flat buildings due to exceptional views of the ocean and Bondi</p>	<p><b>Panel:</b> Endorse listing as a pair</p> <p><b>Public:</b> No individual feedback received</p>

		<p>Beach. Many replaced earlier Federation cottages, others occupying vacant sites on the rocky slopes looking south over Bondi Beach.</p> <p><b>Statement of Significance:</b> The paired Inter-War Arts and Crafts-style residential flat buildings are substantially intact examples of the speculative development of Ben Buckler in the Inter-War period. The new housing form capitalised on the scenic outlook, the growing popularity of Bondi was a residential location aided by improved tram transport. The grouped buildings demonstrate the initial aesthetic approach to the new housing type adapting articulation and detail previously employed in Federation Arts and Crafts residences.</p> <p>Construction in matching pairs with sandstone fences associated with the established use of locally quarried material further enhanced the evolving streetscape in Hastings Parade of the Inter-War years.</p> <p><b>Significance:</b> Historical, aesthetic</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact, reversible changes</p>			
42	131 Hastings Parade	<p><b>Inter-War</b></p> <p>The residential flat building at 131 Hastings Parade, North Bondi, demonstrates Art Deco Moorish style detailing employed in speculative residential flat buildings of the later Inter-War years. The two-storey building incorporates a projected break-front elevation articulated as a Moorish-influenced screen to the front of a conventional hip-roofed face-brick building. The street elevation incorporates vertically emphasised pointed arched Moorish style windows between expressed pilasters tapered into a raised parapet. Outer corners of the front elevation have return pilasters rising above the parapet. Curved balconies are set in the returns to each side of the centre bay, these finished in rendered masonry. Now rendered and painted, the building is likely to have been initially constructed in face brick.</p> <p><b>History:</b> Following initial development as the Queenscliff Estate in the 1880s, Hasting Parade at Ben Buckler became a sought-after site for Inter- War residential flat buildings due to exceptional views of the ocean and Bondi Beach. Many replaced earlier Federation</p>		<p><b>Panel:</b></p> <p>Endorse individual listing</p> <p><b>Public:</b></p> <p>No individual feedback received</p>	
					

		<p>cottages, others occupying vacant sites on the rocky slopes looking south over Bondi Beach.</p> <p><b>Statement of Significance:</b> The residential flat building at 131 Hastings Parade is a notable example of the Art Deco-style incorporating elements of Moorish style in a speculative residential flat building of the later Inter-War years. Reflecting the influence of French Art Deco and in turn its North African colonies particularly Casablanca, on the evolution of the Art Deco style, the building demonstrates the attention to detail and contemporary taste of later residential flat construction in a competitive market prior to World War 2.</p> <p><b>Significance:</b> Historical, aesthetic</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	
43	133-135 Hastings Parade	<p><b>Inter-War</b> The paired residential flat buildings demonstrate the later Arts &amp; Crafts style employed in speculative residential flat buildings of the 1920s.</p> <p>The paired two-storey buildings were originally of face brick with hipped Marseilles tile roofs, broad eaves with exposed rafters and projecting, canted central bays to the street front with quarry-faced sandstone spandrels to ground floor and shingle-clad spandrels to first floor. Double-hung timber sash windows typically in single openings originally incorporated multi-paned upper sashes. Detailed quarry-faced low sandstone fences addressed the main street frontage.</p> <p>The paired residential flat building retain substantial original detail with later changes including render and painting of face brick change to roof tile profiles and removal of some original window sashes.</p> <p><b>History:</b> Following initial development as the Queenscliff Estate in the 1880s, Hasting Parade at Ben Buckler became a sought-after site for Inter- War residential flat buildings due to exceptional views of the ocean and Bondi Beach. Many replaced earlier Federation cottages, others occupying vacant sites on the rocky slopes looking south over Bondi Beach.</p> <p><b>Statement of Significance:</b> The paired Inter-War Arts and Crafts-style residential flat buildings are substantially intact examples of the speculative development of Ben Buckler</p>	<p><b>Panel:</b> Endorse individual as a pair</p> <p><b>Public:</b> Support received for draft listing</p> <div data-bbox="1046 1408 1402 1671" data-label="Image"> </div> <div data-bbox="1046 1697 1402 2065" data-label="Image"> </div>

		<p>during the Inter War period. The new housing form capitalised on the scenic outlook, the growing popularity of Bondi was a residential location aided by improved tram transport. The grouped buildings demonstrate the initial aesthetic approach to the new housing type adapting articulation and detail previously employed in Federation Arts and Crafts residences.</p> <p>Construction in matching pairs with sandstone fences associated with the established use of locally quarried material further enhanced the evolving streetscape in Hastings Parade of the Inter War years.</p> <p><b>Significance:</b> Historical, aesthetic</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	
44	165-171 Hastings Parade	<p><b>Inter-War:</b> Part of a group of Spanish Mission-style, freestanding residences and residential flat buildings in varied states of intactness. Characterised by front portico feature supporting stepped-up terraces to main façade. Paired window arches separated by barley sugar columns. Combination of cartouche, garland and patina features on scrolled parapet. Detailed render in seashell pattern. Evidence that front windows were originally in stained glass. Masonry fence characteristic of area's predominant style.</p> <p><b>History:</b> Following initial development as the Queenscliff Estate in the 1880s, Hasting Parade at Ben Buckler became a sought-after site for Inter- War residential flat buildings due to exceptional views of the ocean and Bondi Beach. Many replaced earlier Federation cottages, others occupying vacant sites on the rocky slopes looking south over Bondi Beach.</p> <p><b>Significance:</b> The buildings form a grouping of similarly styled residential flat buildings. All were constructed at about the same time. Fine examples of the American influence based on the Spanish Mission style of Mission Valley, California. Popularised in other parts of the world that also have a warm, temperate climate similar to California's. Especially popular in beach environments due to their white colour and brightness. Most are reasonably intact and characterise the built form of this locality. Good example of an Inter-War Spanish Mission style flat building. Typical of an Inter-War Spanish Mission style flat building. Typical of this area and part of a good group. Local significance.</p>	<p><b>Panel:</b> Endorse individual listing as a group</p> <p><b>Public:</b> No individual feedback received</p> <div data-bbox="1177 1137 1401 1384"> </div> <div data-bbox="1177 1393 1401 1639"> </div> <div data-bbox="1177 1648 1401 1854"> </div> <div data-bbox="1145 1895 1401 2065"> </div>



45	181 Hastings Parade	<p>Historical, aesthetic</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Varied states of intactness</p> <p><b>Inter-War</b></p> <p>Two-storey Inter-War residential flat buildings of Art Deco style. Original red face brick with contrasting red brick beside paired upper windows. Decorative brickwork on parapet with vertical central Art Deco parapet detail. Original timber double-hung windows. Original ground-floor windows now replaced by double doors.</p> <p><b>History:</b> Following initial development as the Queenscliff Estate in the 1880s, Hasting Parade at Ben Buckler became a sought-after site for Inter-War residential flat buildings due to exceptional views of the ocean and Bondi Beach. Many replaced earlier Federation cottages, others occupying vacant sites on the rocky slopes looking south over Bondi Beach.</p> <p><b>Significance:</b> Historical, aesthetic</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Varied states of intactness</p>	<p><b>Panel:</b></p> <p>Endorse individual listing</p> <p><b>Public:</b></p> <p>No individual feedback received</p> 
46	<p><b>Dover Heights precinct</b></p> <p>14 Lyons Rd</p>	<p><b>Modernist</b></p> <p>Designed by celebrated architect Harry Seidler. Irregular of elements, simple curved geometry with intersecting shapes, white rendered face brick, flat roof concealed by parapet.</p> <p><b>History:</b> A derivation of earlier Ocean Liner/Functionalist forms</p> <p><b>Significance:</b> Rare surviving example of Modernist house. Aesthetic and historical importance.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b></p> <p>Endorse individual listing</p> <p><b>Public:</b></p> <p>No individual feedback received</p> 
47	17 Douglas Parade	<p><b>Post-Functionalist</b></p> <p>Single-storey post-Functionalist style home. Plain render, contrast banding, irregular element arrangement; curved entry; ribbon windows; flat roof concealed by parapet. Rare unaltered example of Functionalist style house. Local aesthetic, historical importance.</p> <p><b>History:</b> A derivation of earlier Ocean Liner/Functionalist forms</p> <p><b>Significance:</b> Historical and aesthetic significance. Intact example of a 1950s house</p>	<p><b>Panel:</b></p> <p>Endorse individual listing</p> <p><b>Public:</b> No individual feedback received</p> 

		<p>displaying features typical of the period. Of note is the thoughtful integration of the garage into the house, a new concept at the time.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	
48	144 Military Rd, Dover Heights	<p><b>Functionalist</b></p> <p>Good double-storey house dating from 1938. Original face brick. All hipped tile roof. Irregular arrangement of building elements. Rounded two-storey front projection on right side. Timber double-hung windows.</p> <p><b>History:</b> A derivation of earlier Ocean Liner/Functionalist forms</p> <p><b>Significance:</b> Historical, architectural and aesthetic significance. Rare intact Functionalist house dating from 1938. Of note is the provision of the garage, a new concept at the time.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b></p> <p>Endorse individual listing</p> <p><b>Public:</b></p> <p>No individual feedback received</p> 
49	7 Napier St	<p><b>Inter-War</b></p> <p>Double-storey Functionalist style. Original face brick, double-fronted irregular arrangement of building elements; curved left half of facade; timber ribbon windows; pitched roof with terra cotta tiles. Functionalist style homes becoming rare in Waverley.</p> <p><b>History:</b> A derivation of earlier Ocean Liner/Functionalist forms.</p> <p><b>Significance:</b> Historical and aesthetic significance. Rare example of an intact Functionalist house displaying features typical of the period. Of note is the thoughtful integration of the garage into the house, a new concept at the time.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b></p> <p>Endorse individual listing</p> <p><b>Public:</b></p> <p>No individual feedback received</p> 
50	57 Hardy St	<p><b>Functionalist, 1939</b></p> <p>Double-storey Functionalist style. Original face brick, double-fronted irregular arrangement of building elements; curved left half of facade; timber ribbon windows; pitched roof with terra cotta tiles. Functionalist style homes becoming rare in Waverley.</p> <p><b>History:</b> A derivation of earlier Ocean Liner/Functionalist forms.</p> <p><b>Significance:</b> Historical, architectural and aesthetic significance.</p>	<p><b>Panel:</b></p> <p>Endorse individual listing</p> <p><b>Public:</b> executor of Sheedy's estate sought heritage listing for the house</p>

		<p>Intact example of an early Functionalist house dating from 1939. Interiors may be original. Designed by F. G. Leslie Allen, the noted Inter-War architect and winner of the 1945 Wynne Prize for landscape painting.</p> <p>Built for S. H. Sheedy. Last resident was his son Sidney David Sheedy, honorary life member of National Trust, heritage architect, expert on the preservation of NSW railway heritage. He completed many CMPs for rail conservation projects including Carriageworks. His work was basis for heritage colour schemes at NSW stations. Drawings collection in State Library. Functionalist design now rare in Waverley.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	
	<b>Charing Cross precinct</b>		
51	65 Albion St, Bronte	<p><b>Late Victorian</b> Freestanding terrace in good condition. Slab-sided projecting blade-like walls. Filigree-style detail on front façade appears little altered. Original cast iron columns and lacework decoration. Elaborate stucco mouldings and original chimney. Similar detailing as No 67.</p> <p><b>History:</b> Era of construction associated with sale of Bronte's early land grant marine villa gentleman's residences for speculative subdivision.</p> <p><b>Reasons for listing:</b> Historical; architectural; aesthetic; streetscape</p> <p><b>Significance:</b> Good example of a Victorian terrace-style house, with most of its original fabric intact. Adjacent to and contributory streetscape element related to the evolution of the Charing Cross townscape over the past 130 years. Aesthetic, architectural, historical significance.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Endorse listing as a pair with 67 Albion St</p> <p><b>Public:</b> No individual feedback received</p> 
52	67 Albion St, Bronte	<p><b>Late Victorian Bolingbroke</b> Freestanding Filigree-style terrace. Slab-sided blade walls. Original cast iron columns and lacework decoration on façade. Original chimneys. Coach house remains at rear.</p> <p><b>History:</b> Associated with the subdivision of the marine villas at Bronte. First mentioned in Sands Directory in 1886, Lieutenant George S. Bosanquet R.N. in residence. Era of building</p>	<p><b>Panel:</b> Endorse listing as a pair with 65 Albion St</p> <p><b>Public:</b> No individual feedback received</p>

		<p>associated with sale of the early land grant marine villa gentleman's residences at Bronte.</p> <p><b>Reasons for listing:</b> Historical; architectural; aesthetic; streetscape</p> <p><b>Significance:</b> Good example of a Victorian terrace style house, with most of its original fabric intact. Adjacent to and contributory streetscape element related to the evolution of the Charing Cross townscape over the past 130 years.</p> <p><b>Level of Significance:</b> Local.</p> <p><b>Intergrity:</b> Substantially intact</p>	
53	223-227 Bronte Road (Lot A in DP 332733)	<p><b>Inter-War</b> The site, which is facing large-scale development pressure, includes two buildings of heritage significance within the Charing Cross Heritage Conservation Zone:</p>	<p><b>Panel:</b></p> <p>Endorse individual listing</p>
	94 Carrington Road (Lot A & B in DP 332733)	<p><b>Inter-War:</b> A two-storey c1925 Functionalist-style shopfront building fronts Bronte Road with first-floor apartments. The building contains three shops with dark face brick and render displaying Georgian Revival elements, especially on the upper floor. The first floor, while somewhat dilapidated, contains string course brick decoration above the windows with three bays of paired, double-hung timber sashes (unusually detailed with highlights) with stucco surrounds and spandrels. Rendered architraves with rendered panels below the sills, rendered pediment and parapet. The shop at No 227 has lost its original front details but the other two are unusually intact and could be restored to their original configuration. The shop building is substantially intact and in moderate condition. Although simple in detailing the shop building is a strong architectural element in the streetscape.</p>	
	203-209 Bronte Rd (Lot A in DP 105665)	<p><b>Inter-War:</b> <i>Stamatiko Flats</i> c1936. The two-storey apartment building facing Carrington Rd (built behind the Bronte Rd shopfronts) is of Mediterranean style. The building is brick with course textured render and features multi-coloured Cordoba tiled copings, corbelled archways and Cordoba tiled awnings over doorways. Most of the external joinery appears original with timber framed sash windows with 6 panes above and a single pane below. Evidence the building may once have been painted yellow. The flats were designed by the architect George Newtown Kenworthy, who</p>	 



was more widely known for his theatre building, including the Orpheum at Cremorne. The flats are a rare example of his domestic work. He also designed parts of the Paragon Café and a Modernist house, both in Katoomba. His work is not yet fully recognised.

**History:** The Inter-War shopfronts form part of the commercial/retail heart of the late Victorian Charing Cross conservation zone established around Bronte Rd. The road, first known as the Coogee Road, then Cowper Rd and Leichhardt St, was established in the 1830s along the ridgeline to Governor Macquarie's watchtower at L Perouse. Extant, early development in the street now dates from the mid to late 1800s, with later infill from the Federation, Edwardian and Inter-War periods, as well as post-war and late 20<sup>th</sup> century. Bronte Rd is symbolic of the area's late Victorian development. It is Waverley's earliest commercial strip and retains much of its period character and form. From 1930, the buildings at 223-227 Bronte Rd were owned by Greek brothers Angelo and Emmanuel Mellitas, well-known confectioners who also ran the Acropolis Café in Gunnedah (1920-1940s). They commissioned the building of the Stamatiko Flats, named for their mother.



**Statement of Significance:** The buildings at 223-227 Bronte Rd are of historical significance as part of the important overlay of the early 20<sup>th</sup> century phase of growth and consolidation of the Charing Cross Conservation Area's village precinct, which resulted in a strong theme of early 20<sup>th</sup> century architecture overlaying the earlier Victorian architecture of the locality.




The Stamatiko Flats are of aesthetic significance as a good example of a relatively intact Mediterranean building designed by the noted early 20<sup>th</sup> century Sydney architect George N. Kenworthy. It displays key characteristics of the style and further distinction as a result of Kenworthy's involvement. The place has the potential to provide a greater understanding of the domestic work of an influential architect who was highly regarded for his theatre work.


**Level of Significance:** Local





		<p><b>Integrity:</b> Shops: substantially intact and in moderate condition. Nos 223, 225 are relatively rare as original early 20<sup>th</sup> century shopfront. Rear flats: highly intact externally but in poor condition.</p>	
	<b>South Bondi precinct</b>		
54	309-311 Bondi Rd	<p><b>Federation</b> Matching pair of sandstone semis. Bullnose verandas with tin roof and turned timber posts. Original tile roof on both and original chimneys. Sandstone fence.</p> <p><b>History:</b> The sandstone semi-detached dwellings appear isolated because they are rare examples of their type in the area. There is no evidence that other sandstone semis were built nearby.</p> <p><b>Significance:</b> Historical and aesthetic significance. The sandstone semi-detached dwellings remain a rarity because most sandstone architecture in Waverley is associated with the existence of a local quarry. It is likely these houses were built to support the tourist industry fostered by the growing interest in sea bathing in the decade after ocean swimming in daylight hours was legalised. The semis' unusual fabric and location serves to highlight their heritage significance. A core aspect of their aesthetic value is the cohesion of the pair.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Endorse listing as a pair</p> <p><b>Public:</b> Objections received</p> 
55	67 Fletcher St	<p><b>Inter-War 1936</b> Four-storey flats. Art Deco-style, original face brick. Façade in 3 bays, middle projected. Middle parapet conceals roof. Side bays recessed with front rounded balconies. Double-hung timber windows, arched windows at top of middle bay. Ground-floor garages. Original fence.</p> <p><b>History:</b> <i>Stirling Manor</i> was constructed in 1936 for C. Williams esq. Approval documents from 1936 included drawings from Australian Reinforced Concrete (A.R.C) Engineering Pty Ltd.</p> <p><b>Significance:</b> Local aesthetic and historical significance. Side bays recessed with front rounded balconies are similar in design detail to heritage-listed flats on Curlewis St, Bondi, and heritage-listed <i>Lurline</i> on Campbell Parade.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Endorse listing as a pair</p> <p><b>Public:</b> Support for listing received</p> 

56	63 Fletcher St	<p><b>Inter-War, 1938.</b> Art Deco style residential flat building that presents to Fletcher Street as two-storey, three/four storeys on Dellview Street based on the site's sloping topography. Built around a central courtyard. Integrated garage at lower ground.</p> <p><b>History:</b> Has a longer history of providing accommodation associated with the 19<sup>th</sup> and early 20<sup>th</sup> century tourist attractions of Bondi Aquarium and Wonderland. Built around a central courtyard. Current iteration of the building dates from 1938, when additions and alterations were approved to designs by architect Harold W. Reilly, of 10 Togo St, Penshurst for F. B. Shenstone.</p> <p><b>Significance:</b> Historical and aesthetic significance</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Endorse individual listing</p> <p><b>Public:</b> No individual feedback received</p> 
57	69 Fletcher St	<p><b>Inter-War, 1938</b> Art Deco style three-storey flats. Painted brick. Façade broken into 4 bays, middle 2 projected. Vertical decorative pier and centre of both street facades. Curved corner brickwork. Parapet conceals terracotta roof. Double-hung timber windows. Original face brick painted.</p> <p><b>History:</b> Approval documents from 1938 included drawings from Australian Reinforced Concrete (A.R.C) Engineering Pty Ltd for L. Gordon, builder G. Rowles.</p> <p><b>Significance:</b> Historical, architectural and aesthetic significance. Strong corner and landmark streetscape presence at southern entry to Bondi.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Endorse individual listing</p> <p><b>Public:</b> No individual feedback received</p> 
58	1 Silva St	<p><b>Inter-War</b> Art Deco flats. Three and 4-storey reflecting typography. Original face brick. Façade in 3 bays. Side bays feature projecting curved elements. Middle contains entrance, central front door featuring brick arch with orders. Middle parapet conceals roof. Side bays recessed with front rounded balconies. Double-hung timber windows. Intact garages.</p> <p><b>History:</b></p> <p><b>Significance:</b> Historical and aesthetic significance</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Endorse individual listing</p> <p><b>Public:</b> No individual feedback received</p> 

59	7, 9 Wonderland Ave	<p><b>Inter-War:</b> Three-storey residential flat building in Spanish Mission style, characterised by front portico feature supporting stepped-up terraces to main façade with barley sugar columns marking entry. Centralised decorative parapet. Roughly applied stucco. Paired window arches. Combination of cartouche, garland and patina features on scrolled parapet. Detailed render in seashell pattern. Evidence that front windows were originally in stained glass. Masonry fence characteristic of predominant style in the locality.</p> <p><b>History:</b> Designed in 1933 for Wonderland City Estate for a Mrs A. Darley. Architect not noted on approval documents.</p> <p><b>Significance:</b> Historical, architectural, aesthetic and streetscape significance as a matching pair.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	<p><b>Panel:</b> Endorse individual listing</p> <p><b>Public:</b> No individual feedback received</p> 
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## 4.2 Section 170 buildings

The *Heritage Act 1977* requires government agencies to keep a register of heritage items under their care. This is called a Heritage and Conservation Register or more commonly, a Section 170 Register. Agencies that hold such registers are required to conserve and manage these items. The following items within the Waverley LGA are listed on the Section 190 Register have been assessed as being of local heritage significance to Waverley and will be included on the updated Schedule 5 list on the WLEP.

No	Address	Description
1	359 Old South Head Road	Bondi Fire Station
2	Bondi Road	Bondi Road Tram Overbridge
3	Blair Street	Bondi Sewage Treatment Plant
4	80 Gould Street	Electricity Substation No 183
5	Leichhardt Lane	Electricity Substation No 184
6	26 Anglesea Street	Electricity Substation No 269
7	1S Gordon Street	Electricity Substation No 301
8	Glenayr Avenue	Electricity Substation No 339
9	2 Lucius Street	Electricity Substation No 344
10	46-47 Murrivier Road	Electricity Substation No 345
11	108A Francis Street	Electricity Substation No 346
12	46A Murray Street	Electricity Substation No 347
14	1 Hastings Parade	Electricity Substation No 354
15	15 Pindari Road	Electricity Substation No 594
16	Campbell Parade	Electricity Substation No 84
17	Bronte Beach	Sewage Pumping Station No 56
18	Military Road	Sewer Vent (Ben Buckler)
19	Paul Street	Waverley Reservoir (Elevated) WS 0136
20	Paul Street	Waverley Reservoir No 1 (Covered)
21	Paul Street	Waverley Reservoir No 2 (Covered)
22	Council Street	Waverley Reservoir No 3

4.3 Heritage Significant Trees

Trees with identified heritage values can be listed in Schedule 5 of the Waverley LEP. Listing can include individual trees or groups of trees, such as those that form part of a landscape or garden of a listed heritage property. Such trees are assessed for their significance using the Heritage Office criteria rather than for their landscape qualities. Waverley Council can also lists such items on its Significant Tree Register (below). They are protected by the Waverley Development Control Plan - Part B5 Tree Preservation. This tree register defines significant trees as “those trees that make a major contribution to the everyday landscape and are therefore of special value to the community”. At present there are 52 trees on the register. It is proposed that trees on one site be included on Schedule 5 as trees with heritage significance.



Significant Tree Register



### Trees of Heritage Significance:

The following trees have been assessed as also having heritage significance and will be included in an update of the WLEP:

No	Address	Description
1	Rowland St, Bondi	<p><i>Phoenix canariensis</i></p> <p><b>Significance: Historic, aesthetic and streetscape significance</b></p> <p>The avenue of palm trees are linked to the earliest iteration of the tramline to Bondi and its initial terminus at Rowland St. The tramline assisted the early development of Bondi as a tourist destination in the 19<sup>th</sup> century, before sea bathing, with attractions including the Bondi Aquarium and, later, Wonderland City. The tram detour off Bondi Rd via Fletcher St and Rowland St is reflected in the curved elements of the buildings along its route. The detour was required because of the steepness of Bondi Rd at its lowest point.</p>

## 5 CONSIDERED FOR LISTING BUT NOT RECOMMENDED

NO.	STREET NAME	SUBURB	LAND USE	DWELLING TYPE	ARCH STYLE	NOTE (2018 WAMP)	2019 ASSESSMENT OUTCOME
4	Coulton Street	BONDI	Residential	Semi-detached	Federation	Part of a group 2 - 12 but some modification	Representative rather than notable
18	Dudley Street	BONDI	Residential	Semi-detached	Federation	Detailed decorative timber to verandas inc surrounding buildings - possible precinct	Representative rather than notable
8	Edward Street	BONDI	Residential	Residential flat building	Federation		In a conservation area
11	Ewell Street	BONDI	Residential	Semi-detached	Federation	Small cottage, with street trees	Representative rather than notable
11	Ewell Street	BONDI	Residential	Semi-detached	Federation	Small cottage, with street trees	Residences have lost integrity - no further assessment. Ewell Street trees require further assessment.
11	Beach Road	BONDI	Residential	Detached	Federation	Consistent flat buildings (some modifications)	In a conservation area.
22	Beach Road	BONDI	Residential	Detached	Federation		In a conservation area.
24	Beach Road	BONDI	Residential	Detached	Federation		In a conservation area
26	Beach Road	BONDI	Residential	Semi-detached	Federation		In a conservation area
28	Beach Road	BONDI	Residential	Semi-detached	Federation		In a conservation area
41	Beach Road	BONDI	Residential	Detached	Federation		In a conservation area
43	Beach Road	BONDI	Residential	Detached	Federation		In a conservation area.

45	Beach Road	BONDI	Residential	Detached	Federation		In a conservation area
47	Beach Road	BONDI	Residential	Detached	Federation		In a conservation area
51	Beach Road	BONDI	Residential	Detached	Federation		In a conservation area
53	Beach Road	BONDI	Residential	Manor home	Federation		In a conservation area
55	Beach Road	BONDI	Residential	Manor home	Federation		In a conservation area
94	Beach Road	BONDI	Residential	Semi-detached	Federation		In a conservation area
96	Beach Road	BONDI	Residential	Semi-detached	Federation		In a conservation area
98	Beach Road	BONDI	Residential	Semi-detached	Federation		In a conservation area
100	Beach Road	BONDI	Residential	Semi-detached	Federation		In a conservation area
12	Consett Avenue	BONDI	Residential	Detached	Federation		In a conservation area
38	Francis Street	BONDI	Residential	Semi-detached	Federation	Stone retaining wall	In a conservation area
45	Cox Avenue	BONDI	Residential	Detached	Colonial	Good detailing	In a conservation area
8	Bennett Street	BONDI	Residential	Semi-detached	Federation		Representative rather than notable
18	Belgrave Street	Bondi Beach	Residential	Detached	Federation		Representative rather than notable
160	Blair Street	Bondi Beach	Residential	Detached	Federation	Good detailing and proportions	In a conservation area.
18	Edward Street	Bondi Beach	Residential	Residential flat building	Inter-war	Good proportions	In a conservation area
631	Old South Head Road	Bondi Beach	Residential	Detached	Federation	Good proportions and detailing	Representative rather than notable
5	Clarke Street	Vaucluse	Residential	Detached	Federation	Modified and extended	Earlier than 1943 (aerial) but high wall and garage obstructs views to property. Unclear architectural value.

18	Clarke Street	Vaucluse	Residential	Detached	Federation	Modified and extended	Representative rather than notable
1	Wallace Street	Waverley	Residential	Detached	Federation	Weatherboard cottage	Demolished 2018
15	Bennett Street	Bondi	Residential	Manor home	Inter-war	Pair 15-17	Representative rather than notable
17	Bennett Street	Bondi	Residential	Manor home	Inter-war	Pair 15-17	Representative rather than notable
19	Bennett Street	Bondi	Residential	Residential flat building	Inter-war	Pair 19-21	Representative rather than notable
21	Bennett Street	Bondi	Residential	Residential flat building	Inter-war	Pair 19-21	Representative rather than notable
15	Bennett Street	Bondi	Residential	Manor home	Inter-war	Pair 15-17	Representative rather than notable
17	Bennett Street	Bondi	Residential	Manor home	Inter-war	Pair 15-17	Representative rather than notable façade
19	Bennett Street	Bondi	Residential	Residential flat building	Inter-war	Pair 19-21	Representative rather than notable
21	Bennett Street	Bondi	Residential	Residential flat building	Inter-war	Pair 19-21	Representative rather than notable
33	Bennett Street	Bondi	Residential	Manor home	Inter-war	Good brick detailing	Representative rather than notable
631	Old South Head Road	Bondi Beach	Residential	Detached	Federation	Good proportions and detailing	Representative rather than notable
5	Clarke Street	Vaucluse	Residential	Detached	Federation	Modified and extended	Representative rather than notable
18	Clarke Street	Vaucluse	Residential	Detached	Federation	Modified and extended	Representative rather than notable
338	Bondi Road	Bondi Beach	Residential	Residential flat building	Inter-war	Good detailing, massing and frontage to	Representative rather than notable

						Bondi Rd and Edward St	
38	Flood Street	Bondi Beach	Residential	Residential flat building	Inter-war	Brick detailing	Representative rather than notable
164	Wellington Street	Bondi Beach	Residential	Residential flat building		Small brick apartments	In a conservation area
	Dave Brown Place, Bronte Park	Bronte Beach	Recreation	Square courtyard in front of Bronte Surf Club	1970s	Face-brick courtyard recreation space with plaque	Built fabric of little importance. Plaque commemorating Dave Brown's achievements and presented by Waverley's first female mayor should be incorporated into new surf club or other facility.
22	Belgrave Street	Bronte	Residential	Detached	Inter-war	Extensive additions	Representative rather than notable
4	Boundary Street	Bronte	Residential	Semi-detached	Inter-war	Detailing	Representative rather than notable
6	Boundary Street	Bronte	Residential	Semi-detached	Inter-war	Detailing, modifications (extension)	Representative rather than notable
11	Arthur Street	Dover Heights	Residential	Detached	Inter-war	Considered as group	Representative rather than notable
157	Dover Road	Rose Bay	Residential	Detached	Inter-war	Historic character, minor modification	Representative rather than notable
70	Hardy Street	Rose Bay	Residential	Detached	Inter-war	Interesting form and massing on sloping lot	Representative rather than notable
230	Military Road	DOVER HEIGHTS	Residential	Detached	Inter-war	Modified extension	Representative rather than notable
94	Clyde Street	North Bondi	Residential	Semi-detached	Inter-war	Good brickwork, detailing	Representative rather than notable



96	Clyde Street	North Bondi	Residential	Semi-detached	Inter-war	Good brickwork, detailing, modified with second storey	Representative rather than notable
36	Hardy Street	DOVER HEIGHTS	Residential	Dual occupancy	Post-war	nil	No further research. No presence to the street; internal modifications.
11	Arthur Street	DOVER HEIGHTS	Residential	Detached	Inter-war	Consider group of Inter-war	No further assessment. No. 11 modified (rendered/painted brick) )
157	Dover Road	DOVER HEIGHTS	Residential	Detached	Inter-war	Historic character, minor modification	Appears to be a modest architectural example
70	Hardy Street	DOVER HEIGHTS	Residential	Detached	Inter-war	Interesting form and massing on sloping lot	No further assessment. Modest example.
230	Military Road	DOVER HEIGHTS	Residential	Detached	Inter-war	Good detailing, modified extension?	Pre 1943, modest building. 1977 addition.
109	Carrington Road	Queens Park	Residential	Semi-detached	Federation	Earlier terrace?	No further assessment. Part of a pair with low integrity likely.
4	Victoria Street	Queens Park	Residential	Semi-detached	Federation	Early cottage	Originally part of a group, modified
6	Victoria Street	Queens Park	Residential	Semi-detached	Federation	Early cottage	Originally part of a group, modified
16	Queens Park Rd	Queens Park	Good detailing	Good detailing	Good detailing	Good detailing	Substantial modification
4	Victoria Street	Queens Park	Residential	Semi-detached	Federation	Early cottage	Originally part of a group,

6	Victoria Street	Queens Park	Residential	Semi-detached	Federation	Early cottage	Originally part of a group, modified
7	Loombah Road	WAVERLEY	Residential	Detached	Post-war	Some modification but similarities to 7 Ethel St	Similar to other buildings in the area; rendered and painted, c. 1960s (

## 6 NEXT STEPS

The detailed Heritage Assessment outlined above highlights Waverley's rich and varied history, stretching back to the earliest days of European settlement. Understanding that history is key to preserving and maintaining Waverley's heritage significance into the future. Using strict application of best-practice heritage assessment criteria, the Assessment proposed the inclusion of additional individual items and new and amended urban conservation areas on Schedule 5 of the LEP, which were endorsed by Council and were later exhibited publicly and peer reviewed.

The assessment considered Waverley's natural and built fabric as a product of its layered history. The Thematic History (outlined in Appendix 1 of Volume 2) – together with previous histories prepared in 1959, 1993 and 2012 – provided a basis for understanding and interpreting the significance of items within the assessment. The HCAs that were recommended for listing reflected significant eras of the LGA's past. They contain a consistent and identifiable character that, if lost, would diminish the community's ability to understand its past and potentially rob it of neighbourhoods that over time will become more valued and highly prized.

The increased availability of historical material, much of which has now been digitised, has enhance our understanding of Waverley as a place and the architectural pockets within it. This newly revealed information gave fresh insight into what features of Waverley and the buildings and landscapes within it were significant and why, and how this is reflected in Waverley's unique urban environment today. The Assessment came at a time when the community's esteem for and understanding of heritage continues to grow in response to the loss of items of significance over time as the pressures of development continue to increase. The Assessment also aimed to help stem the increasing need for Interim Heritage Orders. (Refer to Section 2.2.4 Interim Protection for further detail.)

Once the draft Heritage Assessment is endorsed it will become the draft Waverley Heritage Policy. The next steps are:

- A Planning Proposal (PP) will then be prepared by Council's Strategic Planning team to implement the Assessment's recommendations, including LEP map amendments and updating Schedule 5.
- The Planning Proposal with the LEP amendments will be presented to the SPDC Council meeting in July.
- The PP is then sent to the Planning Department for Gateway Determination in late July/early August.

- Timing of the exhibition will depend on how long the Department takes to give the PP Gateway Determination.
- The Assessment has no legal status until the PP is exhibited.
- Once the PP is on exhibition, the heritage implications are noted on Council's Zoning Certificates.
- A post-exhibition report is then adopted by Council for Gazettal.
- Gazettal is anticipated early next year.

## 7 RECOMMENDATIONS FROM HERITAGE ASSESSMENT:

Recommendations flowing from the draft Heritage Assessment are:

That Council:

1. Adopts the Waverley Heritage Assessment and the key recommendations outlined below:

### 1.1 New Urban Conservation Areas:

- a) Avoca Estate UCA
- b) Bondi Road UCA
- c) Bondi O'Brien Estate UCE
- d) Bondi Inter-War UCA

### 1.2 Amended Urban Conservation Area:

- a) Charing Cross UCA
- b) Yanko-Lugar Brae UCA (formerly Evans Street)
- c) Grafton Street UCA
- d) Palmerston UCA

### 1.3 New and amended Landscape Conservation Areas to their boundaries:

- a) Dickson Estate LCA
- b) South Bronte-Calga Headland LCA.

1.4 Forty-seven individually listed heritage items on the updated list peer reviewed by Council's Independent Heritage Expert panel.

1.5 One significant historical tree site peer reviewed by Council's Heritage Expert panel.

- 2 Prepares a Planning Proposal to implement the adopted relevant Waverley Heritage Assessment recommendations into the Waverley Local Environmental Plan 2012.
- 3 Prepares Inter-War Design Guidelines to guide future development in Urban Conservation Areas and Inter-War buildings in the LGA. The Guidelines should:
  - a) Encourage the retention of core (internal and external), original and early fabric and streetscapes.
  - b) Provide appropriate colour palettes to help reinforce the heritage nature of the UCAs;
  - c) Provide guidance regarding appropriate modifications.
- 4 Supports raising the profile of heritage in the LGA to reflect its status as Australia's second oldest municipality (at 162 years) and in acknowledgement of the significant levels of support for heritage expressed during the public exhibition of the draft Heritage Assessment. Initiatives could include:
  - a) Waverley's Thematic History be updated regularly and detailed histories of each of Waverley's heritage conservation areas be updated and published on Council's website;
  - b) Events, heritage walks and open days be held involving items and places of heritage significance.
- 5 Supports further research on matters arising from the public exhibition of the draft Heritage Assessment as part of a future body of work, including:
  - a) Investigate obligations or incentives for owners to maintain heritage buildings to prevent demolition by neglect;
  - b) Renewed dialogue with the Heritage Office on how the insurance industry responds to conservation areas to reduce premiums for owners;
  - c) Assessment for listing as individual heritage items including:
    - 2 Leichhardt Street, Bronte, (church manse);
    - 19a Brown St, 17 Palmerston Ave, 37 Dickson St, within the Palmerston UCA
    - 8-16 Leswell St; 5, 7, 11 Grafton St; 9, 11, 13 Nelson St within the extended Grafton Street UCA;
    - Endorses further investigation of inclusion of Calga Street in South Bronte Headland-Calga LCA.



- Tree succession planning with end-of-life options for species replanting or change in Dickson Estate LCA and Chesterfield Parade LCA.
  - 26 Alt St, Queens Park, (original farm house);
  - Bondi Vet small animal hospital building, 12 Ebley St, Bondi Junction;
  - 35 Fletcher St, Tamarama, home and workshop of Lionel Van Praag, world motorcycle champion;
  - Stone archway and cliff stairs at Kimberley St, Vaucluse;
  - Post-war Modernist architecture in Waverley, including Seidler buildings, informed by a study;
- d) Updating the State Heritage Inventory Sheets for new Schedule 5 list items and the existing Schedule 5 heritage list to reflect new research;
- e) Assessment of selected mature trees for inclusion on the significant trees register to preserve the character of the area and act as a heat sink against climate change.
- 6 Supports further investigation of ways to mitigate the negative impact the Codes SEPP has on heritage fabric across the LGA.
- 7 Endorses the next phase of historical research, which has yet to be carried out, focused on how the Aboriginal people of Sydney's east coast interacted with the area now known as Waverley.

## **ADDITIONAL ACTIONS:**

Council Officers' comments regarding Precinct feedback:

- 1 Discussion with Council's Fast Track Team to consider an amendment to the existing system so that Fast Track approvals do not apply to any development applications in the commercial strips.
- 2 Discussion with Building Department to consider whether all applications for DAs within UCAs and for Heritage Items be reviewed by Heritage Officers.
- 3 Many applications for shop fitouts by business owners do not involve alterations to facades. As a consequence, DA conditions do not address façade restoration. Consider what options may exist to require more extensive work or to trigger restoring and conserving commercial building facades (such as window openings, window frames, moulding, verandas, parapets, paint

colours, awnings with posts, shopfronts etc). This could include design guidelines or other triggers to require such work when DAs for shop fitouts are submitted in the future.

- 4 Private certification does not apply to heritage items. Consider how or whether this can be extended to apply to all works to pre-1950s buildings in commercial centres and to conservation areas.
- 5 Explore initiatives by other Councils to assist owners with restoration and conservation of heritage items e.g. Canterbury Council heritage incentive fund:  
<https://www.cbcity.nsw.gov.au/development/planning-for-the-city/heritage>
- 6 Investigate the location of an old well in Macpherson St between Carrington Rd and Albion Street, north side.
- 7 Supports identification of additional individual heritage items in the Queens Park UCA.
- 8 Consideration further regulation or incentives to prevent “demolition by neglect of heritage buildings.
- 9 Recommends to role of Council's Heritage Architect be expanded to full-time.
- 10 Consideration of more trees being listed as heritage items.

## **RECOMMENDATIONS FOR HCAs IN EXISTING STATE INVENTORY SHEETS:**

All existing and proposed HCAs in Waverley have State Heritage Inventory sheets containing a history of the area and a Statement of Significance. They also contain recommendations for the ongoing Conservation of the HCA, which help guide sympathetic development in the area. The Recommendations for each are:

### **Charing Cross:**

- 1 All existing construction prior to 1950 in the Conservation Area should be considered contributory to the Conservation Area.
- 2 Contributory buildings and their original features should be retained, any unsympathetic elements should be removed and original features restored.

- 3 Neutral buildings may be replaced or altered, so that the property is made compatible with the significance of the area.
- 4 Intrusive buildings should be replaced or altered so that the property is made compatible with the significance of the area.
- 5 Where applicable, the pattern of shop fronts with street awnings should be retained.
- 6 Where documentary evidence exists first floor post supported or cantilevered balconies should be reinstated to street frontages.
- 7 Historic building forms should remain clearly identifiable within any redevelopment and or extension of existing structures.
- 8 The original built form should remain as the dominant aspect of any new works to contributory buildings.
- 9 Original shopfronts including openings and related detailing and signage locations should be retained and restored in any works to existing Contributory Buildings.
- 10 The pattern of small service lanes and walkways should remain.
- 11 Original external finishes should be retained and reinstated. Original face brick and sandstone walls and fences should not be rendered and/or painted. Slate and terra cotta tiling to roofs should be maintained and matched in new works to the core building.
- 12 Sandstone retaining walls and boundary walls should be retained and repaired.
- 13 A heritage impact report should be prepared for proposed work to all contributory elements in the Conservation Area and to sites adjacent to or in the visual curtilage of contributory fabric.

**Evans Street UCA – to become Yanko-Lugar Brae UCA:**

- 1 A statement of heritage impacts is to be prepared for proposed development in the conservation area.
- 2 All residences contributing to the heritage urban conservation area be conserved in a cohesive relationship.
- 3 All new works should maintain the scale, detail and alignment of existing built forms and landscaping relative to the street.
- 4 New works should be of a secondary nature and generally visually screened from the street.
- 5 The single-storey Victorian residences should retain existing bulk and height to the street frontage with any upward addition, being restricted to rear areas of the

residences and/or provided within existing roof voids and related localised projections of roof slopes not facing the street.

- 6 All roof additions are to retain and enhance existing traditional roof detailing in particular chimneys, ridge and barge detailing.
- 7 Development applications for dual occupancy development should not be approved unless provided within the established volumes of existing residences and utilising existing single vehicle entries.
- 8 No subdivision of existing sites should be approved without provision of compatible infill development in conjunction with the application for subdivision.
- 9 Existing traditional iron palisade fencing should be maintained in conjunction with established planting.
- 10 No masonry or other screen walling or fencing should be introduced to the street frontages. Vehicle entries and parking should closely follow the established pattern of fencing and any new vehicle entry should be of single width only.
- 11 The current roof cladding is predominantly of tile or slate. The replacement of roofing material, with the exception of verandah roofing, should be of appropriate profile colour and flashing. Thick edged concrete 'slate' tiles should not be used in the conservation area.

#### **Grafton Street HCA:**

- 1 A Heritage Impact Report is to accompany applications for works to all sites within the Conservation Area.
- 2 All buildings erected prior to 1939 are to be considered contributory elements and are to be retained with limited and sympathetic additions maintaining the core form, materials, details, finishes and streetscape contribution of the building.
- 3 Streetscape elements including fences, retaining walls and planting are to be retained in any works within the Conservation Area.
- 4 All demolitions are to be accompanied by a photographic archival record.

#### **Palmerston UCA:**

- 1 A Statement of heritage impacts is to be prepared for proposed development in the conservation area.
- 2 To conserve the character of the proposed Palmerston Avenue heritage urban conservation area, it is recommended that all items contributing to the conservation area be retained.
- 3 All works should be consistent to the scale, detail and alignment of existing forms.

- 4 New construction should retain and enhance the relationship of built form to the topography and street frontage.
- 5 New construction should also respond to the topography and hard and soft landscape. It should adopt the established face brick and tile character of the setting with decks, balconies and verandahs set into the building and not cantilevered over open space.
- 6 New works should also maintain existing open space around residential flat buildings and associated tree planting.
- 7 Additional construction should only be of secondary nature to the established building forms and landscape features.
- 8 New vehicle entries should be limited and of single vehicle width, constructed in close response to the established topography.
- 9 In case of balcony additions or alteration, metal or face brick balustrades should be preferred to glazed balustrading. Preference should also be given to pitched roof forms, while all new roofs should respond to and defer to the established terra cotta tile roofscape.
- 10 Any upward addition to existing buildings should be provided within existing roof voids and related localised projections of roof forms.
- 11 Exposure of 'in roof' additions to the street is to be minimal. All roof additions are to retain and enhance existing traditional roof detailing in particular lined eaves, ridge hip and barge detailing.
- 12 Traditional finishes and detailing of existing Inter War and Post-War flats is to be retained and enhanced.
- 13 External face brick should not be rendered while roof tiles are only to be replaced with terra cotta tiles of like colour finish and profile.
- 14 Painted timber window frames and sashes should be retained in existing patterns including secondary horizontal glazing bars.
- 15 Lobbies stairways and entry doors are significant elements of original design in Inter War flats. Detailing to these areas should be maintained and enhanced by appropriate lighting, colour finishes and floor coverings.
- 16 Original finishes including etched or leadlight glazing, floor tiling, architectural terra cotta (faience) mouldings, timber panelling and moulded plaster ceilings should be maintained and conserved.
- 17 Externally sandstone paving and planter beds, low rendered or stone fence lines, wrought metal railings and established planting should be maintained.



- 18 No vehicle parking or garage/carport structures should be constructed forward of the established building lines.

**Bondi Beach UCA:**

- 1 New work should be of a high quality design emphasising the unique Bondi Beach identity, respecting the heritage values of the area and of individual buildings.
- 2 Enhance Campbell Parade as a streetscape of warmth, colour and vibrancy providing a strong built backdrop for Bondi Beach.
- 3 Maintain the medium height scale of any infill development and additions. Any additions to existing heritage buildings should be subservient to the main structure.
- 4 Retain all historic face brick facades without painting or rendering.
- 5 Preserve or reinstate face brick facades when supported by heritage values.
- 6 Where historic surfaces have been previously painted, paint the main wall colour a lighter colour, allowing shadows to be more easily read, increasing visual interest.
- 7 Draw attention to decorative areas through the use of different colours and/or tones.
- 8 Use polychromatic colour schemes for more decorative buildings, rather not a single colour.
- 9 Ensure colours schemes are individual for each building.
- 10 Ensure a proposed colour scheme is compatible with its neighbours.
- 11 Use richer colours to highlight architectural features.
- 12 Consider reinstating architectural elements where there is historical documentary evidence to support proposals.
- 13 Preserve the view of the historic streetscape along Campbell Parade from key vantage points and when walking along the street.

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WAVERLEY  
COUNCIL

# WAVERLEY COUNCIL HERITAGE POLICY

VOLUME II

June 2021 (Draft)

# APPENDIX 1 THEMATIC HISTORY

## 1.1 Pre-European Settlement

For over a thousand generations Aboriginal people lived in the area now known as Waverley. They used the high ridgelines to travel, overlook and manage their lands. The Bidjigal and Gadigal people of Sydney's east lived before and during the last Ice Age (25,000 – 15,000 years ago) and witnessed the rapid rise in sea levels in that period. Waverley's cliffs marked the safe high ground.

Aborigines developed sophisticated food husbandry techniques that involved a spiritual relationship with the land to ensure food, animal and plant reproduction. The ocean, beaches and vegetated areas including land that is now Queens Park and Centennial Park - which were once freshwater wetlands - were important food sources.

The bushland of heath and woodland was likely home to kangaroos, wallabies, possums, gliders, bandicoots, birds, snakes and goannas as food sources. It also provided wood, bark and fibres for weapon, tools - including the Bondi Points (below left), found on Bondi Beach in the late 19th century after a storm and now in the Australian Museum) and other equipment. Rock engravings in the parks and along the coast reveal an Aboriginal culture rich in mythology brought to life in song, ceremony and oral tradition. Aboriginal identity, spirituality and means of survival was and still is immersed in ancestral land.



Aboriginal people have inhabited the greater Sydney region for over 20,000 years. A number of communities were associated with the land between Sydney Harbour and Botany Bay. The surrounding coastal strip contains a range of Aboriginal sites including middens, art sites, axe grinding grooves and rock engravings. It is likely most of the Aboriginal people who occupied the land around the study area would have been of the Cadigal clan. They would have used the marine, riverine and land resources of the area. In the gully, the original watercourse flowed over the waterfall and ponded in a series of lagoons which meandered through the coastal vegetation down to the beach. Fishing was observed to have formed a significant part of Aboriginal subsistence activities in the eastern Sydney area at European contact, and this environment provided a variety of fresh and saltwater fish and shellfish.



Following European contact, the Sydney Aboriginal population was quickly reduced in numbers, and dispersed by European settlement. Traditional groups were broken up and reconfigured. There are no documented Aboriginal sites recorded for the study area. However, archaeological evidence may potentially remain undetected in Bronte Park.<sup>47</sup> Aboriginal use of sheltered coastal places like Bronte Gully and the adjoining hinterland likely commenced after the sea stabilised at the current shoreline several thousand years ago. It is highly probable that Aboriginal people were regularly using Bronte Gully and its coastline before the first settlers who arrived with an intention to stay increased in number from the 1830s.

In 1788, from Waverley's sandstone cliffs, Aborigines witnessed the arrival of 12 small British ships loaded with convicts as they sailed up from Botany Bay into Sydney Harbour. Even though Captain Arthur Phillip carried instructions from King George III to live in "amity and kindness" with "the natives", the First Fleet's arrival had far-reaching and devastating impacts on the indigenous population. Yet their legacy has endured and is now globally recognised as the world's oldest living culture. In 2019, Waverley was home to almost 300 Aboriginal and Torres Strait Islander people from across Australia.

## 1.2 Early Development of Waverley

The beaches, swamps and low growing sandy scrub of Waverley's coastal area were interpreted by early explorers to have 'something of peculiar loneliness'. Early maps of the area describe it as "rocky, sandy and barren". Despite this, access to the area east of Sydney Cove was important in the first years of settlement. Completion of the road to South Head lighthouse was finalised in 181. It was overseen by the noted colonial road builder William Roberts, who received the first land grant at Bondi Beach, signed by Governor Lachlan Macquarie in January 1810.

Roberts received 200 acres (82 hectares) of land, including Bondi Beach, in recognition of his services in supervising construction the South Head Road (later Oxford Street and Old South Head Road).

**FORNED CATTLE.**— William Roberts, Corner of Castlereagh street, hereby gives Notice, that he has a Farm at Bunde, near Sydney, which is well-calculated for the Depasturage of Stock of the above description, which will be taken every possible care of at the low rate of six-pence a week for each head, which will be necessary to defray the expence of a proper Herdsman.

Roberts was also an innkeeper in Sydney and, in common with other land holders, resided there while renting out his land at Bondi for the grazing of cattle. He died in 1819, and the Bondi holding passed through family connections until it was sold, undeveloped, for 200

pounds in 1851 to Edward Smith (Monitor) Hall, held in trust for his daughter, Georgiana, who was married to Hall's associate Francis O'Brien. O'Brien attempted to subdivide part of the property in 1852, which was not successful, but it drew the attention of the Surveyor-General, Sir Thomas Mitchell, to the fact that Bondi Beach was in private ownership.

*'The Homestead' at Bondi, originally called Bondi Lodge, Francis O'Brien's home, 1919*

Source: The Centenary of the Municipality of Waverley, 1859-1959



Mitchell and Hall exchanged letters about the ownership of the beach. In September 1854, Mitchell declared that "access to this [beach] is indispensable and on behalf of the public that portion of the adjacent shore above the high-water mark shall be resumed". Both men died before the issue was resolved and it took another 30 years before O'Brien had to surrender almost 21 acres (8.55 hectares) of beachfront for the amount of 4,500 pounds. Some years later, the Crown resumed part of the north-east boundary of his land. No roads had yet been developed to give access to the beach.

Two other early grants within the Waverley local government area were made to John Hurd and Barnett Levey. Hurd was an ex-convict and an employee of William Roberts. In 1809, thirty acres (12.2 hectares) were granted to him in the area around and including Ben Buckler. However, the grant was not confirmed and legal confusion over the claim for ownership (under a promissory grant by a possible relative, Richard Hurd) resulted in the land remaining undeveloped. A lease was finally re-granted in 1841 to Parry Long, a businessman, who retained the land as an investment and neither developed nor lived on it.

In 1826, Barnett Levey, the third grantee, received confirmation of his 60 acres (24.4 hectares) on South Head Road (now at the top of Bondi Road), paying 130 pounds. Levey, the first free Jewish settler in NSW, was a businessman, developer and entrepreneur. He planned to reside on his grant and build a 'grand house' named Waverley House. It was named after the recently published book *Waverley*, by Sir Walter Scott, and later gave the municipality its name. Levey also developed an estate of cottages with a school. These were

intended to be leased for a 50-year ground rent with the properties subsequently reverting to his estate. However, Levy could not finance the project which led to the sale of Waverley House in 1830 for 750 Pounds. It was subsequently used as an orphanage and school before being demolished in the early 20<sup>th</sup> century.

In 1831, new regulations for the disposal of Crown Land were introduced, establishing a system of acquisition through purchasing rather than through grants. But some promissory grants of small areas within the Waverley local government area were still honoured by the colonial authorities. The Church of England also received a grant of 11 acres (4.5 hectares) in the vicinity of Ruthven Street. Private land owners were less enthusiastic about owning land in the Waverley area until the land speculation boom started in the late 1830s. While a few land sales occurred prior to 1835, these were mainly desirable sites at either South Head Road or at the beaches.

William Mortimer Lewis was the Colonial Architect at this time and purchased 42 acres (17.1 hectares) at Bronte, while John Roby Hatfield bought 10 acres (4.1 hectares) at Tamarama in 1839. In the same year, land agent William Barton purchased what was considered a desirable site of 17 acres (6.9 hectares) for 53 pounds. At this time, permanent settlement was confined to the area around Charing Cross and Tea Gardens (Bondi Junction) and while some smaller parcels of land (between three and ten acres) were sold, the rest of the land remained vacant.

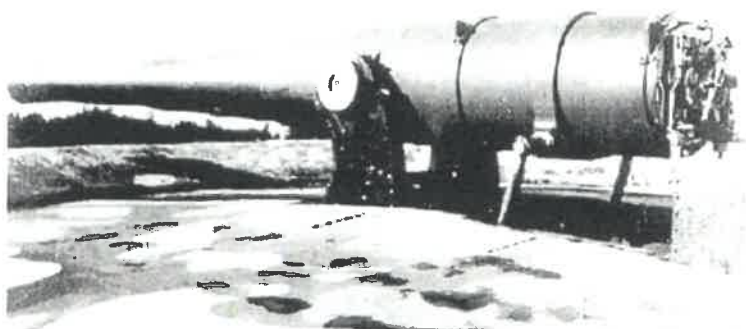
The early economic depression began in the early 1840s and temporarily halted the “feverish speculation”, indulged in by all classes (*Sydney Morning Herald*, 2 January 1843). No additional land sales took place in the area until 1846, and any proposed development existed only as drawings on paper. However, as the economy revived, prosperous citizens of an expanding and increasingly crowded Sydney began to appreciate the possibilities of the area.

### 1.3 Defence in Waverley

The community who lived in the Waverley local government area in the mid-19th century were isolated from the established settlement at Sydney Cove, resulting in local loyalties having a more immediate impact and importance in the area. In 1868, the then citizens fought physically with the representatives of the Sydney municipality over local rights of access through a water reserve at Queens Park.

A military detachment was located at South Head from 1793, although early government policy concentrated mostly on protecting Sydney Cove from naval attacks. By mid-century, defence facilities had been expanded to cover the entrance to Port Jackson, but the coastal settlements still remained excluded from the colony's system of protection.

*The battery site at Ben Buckler.*  
Source: Waverley Library



It was not until the 1880s that the government decided to build three forts for coastal defence. These were located at Vaucluse, Clovelly and Ben Buckler. In 1892, a 250mm breach-loading gun, then the latest technology, was hauled from Victoria Barracks and installed at a newly built fort at North Bondi. The battery site at Ben Buckler is now a listed items of heritage and archaeological significance. Bondi's gun was never fired during war, but formed part of Australia's system of coastal defence until after World War II.

Communication technological advanced slowly, with the Sydney-Auckland undersea communications cable brought ashore at Bondi in 1912. It was another step linking Australia with the outside world.

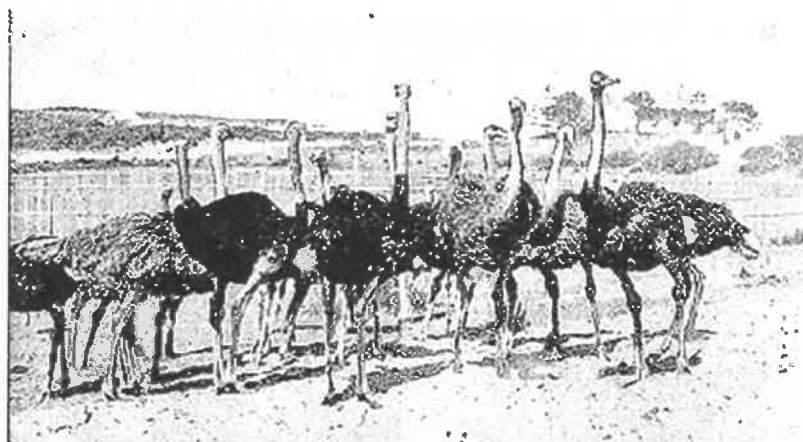
## 1.4 Farmland in Waverley

Although Waverley's sandy soil was not well suited for agriculture, some rural activities were established in the 19th century. Flagstaff farm (now Waverley Park) was operating before 1850. The farm combined agriculture (on its flat land) and cattle grazing on nearby hills and sand dunes. The farm was in operation until 1879.

The local Chinese community were the most successful at developing agriculture in the area. A large market was established in Farrelly's Avenue, Tamarama, which was cultivated until 1909. The land was then sold for the stables, belonging to a Kensington racehorse trainer. The Chinese community also established a flourishing market on the northern corner of the former Flagstaff farm until the 1890s.

Farmers from Waverley supplied the city markets with mostly pigs and poultry products. However, in the 1880s council had to prohibit pig farming in the area due to associated water pollution impacts. Some pig farms remained in the area until the end of the century.

In 1889, local leather dealer Joseph Barracluff established an ostrich farm on his 7.5 acre farm located east of South Head (between Oceanview Ave and Kobada Rd). He established a successful farming business and the initiative lead to a boost in livestock farming from the period between 1889 and the end of World War I. The death of Joseph Barracluff 1918 lead to a decline in the ostrich farming practices and in 1925, the land was subdivided for housing.



*Barracluff's Ostrich Farm. Source: Waverley Library, Trove*

J.G.N.S. February 15, 1922.

## Barracluff's Ostrich Feathers.

**The Gift.**

**H**OW Supreme the joy of making happy one's friend as relation—with a well chosen gift—Barracluff's Ostrich Feather Box.

Obtainable for all Shades and delicate Colours, with tassels, beautifully finished.

From 1 Guinea  
to 10 Guineas.

We pay carriage on all Ostrich feather goods.

**Barracluff's Ostrich Farm,**  
SOUTH HEAD, SYDNEY.  
City Show Rooms:  
6 SYDNEY ARCADE, GEORGE STREET, SYDNEY.

The dairy market established in the Waverley area and diverse farms subsequently began supplying Sydney with milk and dairy products. The *Dairies Supervision Act* came into force in 1886 and was the first legislative control for milk production in NSW. Mackenzie Dairy was founded in the 1860s between Bondi Road and Tasman Street. It became the largest and oldest local dairy in the area. By 1910, it was one of the largest in the Sydney metropolitan area. Mackenzie Dairy was later renamed Waverley Dairy.



*Group of milking Shorthorns at  
F.A. Mackenzie's Waverley Dairy,  
Bondi 1903 Source: The  
Centenary of the Municipality of  
Waverley, 1859-1959*



From 1887, competition among the 20 smaller dairies in the Waverley LGA increased and by 1900 the number of registered dairies grew to 34. As land subdivisions decreased, hand feeding of stock began to replace open grazing. By the 1920s, higher suburban land prices resulted in the end of smaller operators.

### **Tanneries**

A range of industries also established themselves early in the Waverley local government area. Land grants to establish tanning yards were given to Henry Bond, Hercules Watts and Francis Knight before 1830, and despite complaints from residents, tanneries operated in the area for over 50 years. Joseph Vickery, another local leather manufacturer, established one of the many tanneries in 1866 near Charing Cross. At the same time, he built Glenrock Terrace in High Street, Waverley, to house his employees. In 1881, the tannery was subdivided and the tannery was forced to close due to concerns over public health issues.

### **Soap Factories**

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### **Metal Factories**

In the 1870s, other industries were established within the Waverley LGA, possibly attracted by the availability of land. In 1868, George Fletcher established a Stove Works and Ornamental Iron Foundry near Bondi Junction and employed 45 people. Another foundry, specialised in making 'chilled' cast iron plough shares, was set up by the local Turner family..

## **Breweries**

Gleanons' brewery, first established in 1874, took advantage of the local water supply and was built near a spring in Cooper Park. This brewery was taken over and became Resch's Waverley Brewery in the 1890s. By this time, its buildings covered three quarters of its site from Adelaide Street to Grafton Street, Bondi Junction, and the remaining land was used as a grazing paddock for brewery horses.

Some of these industries continued operating after World War II, although, most were displaced by expanding suburbia. Public transport gave people the opportunity to work in Sydney and live in the Waverley LGA. However, industry in Waverley stimulated the need for construction of workers' housing and commercial development in the area which serviced local workers' needs.

## **Hotels**

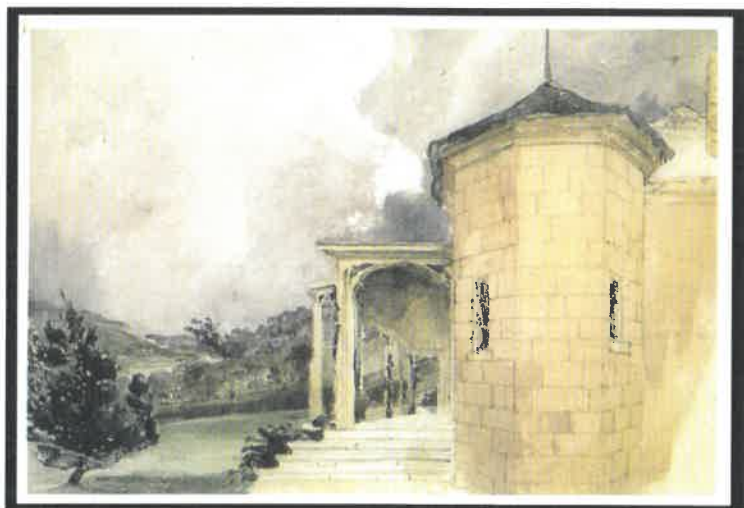
The Tea Gardens Hotel in Bondi Junction and the (old) Robin Hood Hotel in Charing Cross were established to service the local settlements. The settlements at Bondi Junction and Charing Cross expanded in the 1880s due to increasing commercial developments and the Tea Gardens Hotel established itself as a focus in the area.

## **1.5 Villas and Mansions**

By the 1820s, successful businessmen and aspiring civil servants were permanently settling in the Waverley local government area. The high status held by the military in the early days of settlement (defined by rank) grew less important as the emancipist and emigrant proportions of the population enlarged. Emancipists who had grown prosperous through trade and business activities and emigrants who held civil posts or had professional practices, needed to be close to town to be in constant contact with their business life.

However, these business people also found it desirable to have a villa outside the city. The villa became a good example of local domestic architecture where simple elegance and usefulness were combined.

The earliest villa within Waverley LGA was Barnett Levey's Waverley House which was completed in 1828. Levey never resided at this property and financial difficulties forced its early sale. The house later became an orphanage. With the economic revival of the 1840s, the demand for villas grew in the Waverley area. Another early villa was Bronte House, left, which was originally built for barrister Robert Lowe after he purchased the land from the Colonial Architect Mortimer Lewis. Other villas constructed before 1860 included: *Ellerslie* for businessman John Birrell, '*Palmerston*' for William Spain on Dickson Street, *Lugar Brae* on Leichhardt Street, and *Yanko* at Bronte. The design of the gentlemen's estates revolved around the site view and the land around the house, which were an important part of the outdoor pleasures of villa life. Gardens were an integral part of these villas and were designed with waterfalls, grottos, summer houses, orchards as well as vegetable and flower beds.



*From top: Waverley House, built in 1827 by Barnett Levy; Watercolour of Bronte House, painted by Georgiana Lowe; Yanko estate, Bronte.*

*Source: The Centenary of the Municipality of Waverley, 1859-1959; State Library of NSW; Domain*

Villas and mansions were built through the second half of the 19th century. Other grand houses included *Chesterfield* for parliamentarian R.G. Massies, on land which extended to Arden Street and *Eastcourt*, built for James Marshall of the Paddington Brewery on the site of Waltham Cottage.



## 1.6 Traffic and Transport

Residential development within the Waverley LGA was mainly influenced by transport routes. The road to Coogee (now Bronte Road) was constructed by 1832 and provided access to the area around Charing Cross with a link to the emerging settlement at Tea Gardens.

From 1848, South Head Road was controlled by the Commissioners of Road Trusts and maintenance costs came out of the proceeds of a toll gate near the corner of Ebley and Cowper Street (Bronte Road). During the 19th Century, the main traffic modes were horses, buggies or carts and foot. In 1849, Mr Ward of the Waverley Hotel at Tea Gardens offered a trip in a spaciouly constructed omnibus.

Horse-bus services were established on a regular commercial basis in the 1850s. Tickets for bus trips from Wynyard to Paddington were six pence. Regular services to Tea Gardens and Charing Cross followed soon, due to increasing local competition.

In 1864, Council established a stand for licensed buses in Waverley Street (now Bondi Road). The trip to the Sydney Central Business District (CBD) took about 50 minutes, starting at the city terminal in Macquarie Place, travelling down Bathurst and Liverpool streets to Old South Head Road and on to the terminus at Charing Cross. Each bus carried newspapers, milk and other goods as well as passengers.

The horse buses competed successfully with the early steam trams but had relatively high operating costs. But by 1889, horse buses were no longer economically viable. The tramways were seen as a less expensive alternative to rail and a more attractive proposition for private investors in terms of capital return.



*Trams in Bondi Junction and Charing Cross.*

*Source: Local Studies Collection, Waverley Library*

Sydney's tramway system remained government owned and controlled throughout its life. The

overall length of tram line grew from 2.4 kilometres in 1879 to 70 kilometres in 1889.

Waverley was one of the first LGAs with an operating tram system. The first track in the area followed the bus route from Darlinghurst to Charing Cross and was constructed in 1881. These steam tramways were expensive to build and costly to run, but they effectively created a suburban public transport system for the eastern suburbs. By 1882, the Waverley tramlines were estimated to have carried 4,700 passengers a month.

In 1884, the steam tramline to Tea Gardens was extended along Bondi Road and by 1887 the Waverley and Coogee lines were linked by a cross-country service from Bondi Junction to Randwick Junction. The tracks to the Aquarium at Tamarama were constructed in 1887 and by 1890 an extension to Waverley Cemetery was completed.

Waverley beaches were poorly served by trams until a more robust beach culture emerged; increasing the need for a service for day trippers. However, in 1894 a tramline to Bondi was opened and a Bronte tram extension to the beach was completed by 1911. There was also no service to North Bondi until 1929.

In 1902, steam tramlines were changed to electric tramlines and passengers viewed this as a significant improvement. The new tram technology was quieter, better lit and less likely to raise roadway dust. Trams in the Waverley LGA continued to provide a reliable, moderately priced commuter service for over 50 years.

After World War I, the tram system was placed under increasing pressure. Waverley was trying to cope with growing problems in motor traffic along beach routes and cars and trams were competing on narrow roads. Over 87,000 vehicles used the Council parking area at Bondi between 1928 and 1929 and the number of private vehicles on Waverley roads continued to increase as society became more committed to private motor transport.

The establishment of a government-owned bus service in 1933 also generated problems in maintaining an ageing tramway system. The NSW government finally decided to concentrate on the motor bus as the main form of public transport in the area. The Waverley tram depot was finally converted to a bus depot in June 1959. Importantly, the tramway system had been the main reason for growth in medium- and high-density housing in the Waverley LGA and Sydney metropolitan areas.

## 1.7 Leisure and Recreation

Improvements in transport infrastructure resulted in Waverley's rise as a destination for leisure and recreational activities. From the 1830s, many hotels were established in the



Waverley LGA to accommodate excursionists and holiday-makers. In the late 19th Century, one entrepreneur chose Waverley as a seaside location for an amusement facility. The Aquarium at Tamarama was opened in 1887 and was a destination for dancing, bowling, skating and a shooting gallery. But the venue was closed in 1889 due to competing aquariums at Coogee and Manly. Wonderland City, an antipodean Coney Island, opened on the abandoned aquarium site in 1906. However, it closed in 1911 due to economic failure. Furthermore, the popularity of the beaches continued to increase owing to the liberalisation of bathing regulations in the first decade of the 20th century.

*Tamarama Beach and Wonderland City circa 1906-07*

Source: The Centenary of the Municipality of Waverley, 1859-1959



In 1883, ratepayers petitioned Council for the construction of public baths at Bondi. These were subsequently built in 1890 and opened in Bronte in 1887.

Daytime bathing at resorts and public beaches had been prohibited by an 1838 Act of Parliament, and these restrictions had been incorporated into the former municipality's by-laws. It changed after William Gocher's public acts of civil disobedience at Manly beach in 1902, providing a catalyst to the liberalisation of beach regulations. In 1903, Bondi Beach was provided with its first daytime bathing facilities and in 1911 the first bathing shed opened on the same beach and both the Bondi and North Bondi Surf Clubs were formally established in 1906.

By 1912, surf bathing became the most important growth industry in seaside suburbs and resorts. Bondi and Bronte beaches began to compete with Coogee and Manly for bathers, bodysurfers and surfboard riders. Developments such as the 1914 Bronte Beach improvement scheme; the reconstruction of the Bondi baths in 1911 and 1931; and the erection of the now-famous Bondi Surf Pavilion; reflected and reinforced the new industry and culture as well as local identity. An adjoining park was located at all beaches within the Waverley LGA. As with most other parks in the area, these were dedicated in the second half of the 19th century in line with more passive habits of recreation and leisure.

## 1.8 Public Health

In the mid-19th century, European health authorities persisted with the notion that diseases were transmitted by unhealthy vapours from unsavoury environments. The association of disease with “miasmas” emanating from still water, swamps, slums and industry persisted despite growing knowledge of bacteria and microbiology. Measures to improve environmental quality were based on the eradication of unpleasant smells and obvious water pollution rather than disease prevention. During Governor Macquarie’s rule, clean water supplies were ensured by protecting the freshwater swamps at what are now Queens and Centennial Park. Noxious industries were prevented in the water catchments of the Lachlan Swamps and Botany Marshes. The bans remained in place until an alternate water supply was provided in the 1880s.

Alongside the concept of miasmas was the notion that linked good health and clean air. In the 1850s, the prevailing attitude gave rise to the establishment of coastal villas as well as the relocation of noxious industries (such as tanneries) to the eastern water shed, remote from the already crowded centre of Sydney. Local protest was not avoidable and forced Joseph Dickson to close his soap factory and boiling down works, (in Waverley Street) in 1859.

Similarly, Joseph Vickery’s Glenrock Tannery, established in 1866 at Charing Cross, was closed due to ongoing complaints of odours from tanning pits. The site was subdivided for residential use in 1881(Dowd, *op cit* p.38).

Despite ocean bathing being illegal, access to the ocean and beachfront was considered a necessary part of public wellbeing. During a debate over public access to the Bondi beachfront in 1854, the Surveyor-General Thomas Mitchell reported that “access to this [the beach] is indispensable ... for the health and recreation of the inhabitants of NSW” (*ibid*, p.5). Later, the NSW Sewerage and Health Board recommended that sewer and stormwater outfalls be built at Ben Buckler and Botany Bay to dispose of Sydney’s refuse (M.Kelly, *Nineteenth Century Sydney*, Sydney University Press Sydney, 1978, p. 63). Beginning constructions in 1880, the Bondi Tunnel comprised a brick-lined oviform tube of 2.1 meters height, running about 7.25 kilometres from Hyde Park to Blair Street (then known as Sewer Road), North Bondi.

With sea bathing still illegal until the early 1900s, and Bondi remaining remote and difficult to access, the effects of the sewage outfall were not acknowledged until well into the new century. By the 1930s, complaints about water pollution at Bondi led to a Water Board investigation. The report, published in 1936, recommended an underground treatment plant at Ben Buckler and the first stage was not put into commission until 1953. The system for the

primary treatment of sewage was modified later and an automatic screening system was installed in 1975. However, the increased volumes of discharge saw pollution increase dramatically at Waverley's beaches in the late 1970s and 1980s.

Tunnelling four kilometres out from the cliff at Ben Buckler, the board constructed a discharge point on ocean floor ostensibly beyond inshore currents. In 2002, work began on a \$300 million upgrade and maintenance of the Ben Buckler treatment plant. Council also undertook improvements to its ocean outfalls for storm water in the 1970s onwards. In the 1990s outlets were extended to the projecting rock ledges about Bondi and Tamarama beaches and the outlet at Bondi fitted with trash racks.

Council was involved early in agitation for a local hospital. In 1893, Waverley joined Paddington Council to petition the Colonial Secretary to establish a cottage hospital for the district. It was not until 1924, when public subscription had raised 5300 pounds towards the hospital's cost that the Government responded. A foundation stone was laid in April 1934 and buildings to the design of NSW Government Architect Edwin Evan Smith were completed in mid-1935. In 1984, a portion of the site was leased to Moriah College as a senior campus, with the remaining buildings continuing as the Eastern Sydney Development Disability Community Services Centre for the South Sydney Area. The later facility was closed to provide a site for the expanded Moriah College Campus.

The War Memorial Hospital (right), established on the corner of Birrell Street and Bronte Road in 1921, was a private initiative of the Methodist Church as well as the philanthropic activities of local families, particularly the Vickerlys.



Two sites were established in the Waverley LGA to provide for the community's dead. Prior to the establishment of the LGA, Governor Gipps, granted a site of one acre (4,070 square metres) at South Head as a burial ground in 1845. Despite efforts by Council to establish control of the cemetery around 1868, the site was administered by a Cemetery Trust until 1941.

The development of Waverley Cemetery at Bronte as a grand metropolitan cemetery in high Victorian style indicates the prosperity of the Waverley community as well as its particular public sense of social and family obligation (Kerr, J.S. 'Cemeteries Their Value, Abuse and

Conservation', in *Heritage Australia*, Winter 1983, pp.50-57). Due to the extensive use of white Carrara marble for headstones and monuments, Waverley Cemetery emerged over the next 100 years as a distinctive landscape feature on the Waverley coastline. Later, having survived Council proposals in the 1970s to clear the headstones for a 'pioneers' park', the Cemetery continues to serve the community as a heritage feature. A sinking fund established in 1892 has ensured maintenance of the site. In 2003, Council commissioned a Conservation Master Plan to investigate means of extending the life of the site as an 'active' cemetery. The two cemeteries contain the symbols of public recognition of the passing of life and reflect aspects of Victorian and Edwardian attitudes towards life, health and death.

## 1.9 Amenity and Infrastructure

The district of Waverley, held in part of the South Riding Electoral District of Cumberland, was one of the 35 municipalities created by the Cowper ministry under the *Municipalities Act of 1858*. Proposals to incorporate Waverley within the boundaries of the Municipality of Randwick led to a petition demanding separate incorporation. This was granted on 14 June 1858 (Dowd, *op.cit*, p.50-55).

Having no finances, the municipality had to fund its early activities via bank loans. Residential development increased the municipality's rateable capital value, from about 20,000 pounds in 1859, to 660,468 pounds in 1900 and to 2,330,695 pounds in 1920 (*Sydney Morning Herald*, 13 December 1887 and Dowd, *op cit*, pp.73-81).

### Roads

The main municipal expenditure was initially for road construction and maintenance. In June 1861 the Council proclaimed a bylaw placing 'all public roads ... exceeding 20 feet in width' under its control, but essentially no Council had the power until 1919 to control the quality of roads and drainage on private subdivisions (Dowd, *op.cit*, p.86). Road building was constrained by the topography, sand drifts and coastal scrub. By 1861, the council had completed nearly four miles of new streets. By 1873, over 700 pounds of the Municipality's expected receipts of 1,374 pounds was allocated to roads, and this emphasis on road building continued.

### Drinking Water

Waverley's drinking water originally came from wells, springs and tanks. Complaints about inadequate supply and pollution were common from the 1850s. A report to council of 1876 recommending linking a spring in Flood Street to a reservoir, but this was not adopted. Residents then urged the extension of City water from Botany Swamps.

Evidence of wells and cisterns remain in areas of 19<sup>th</sup>-century development. As late as 2002 a cistern associated with the storage of spring water was found at Imperial Avenue. Originally constructed for the residence *Glendarrah/Castlefield* in the 1870s, the tank was hewn from natural rock, with a 6-metre-deep chamber, a brick-vaulted roof and a plan-form of seven metres by ten metres.

Waverley Storage Reservoir No.1 on Flagstaff Hill was built in 1887 in anticipation of connection to the Nepean water supply. When it came into service it was used to distribute reticulated water pumped from Woollahra's reservoir in later Centennial Park. In 1894, elevated tanks were built to serve the hilly parts of Waverley. Supplies from Reservoir No.2, built in 1917, and No.3, built just before World War II, finally allowed completion of a mains water supply to the district. All three remain in service.

Despite complaints about run-off from buried night soil, beginning in 1865, domestic sewage connection to the Bondi outlet occurred in 1892. By 1920, large areas within the municipality, particularly around Northcote Street and Strickland Avenue, remained unsewered. Other areas had pan services operating until the early 1960s. In the early 21<sup>st</sup> century, areas of Dover Heights and Vaucluse were still serviced by direct ocean outfall.

### **Street Lighting**

The provision of street lighting also posed problems. Local residents petitioned for gas street lighting in August 1872. A sign of prosperity among rate payers, the petitioners had agreed to pay a separate rate of four pence in the pound to cover the cost of installation of 23 gas street lamps. These were installed in conjunction with 220 domestic connections in 1873. Limited funds prevented the expansion of the service and a number of lamps were disconnected in 1898. Although proposals to convert to electric lighting were first made in 1883, the contract with the gas company was renewed. Lighting costs in 1910 were about 1800 to 1900 pounds annually. Over the 1914-1919 period, 11 costly high-powered lamps were installed in sea-wall extensions at Bondi and six 1000-candle-power lamps were placed in Bronte Park.

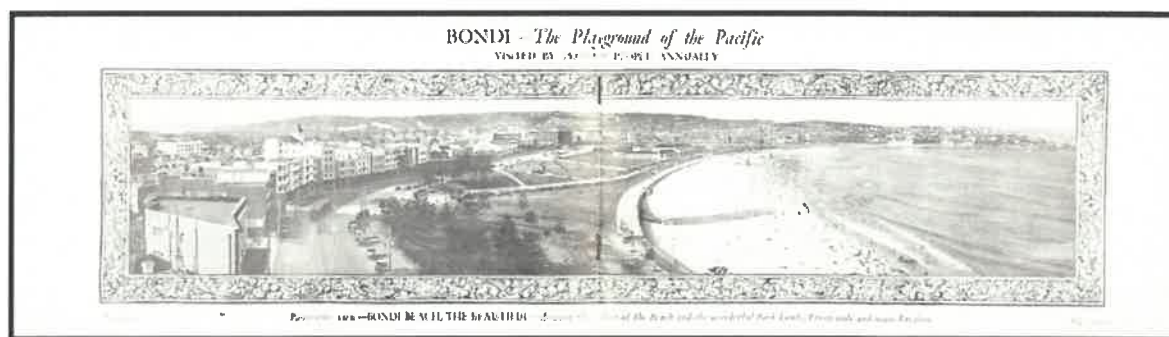
While conversion to electric power supplied from the City Council did not occur until 1921, Waverley's first electric street lamps were lit on 1 February 1922.



## Beach Facilities

Facilities at the beaches – baths, pavilions, shelter sheds and parks – grew in importance as sea bathing increased in popularity. While government subsidies did not increase to cover these items, the *Municipalities Act 1897* gave council the right to lease sea baths and buildings as they were constructed. Waverley's second beach pavilion, the 'Castle Pavilion' (middle right), which replaced the more primitive shed pictured above), was opened at Bondi Beach in 1911 providing change facilities and some commercial services until 1928. It was demolished after the new Bondi Pavilion (bottom right) was built as part of the Bondi Beach Improvement Scheme in the 1920s. Public facilities at Tamarama and Bronte developed in parallel to Bondi's.

Much of the beach infrastructure constructed during the Inter-War period continues to serve the dual requirements of tourist and residents to this day. Extensive additions to the Bondi Beach Pavilion occurred from the 1980s onwards, while lifeguard lookouts were constructed at Bondi in the 1970s and relocated in 2002. A similar lookout was constructed at Tamarama in 2000. In 2020, the Bondi Pavilion is to undergo extensive restoration to upgrade its facilities and conserve the building of national heritage significance for future generations.



## Other Facilities

Religious bodies in Waverley began building churches in 1844 and by January 1858 the municipality's first (unofficial) post office was opened. Postal and telegraphic services grew with technological advances and in response to population increases. For example, telephones were available in Waverley from 1886, having been introduced to Sydney in 1881, and by 1900 about 200 subscribers had the service.

Other post office branches were opened at Charing Cross (right), and Bondi Beach, both in 1912. Until the end of World War I, these amenities reflected the 19<sup>th</sup>-century village atmosphere that pervaded the municipality's business areas. By the late 20<sup>th</sup>-century, post offices began relocating within shopping centres. The Charing Cross post office was overseen by the first Commonwealth Architect, John Smith Murdoch, in Stripped Classical style. Smith oversaw the design of a number of significant government buildings in early years after Federation, including Canberra's Old Parliament House, right, also in Stripped Classical style. It remained the centre of Australia's federal government until 1988, when the new Parliament House was completed. Murdoch's Charing Cross post office is now in private use, but remains a prominent structure at the intersection of Bronte and Carrington roads.

Educational facilities were limited to denominational institutions before the passage of the *Public Schools Act 1866*. Waverley Public School was established in 1879. Prior to this, the Roman Catholic, Church of England and Presbyterian churches had established schools. Small house schools, traditional in the early 19<sup>th</sup> century, also persisted throughout the eastern suburbs. Other schools were opened in response to demographic developments and in 1883 the Bondi Central Junior Technical School (Wellington Street, Bondi) opened. The *Public Instruction Act 1880* introduced compulsory free education and severed connections



between the church and the public schools. Secondary schools established in the late 19th and early 20th century reflected the strong Irish Catholic make-up of the municipality prior to World War II.

In 1883, the Franciscan friars at Charing Cross imported an order of nuns from Ireland, the Poor Clare Sisters (right), to teach at St Charles School. They later established St Clare's College to teach girls.



With increased affluence in the post-war period and successive waves of immigration, the variety of schools increased. New schools catering for the municipality's Russian, Jewish and South African populations were established and expanded from the 1980s. Additional education amenities were established and expanded from the 1990s to cater for expanded immigration from non-English-speaking countries. The colleges are located within commercial office space particularly about Bondi Junction.

## 1.10 Speculation and Subdivision

In the mid to late 19th century, Sydney suburbs that were located away from the City but were well served by transport – including Waverley, Randwick, Strathfield, Hunters Hill and Manly – acquired a small middle class and a bourgeois residential elite who built villas and in a few instances mansions on substantial parcels of land.

Land sales and subdivisions were at the base of settlement from the time of the First Fleet. Grants were offered to officers and notable public servants and, later, emancipated convicts - initially for free and later in return for undertaking to construct a residence or to farm the land. At Waverley in 1828, Barnett Levey began building Waverley House on his lands in what is now the top of Bondi Road. He had followed his convict brother Solomon (later emancipated) to the colony of NSW. Both became property developers. Barnett Levey's Waverley Crescent Subdivision was advertised on 30 January 1828 in *The Australian*, comprising 68 allotments (Dowd, *op.cit*, p.45). Solomon, in partnership with Daniel Cooper, purchased 1500 acres of land granted to Captain John Piper at Point Piper and surrounds after he was declared bankrupt for gambling debts. The land was slowly sold and subdivided.



Like Piper's land, other grants were traded and progressively subdivided, particularly during periodic economic and property booms that notably occurred in the late 1830s, 1875-1890, the Federation era and the Inter-War (Great Depression) periods. Subdivision focused on locations that had access by improved transport. The Tramway Bill of 1873 led to construction of a tramline to Charing Cross in April 1881. This drove the close subdivision of land around Charing Cross and Tea Gardens (now Bondi Junction). At Bronte, land from the large marine villa estates of *Yanko*, *Lugar Brae*, *Bleak House* and *Chesterfield* were progressively sold and late Victorian and Federation suburbs established, from which era many buildings remain. Larger established residences remained beyond these focal points of transport and were the subject of later subdivision.



Edward Christopher Merewether (1820-1830) a former senior public servant, superintendent of the Australian Agricultural Company and president of both the Australian Club and the Sydney Lawn Tennis Club moved from Newcastle to Bondi in 1876. He moved into a new residence, the *Castlefield* estate, located north-east of Bondi Road. The imposing residence was noted for its magnificent garden and views over Bondi Bay (above). Merewether died on October 30, 1893, leaving an estate worth about 250,000 pounds. The *Castlefield* estate was subsequently subdivided and sold in February 1907. The subdivision and a second sale in 1909, created the following residential streets: Edward, Denham, Castlefield, Henry streets and Imperial Avenue. As with the estates of other colonist at Bronte, the sale of Merewether's estate typifies the later 19<sup>th</sup>-century process where large holdings were broken up as the older generation of landholders died off. Though largely subdivided by the late 1880s, large parts of these estates were not fully exploited until after World War I, particularly at Bondi Beach.



Waverley's population increased from 1,377 in 1871 to 2,365 in 1881 and leapt to 8,842 by 1891. By the turn of the century, Waverley numbered 12,300 people, concentrated in pockets

around public transport. Most of the area remained sparsely settled, with sand dunes, swamp and scrub interspersed with the landscaped grounds of large residences. The built character was to change rapidly in the decades that followed.

### 1.11 Flats and Bungalows

In the 1920s, growth in the Waverley LGA reflected the economic expansion of Sydney after the restrictions of the World War I years. The popularity of the LGA was evidenced by the increase in population from 39,000 in 1919 to 62,000 in 1929. Land values rose from 1.75 million pounds to 6.25 million pounds in the same period. Population increases drove improved public transport and increased ownership of private vehicles during the Inter War period.

Building boomed during that decade with approximately 6000 new buildings, including residential flat buildings and bungalows. Residential flat buildings were first introduced to Sydney in 1905 with a construction at Windmill Street, Millers Point. During World War 1, shortage of construction materials saw many large residences subdivided into “flats” as demand for homes increased. The semi-detached residence became popular in the Federation period because it allowed more light and ventilation into houses than a traditional terrace row. Residential flat buildings and Federation residences proved ideally suited to speculative development of land in Sydney’s inner LGAs during the Inter-War period.

Residential flat buildings proved popular with developers, but conservative house owners in Woollahra, Randwick, Vaucluse, Waverley and Mosman grew increasingly hostile to the form and set up lobby groups in a bid to stem the tide of flat development. The Bronte and Waverley Progress and Ratepayers Association, formed in 1915, was one group that “demanded the end of unsightly blocks of flats, as they obliterated views and caused property prices to plummet”. (R. Thompson, *Sydney’s Flats: A Social and Political History*, PhD Thesis Macquarie University, 1986, p.45). Restrictions on the location of residential flat buildings were slow to coming: councils were powerless to stop the development until an amendment to *the Local Government Act* was gazetted in 1928.

The prime generator of flat construction in the Inter-War period was the availability of regular public transport. It was focused on locations that combined transport and high yield from available land. Beach, harbour and park-side lands were prime candidates for developers, who frequently constructed the generally two- and three-storey buildings in groups, sometimes around landscaped courts but more often assuming an air of spaciousness through location opposite open public space. Flat developments soon dominated headlands



about Waverley's beaches and lined broad streets such as Blair Street, Bondi (the former Sewer Road), and the long avenues leading down to the beach-front at Bondi.

Semi-detached and freestanding residences expanded on the residential spaces between the sporadic pattern of Victorian and Federation settlements, particularly along ridgelines leading down to the beaches. When these areas were fully utilised, subdivision and residential construction ventured into less desirable tracts of open lands. Photographs of Bondi, like the one taken from the roof of the Bondi Central Junior Technical School on Wellington St in 1913 (right), show the large dune drifts north and south of Blair Street. Areas further north and east of Military Road remain largely coastal heath until the years before and after World War II.



In this residential expansion after the war, much of the traditional mixed usage of land in Waverley was removed. Council had taken advantage of an amendment to the *Local Government Act* in 1919 to "protect local amenities and advantages" - those features that attracted both residents and visitors to the area.

In February 1920, Council proclaimed one of the first residential districts in metropolitan Sydney under the 1919 amendment (in the area bounded by Salisbury, Henrietta and Victoria streets and Carrington Road). This prohibited industries, manufactures, places of public amusement, shops, trades and hoardings for advertisement in areas that were to become residential subdivisions. By the end of 1928, when councils were first empowered to control flat development, the buildings had become a characteristic feature of the LGA. The number of flats in the Waverley area grew from 647 in 1921 to 4,380 in 1933 and to 9,277 in 1947. The number of semi-detached houses in Waverley reached 7,500 by the late 1940s. The spread of residential development was largely serving a lower to middle income population and brought new prosperity to the Waverley area.



Service stations, such as Hughie O'Sullivan's garage in Denison Street, Bondi Junction, which opened in 1926, began catering for motor vehicles owned by locals and excursioners. Council was also active in providing amenities for tourist and residents. At Bondi Beach, a prize-winning design by architects Robertson and Marks included the erection of the Bondi Surf Pavilion, seawall, groins, promenade and

carpark. Government activities continued as employment relief in the depression years included works to parks and beachfronts. The built character of the Waverley LGA was largely influenced by the Inter-War period.

## 1.12 Community

During the 1930s, population boomed at Sydney's harbourside and seaside suburbs. Waverley's peaked at 75,030 in 1951, then declined slowly to 59,847 by 1986 before a gradual revival again in the 1990s. In 2019, the population was approximately 74,000. Increased economic aspirations of post-war baby boomers saw a significant population shift away from Waverley. Immigrants - initially from Europe in the immediate post-war years; from New Zealand in the 1960s and 70s and later from Russia, England, Ireland and South Africa - did little to stabilise the LGA's population or its institutions. Schools merged or closed, membership of surf and bowling clubs began to decline, and picture theatres closed, especially with the introduction of television. In 1960, the tram service was removed, leaving automobiles and buses to compete on a road system designed for low-volume vehicle usage.

Revival of the Waverley local government area began with improvements to Campbell Parade at Bondi Beach during the 1970s. At the same time, real estate entrepreneurs began buying residential flat buildings in the Bondi area, completing low-cost fit-outs, then selling them as Strata Title units. The apartments provided first-homebuyers the opportunity to own a unit, at a time when the cost of terrace houses in Paddington, Balmain and other suburbs was rising. In 1979, Bondi Junction was linked to the city by a train service that was first mooted in 1873. Related infrastructure improvements included opening of the Bondi Junction Mall in 1979 and the Bondi Junction road bypass and bus-rail interchange. Two major retail developments followed in Bondi Junction. Construction of the Eastgate shopping centre and apartments in Spring Street in 1986 provided the basis for a suburban retail, commercial and residential hub. Joint planning controls prepared by Waverley and Woollahra councils for the Bondi Junction centre were subsequently identified as contributing to its relatively slow commercial expansion. Council boundary changes and the consolidation of planning controls under Waverley Council in the early 21st Century accompanied development of the Westfield Centre, including the northern side of Oxford Street with the former Grace Brothers site on the southern side.

Renewed growth of the late 20th century fostered concerns about affordable housing. As low-cost rental property in Bondi were refurbished or rented out at increasing rates to

backpackers, lower-income groups relocated or stopped moving into Waverley. This population change accelerated in the 1990s, as migration from Eastern Europe increased, the backpacker-tourist industry expanded and beach-side suburbs began to gentrify, attracting settlement by wealthy expatriates. While tourists were particularly drawn to Bronte and Tamarama, the suburbs of Dover Heights and Vaucluse became preferred locations for residents originally from South Africa who sought large residential lots. In 1983, Waverley Council faced protest from the Eastern Suburbs Housing Group over its low-cost housing policy. Council has since continued with a policy providing incentives for provision and retention of low-cost housing and reviews its policy regularly.

Another feature of the Waverley local government has been its increasing cultural diversity and income range of residents. Of the 61,000 residents counted in the 2001 Census, 45,000 were Australian citizens, highlights the influx of foreign nationals. Recent trends in property ownership reveal that migration and returning expatriates are driving forces behind in new development.

Other features of the Waverley local government area have been its increasing cultural diversity and income range of residents. Of the 61,000 residents counted in the 2001 Census, 45,000 were Australian citizens, highlights the influx of foreign nationals. Recent trends in property ownership reveal that migration and returning expatriates are driving forces behind in new development.

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## **APPENDIX 2: NEW AND AMENDED HERITAGE CONSERVATION AREAS FULL INVENTORY FORMS**

## New – Bondi O'Brien Estate HCA



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ITEM DETAILS						
<b>Name of Item</b>	Bondi O'Brien Estate Urban Conservation Area					
<b>Other Name/s</b>	various					
<b>Former Name/s</b>						
<b>Item type</b>	Residential housing					
<b>Item group</b>						
<b>Item category</b>	Federation and Inter-War speculative housing residential flats and mixed use buildings.					
<b>Area, Group, or Collection Name</b>						
<b>Street number</b>	Various					
<b>Street name</b>	Various					
<b>Suburb/town</b>	Bondi			<b>Postcode</b>	2022	
<b>Local Government Area/s</b>	Waverley					
<b>Property description</b>	The south and south-west slopes of the Bondi Valley comprise streetscapes of freestanding and semi-detached Federation style residences interspersed with later groupings and freestanding examples of Inter-War residential flat buildings of two and three-storey height. Later insertions of late 20 <sup>th</sup> Century residential flats and mixed use buildings remain secondary to the brick and terra cotta tile aesthetic of the two principle periods of construction.					
<b>Location - Lat/long</b>	<b>Latitude</b>		<b>Longitude</b>			
<b>Location - AMG (if no street address)</b>	<b>Zone</b>	R2 Low Density Residential	<b>Easting</b>		<b>Northing</b>	
<b>Owner</b>	Private					
<b>Current use</b>	Private Residential					
<b>Former Use</b>	Private Residences and company title residential flat buildings.					
<b>Statement of significance</b>	Substantially occupying the south-western portion of the Roberts estate (1810) and the O'Brien estate of 1851 the O'Brien Estate Urban Conservation Area is defined by					



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	<p>the forms and streetscapes resulting from initial subdivisions of open lands within the O'Brien Estate nearest to the formed roadways of Old South Head and Bondi roads.</p> <p>Regular transport - initially horse-drawn and, later, steam and then electric trams - encouraged ageing members of the O'Brien family to selectively subdivide readily accessible areas of the estate whilst retaining the original homestead, associated grounds and family mausoleum.</p> <p>Regular transport - initially horse-drawn and, later, steam and then electric trams - encouraged ageing members of the O'Brien family to selectively subdivide readily accessible areas of the estate whilst retaining the original homestead, associated grounds and family mausoleum.</p> <p>The initial subdivisions of the Federation period 1890-1919 saw construction of semi-detached and freestanding residences about the southern side of the valley in response to improved tram transport and the beginnings of aquatic recreation at Bondi Beach.</p> <p>Resulting streetscapes of generous freestanding residences to the upper slopes and more close-set semi-detached residences to the lower slopes and valley floor reflected the relative amenity of the subdivisions and the continuing influence of the O'Brien Homestead and grounds, which remained a feature of the valley until the later 1920s.</p> <p>The subsequent Inter-War period, 1919-1939, saw the emergence and dominance of a new building type, the residential flat building. It was employed extensively within new subdivisions of the remaining grounds to the O'Brien Homestead and on sites of opportunity within existing streets to the southern and northern slopes of the valley. The residential flat building was even more prolific in reclamation of the Bondi sand drifts to the valley floor and northern side of the Bondi Valley.</p> <p>Despite the Great Depression of 1929-1934, the momentum of construction continued unabated until the outbreak of World War II. It established a setting of brick and tile, employed in the varied Revival styles of the Inter-War years, moving toward the beginnings of Modern architecture evident in the Functionalist designs of the late 1930s.</p> <p>The speed of development saw a consistency of streetscapes characteristic of boom periods and emphasized by the avenue planning of major traffic routes including Campbell Parade to the south-east and Blair Street, Warners Avenue and Curlew Street, signifying the beginning of the automobile age in metropolitan Sydney.</p>
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<b>Level of Significance</b>	National <input type="checkbox"/>	State <input type="checkbox"/>	Local <input checked="" type="checkbox"/>
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DESCRIPTION						
<b>Designer</b>	Various.					
<b>Builder/ maker</b>	Various.					
<b>Physical Description</b>	The Bondi Valley Conservation Area Bondi A combines streets terraced across the south-western slopes of the Bondi Valley with streets on the valley floor aligned with the original boundaries of the O'Brien Estate. Streets typically provided long perspectives, emphasised by cohesive building forms being substantial groupings of Federation-era freestanding and semi-detached residences interspersed with two- and three-storey Inter- War residential flat buildings and freestanding bungalows. Face-brick exteriors with terra cotta tile roofs predominate in both periods. Later interventions largely from the 1970s onwards comprise freestanding residential flat buildings of late Modern, Post-Modern and more recent Modernist Revival styles and altered residences typically having first-floor additions.					
<b>Physical condition and Archaeological potential</b>	The potential for uncovering archaeological remnants should be considered when carrying out any works on sites of previous occupancy such as Forest Knoll and the Homestead and in locations of sandstone formations likely to include middens.					
<b>Construction years</b>	<b>Start year</b> C 1890		<b>Finish year</b> C1940		<b>Circa</b>	1890-1940
<b>Modifications and dates</b>						

## HISTORY

THEMES	
<b>National historical theme</b>	Developing Australia's Cultural Life (Domestic life, social Institutions and creative endeavour).  <i>Developing local and national economies (Science).</i>
<b>State historical theme</b>	Creative Endeavour- Exemplar of an architectural style. Persons- Activities of, and associations with, identifiable individuals.





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APPLICATION OF CRITERIA	
<b>Historical significance</b> SHR criteria (a)	<p>The Bondi Valley Conservation Area A has historical significance as a demonstration of the initial subdivisions and associated housing types established on one of Waverley's earliest land grant dating, to noted colonial road builder William Roberts from 1810.</p> <p>Initial subdivisions and housing of the Federation era 1890-1915 demonstrate the outcomes of improved tram transport; the economic boom of the later Federation years and the subdivision of established grounds to gentleman's residences in the Bondi area of the late 19<sup>th</sup> century and early 20<sup>th</sup> century.</p> <p>Subsequent development of the Inter-War period 1919-1940 demonstrates the introduction of the residential flat building and streetscapes resulting from the expanded use of the new housing type in the development of vacant lands within established areas of the Bondi Valley and associated random replacement of existing Federation housing stock.</p> <p>Conservation Area A contains notable examples of the evolution of housing in 20<sup>th</sup> century Waverley from the Federation to the late Inter-War years.</p>
<b>Historical association significance</b> SHR criteria (b)	<p>The Bondi Valley Conservation Area A is associated with the O'Brien/Hall families the original occupants of the lands initially granted to the noted colonial road builder William Roberts in 1810. Long-term occupation of The Homestead by the O'Brien and Hall families and progressive subdivision of lands about the immediate grounds to the Homestead and associated family Mausoleum served to shape the setout of streets within the valley and provided the legacy of family names in the evolving streets.</p>
<b>Aesthetic significance</b> SHR criteria (c)	<p>The Bondi Valley Conservation Area A has evolved a distinctive aesthetic character based upon the long term use of cohesive materials namely face brick and terra cotta roof tiles and the construction of cohesive building groups over notably short periods.</p> <p>The area is notable for the demonstration of evolving styles employed in the construction of a new housing type the residential flat building. Aesthetic influences prominent in the area include later Federation styles, in particular Federation Arts and Crafts and Queen Anne styles; the early adaptation of this style to initial residential flat buildings; successive revivalist styles; and later Art Deco and Functionalist styles evident in groups and individual examples of residential flat buildings.</p>



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<b>Social significance</b> SHR criteria (d)	The Bondi Valley Conservation Area A demonstrates the changes in the expectations of suburban housing through the first half of the 20 <sup>th</sup> century and the evolving pattern of suburban lifestyle particularly in coastal suburbs, resulting from changes in social attitudes to sea bathing and leisure and overall improvements in working conditions and hours and the transport of the period.
<b>Technical/ Research significance</b> SHR criteria (e)	The Bondi Valley Conservation Area A provides a substantial and comprehensive demonstration of housing types and changes to housing of the first half of the 20 <sup>th</sup> century.
<b>Rarity</b> SHR criteria (f)	Buildings evident in the Bondi Valley Conservation Area A are not currently rare in Sydney and there are numerous examples in the Waverley local government area. However, the range of building styles and the comprehensive chronology of aesthetic styles has few peers in NSW, with comparable locations at Coogee and Manly having lesser extent.
<b>Representativeness</b> SHR criteria (g)	The Bondi Valley Conservation Area A is representative of the changes in suburban housing particularly in areas of coastal leisure resulting from changes in attitudes to leisure and work hours of the early 20 <sup>th</sup> century. Aided by the rapid introduction of the residential flat building and the release of large areas of vacant lands, the location provided one of the most extensive areas of rapid suburban expansion in Sydney of the early and mid- 20 <sup>th</sup> century.
<b>Integrity</b>	<p>The aesthetic significance of the overall setting has been diminished by poor maintenance and inappropriate changes to detailing of building types and by poorly resolved additions to Federation and Inter War residences particularly in the forms of first-floor additions and street front carports. Over-scaled new construction has also impacted on the cohesion of some streets.</p> <p>Allowing for the above, the setting retains the predominance of construction and building types of the period 1900-1940 this being emphasised by consistency of materials and presence of varied styles in substantial groupings.</p>

## HERITAGE LISTINGS

<b>Heritage listing/s</b>	Waverley LEP
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## INFORMATION SOURCES

Type	Author/Client	Title	Year	Repository
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Research				Waverley Council
Biography				Australian Dictionary of Biography

## RECOMMENDATIONS

<b>Recommendations</b>	<p>A Heritage Impact Statement should be provided to accompany any development application for major works in the Conservation Area. Heritage Exemption Certificates should be applied for in the case of minor works to buildings.</p> <p>All additions and alterations shall be in accordance with the relevant planning controls.</p> <p>Waverley Councils Guide Notes for Inter War Flat Buildings are to be utilized for residential flat buildings.</p>
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## SOURCE OF THIS INFORMATION

<b>Name of study or report</b>	Various	<b>Year of study or report</b>	2019
<b>Item number in study or report</b>	N/A		
<b>Author of study or report</b>	Colin Brady		
<b>Inspected by</b>			
<b>NSW Heritage Manual guidelines used?</b>		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
<b>This form completed by</b>	Anne McGoverne	<b>Date</b>	2020



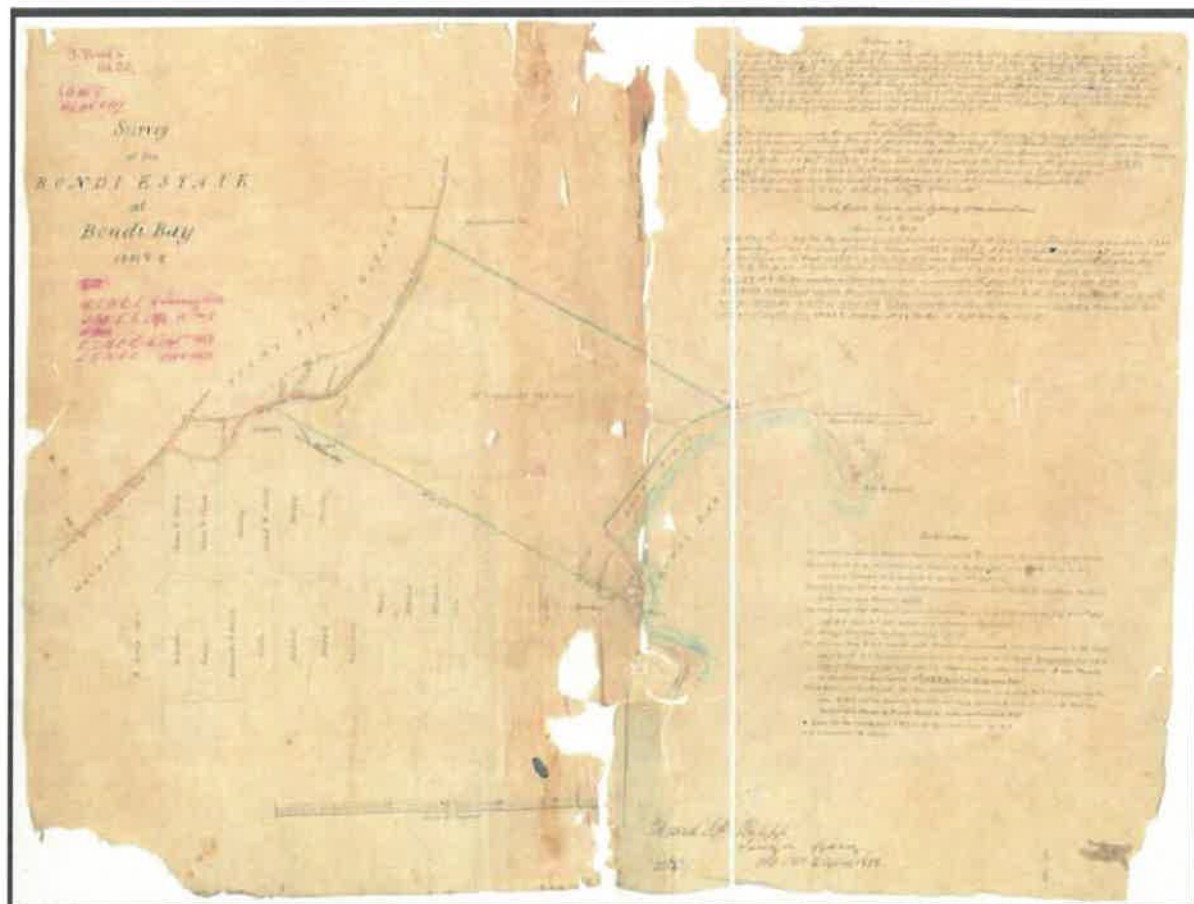
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## IMAGES

<b>Image caption</b>	Map of the land grant made to the first Bondi landowner William Roberts. He was granted 200 acres by Governor Lachlan Macquarie in 1810 for his services to road building in the colony. This included significant work on the South Head Road (now Old South Head Road). Roberts never lived at Bondi and leased the land for cattle grazing.				
<b>Image year</b>	Unknown	<b>Image by</b>		<b>Image copyright holder</b>	State Archives, Book 6, Folio 22





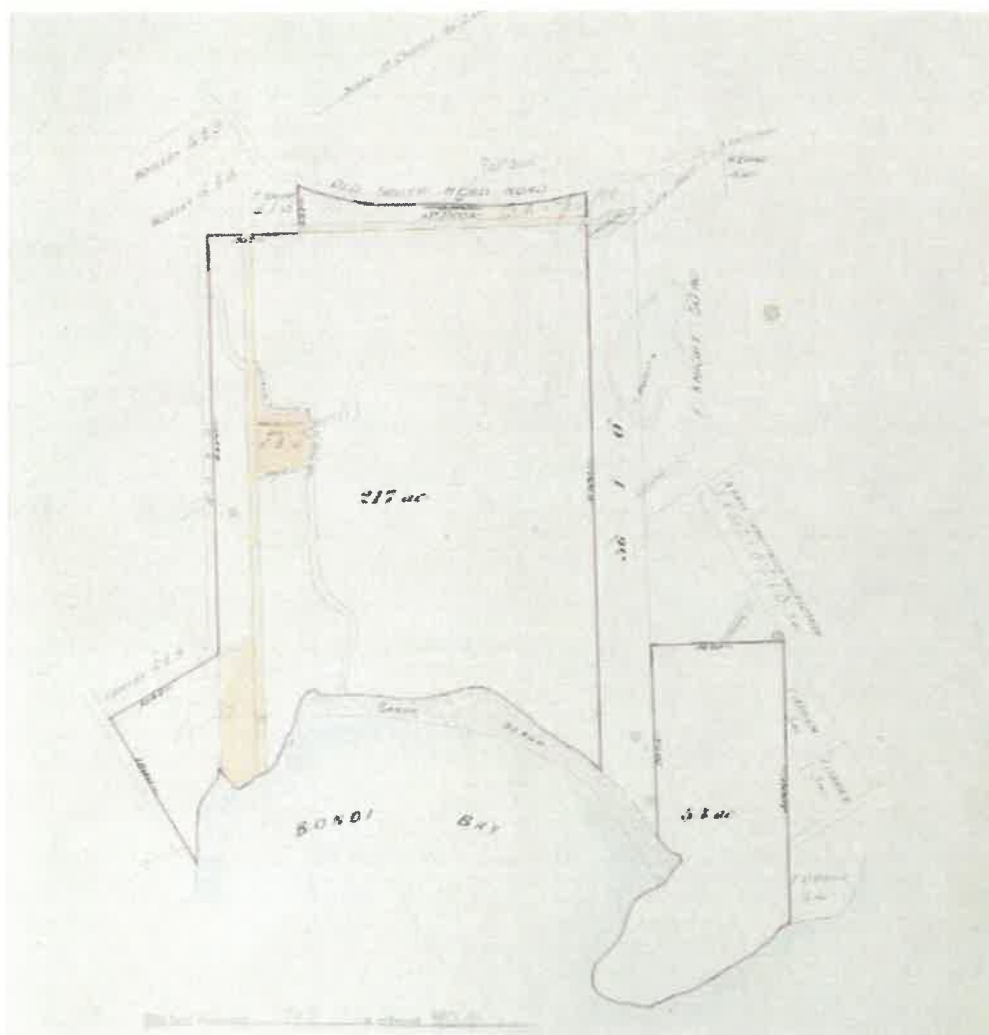
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## IMAGES

<b>Image caption</b>	The William Roberts grant mapped in 1868. It suggests the Roberts land grant was 217 acres, not the widely noted 200 acres. A quarry is shown in what became the O'Brien family mausoleum and is now Sir Thomas Mitchell Drive and Forest Knoll Ave. The hinterland sand dune lagoons on the northern side of the Bondi basin are also marked, as is the Hurd grant at Ben Buckler. F. O'Brien is also noted as owning land near Ben Buckler at this time.				
<b>Image year</b>	1868	<b>Image by</b>	Unknown, Sourced from State Archives	<b>Image copyright holder</b>	State Archives of NSW







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## IMAGES

<b>Image caption</b>	The Roberts land grant is sold by his estate c1850 after being passed through family hands. The land is purchased by Edward Smith "Monitor" Hall (1786-1860). He holds it in trust for his daughter Georgiana, who is married to Francis O'Brien. The couple live at a house at Bondi known as "The Homestead", pictured in this drawing believed to be by Georgiana O'Brien (nee Hall), pictured bottom left.				
<b>Image year</b>	C1850	<b>Image by</b>	Georgiana O'Brien (nee Hall)	<b>Image copyright holder</b>	State Library





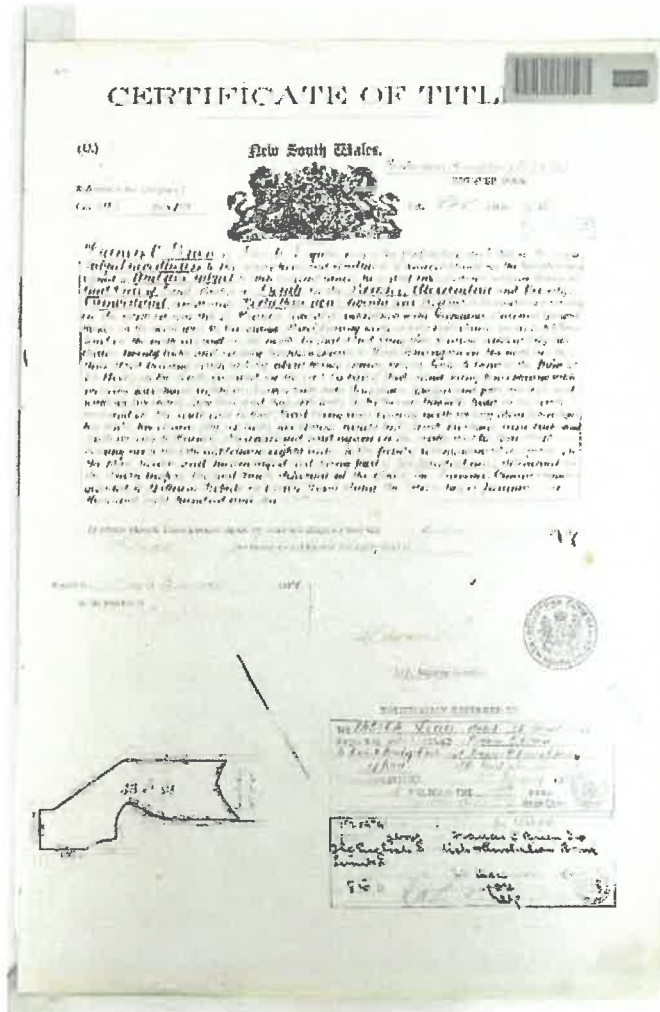
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## IMAGES

Image caption	Certificate of Title showing the transfer of land from the William Roberts grant to Francis O'Brien in 1855.				
Image year	1855	Image by		Image copyright holder	State Archives





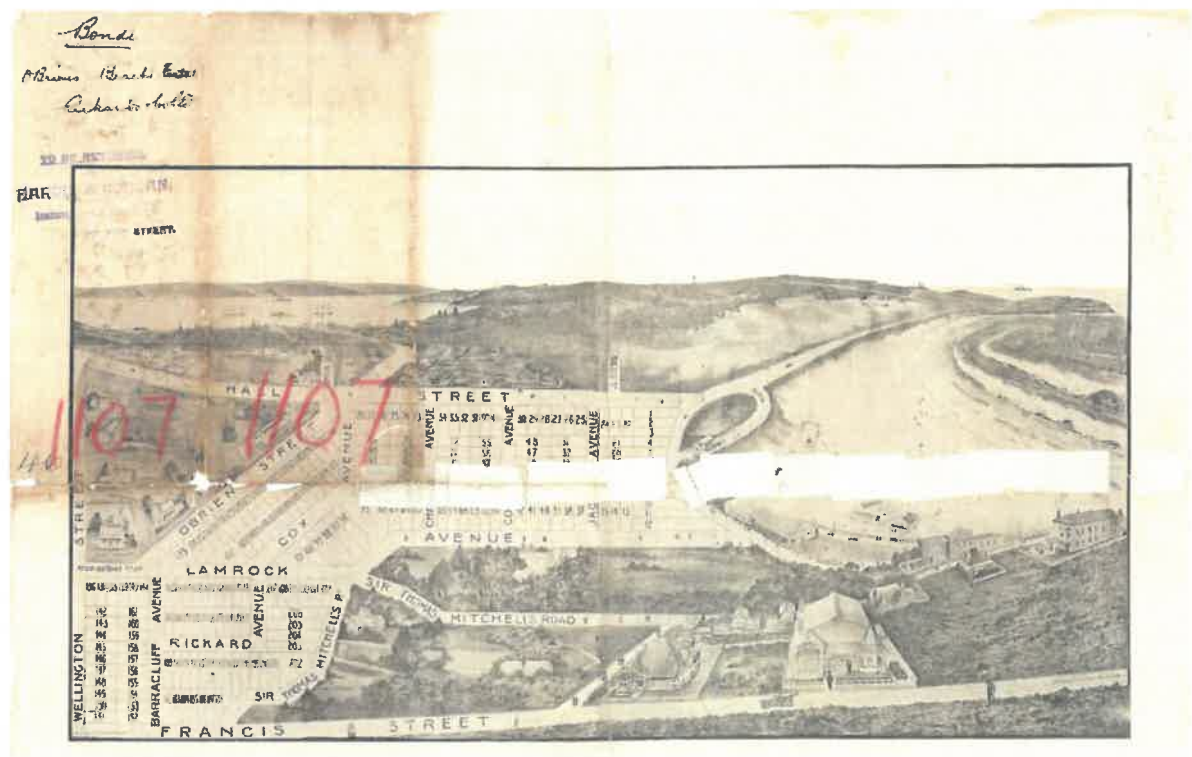
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## IMAGES

<b>Image caption</b>	The Federation-era subdivision of the O'Brien Estate begins. Many of the houses built during this era remain extant				
<b>Image year</b>	1910, 2020	<b>Image by</b>		<b>Image copyright holder</b>	State Library of NSW; Waverley Council





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## IMAGES

Image caption	The O'Brien Estate is subdivided and offered for sale.				
Image year	1910	Image by		Image copyright holder	State Library of NSW

**O'BRIEN'S BEACH ESTATE BOND**

**Auction Sale on the Ground SAT. 19<sup>th</sup> NOVEMBER 1910 at 3 p.m**

**ARTHUR RICKARD & CO<sup>Y</sup> Ltd.**  
Auctioneers & Realty Specialists 84 Pitt St

**J. FRANK COX & DUNRICH, Local Agents**  
Tram Terminus BOND BEACH

**BUILDING RESTRICTION**  
Buyers are not required to build but when they do all main buildings must be of brick or stone with slate or tile roof and of a value of not less than \$5000.

**"TORRENS TITLE"**

**TERMS**  
5 per cent deposit, balance in 60 equal monthly or 20 equal Quarterly payments, interest 5 percent payable Quarterly.

**L.A. CURTIS**  
Licd Surveyor & P. A. for Astralis Chambers Marting Place

**Soldiers in the Estate**  
STEPHEN, JAMES & STEPHEN O'Donnell Street

**Refreshment Room**

**Hotel**

**Streets shown:** O'BRIEN ST, COX ST, LAN ROCK ST, RICKARD ST, FRANCIS ST, BARRACLOUGH ST, WELINGTON ST, HALL ST, CHAMBERS ST, CONSETT ST, JAGUES ST, BOND BEACH, BOND BAY, BOND ROAD, Mitchell's Rd, Sir Thomas Mitchell's Rd.

This lithograph is subject to Registered Plan





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## IMAGES

Image caption	Federation housing to the southern slopes of the Bondi Valley				
Image year	1917	Image by	Unknown Sourced from Waverley Library	Image copyright holder	Waverley Library

### Castlefield Street



FILE: 000\000791  
TITLE: Castlefield Street  
PICNUMB: 2202  
DESCRIPTION: Castlefield Street, Bondi looking east from house at No. 4; Norfolk Island Pine, foreground.  
DATE: 1917  
SUBJECT: CASTLEFIELD STREET; ROADS AND STREETS; TREES  
COPYRIGHT: Waverley Library  
ORIGINAL: 25.5 x 20.5 cm.; B & W





NSW  
Heritage  
Office

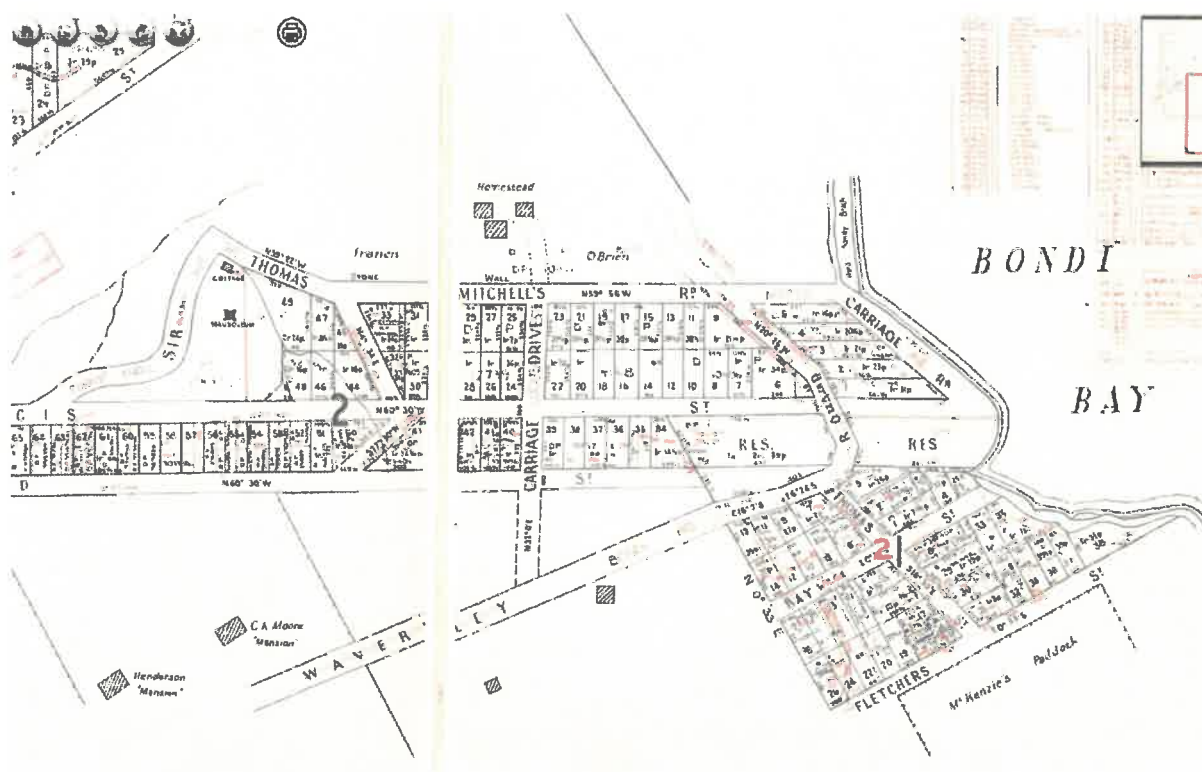
# NSW State Heritage Inventory form

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## IMAGES

Image caption	O'Brien Estate subdivision map showing the position of the original Homestead and the carriage way to the estate, now Lucius St. The O'Brien family mausoleum is also marked near Forest Knoll Ave.				
Image year	c1910	Image by		Image copyright holder	Land Titles

Viewer



## New – Bondi Basin Inter-War HCA



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ITEM DETAILS						
<b>Name of Item</b>	Bondi Basin Inter-War Urban Conservation Area					
<b>Other Name/s Former Name/s</b>	various					
<b>Item type</b>	Inter War residential flats, housing and mixed use buildings.					
<b>Item group</b>						
<b>Item category</b>	Inter War speculative housing residential flats and mixed use buildings.					
<b>Area, Group, or Collection Name</b>						
<b>Street number</b>	Various					
<b>Street name</b>	Various					
<b>Suburb/town</b>	North Bondi				<b>Postcode</b>	2022
<b>Local Government Area/s</b>	Waverley					
<b>Property description</b>	The north-eastern floor of the Bondi Basin comprises streetscapes of Inter-War residential flat buildings combined with groupings of Inter War freestanding and semi-detached houses with mixed-use buildings at prominent street junctions. Later insertions of late 20 <sup>th</sup> century residential flats and houses remain secondary to the brick and terra cotta tile aesthetic of the principle period of construction.					
<b>Location - Lat/long</b>	<b>Latitude</b>		<b>Longitude</b>			
<b>Location - AMG (if no street address)</b>	<b>Zone</b>		<b>Easting</b>		<b>Northing</b>	
<b>Owners</b>	Private residences, retail stores, private schools and places of worship.					
<b>Current use</b>	Residential, educational, retail, dining, places of worship and service providers.					
<b>Former Use</b>	Residential, educational, retail, dining, places of worship and service providers.					
<b>Statement of significance</b>	Substantially occupying the north-east portion of the Roberts estate (1810) and the O'Brien estate of 1851 and areas of the estate beyond, the Bondi Basin Inter-War					



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	<p>UCA is defined by the forms and streetscapes resulting from initial road alignments that evolved from the construction of the Bondi Ocean Outfall Sewer of the late 1880s (Sewer Road, now Blair Street) and the later levelling of large sand dunes and infill of lagoons occupying the north-eastern extent of the O'Brien estate and other estates to the north.</p> <p>Regular transport - initially horse-drawn and, later, steam and then electric trams - encouraged ageing members of the O'Brien family to selectively subdivide readily accessible areas of the estate whilst retaining the original homestead, associated grounds and family mausoleum.</p> <p>The initial subdivisions of the Federation period 1890-1919 saw construction of semi-detached and freestanding residences about the southern side of the basin in response to improved tram transport and the beginnings of aquatic recreation at Bondi Beach.</p> <p>Resulting streetscapes of generous freestanding residences to the upper slopes and more close-set semi-detached residences to the lower slopes and basin floor reflected the relative amenity of the subdivisions and the continuing influence of the O'Brien Homestead and grounds, which remained a feature of the valley to the later 1920s.</p> <p>The subsequent Inter-War period, 1919-1939, saw the emergence and dominance of a new building type, the residential flat building, employed extensively within new subdivisions of the remaining grounds to the O'Brien Homestead and on sites of opportunity within existing streets to the southern and northern slopes of the valley. The residential flat building was even more prolific in reclamation of the Bondi sand drifts to the valley floor and northern side of the Bondi Valley.</p> <p>Despite economic depression of 1929-1934, the momentum of construction continued unabated to the outbreak of World War II, establishing a setting of brick and tile employed in the varied revival styles of the Inter-War years moving toward the beginnings of modern architecture evident in the Functionalist designs of the late 1930s.</p> <p>The speed of development saw a consistency of streetscapes characteristic of boom periods and emphasized by the avenue planning of major traffic routes including Campbell Parade to the south-east and Blair Street, Warners Avenue and Curlewis Street, signifying the beginning of the automobile age in metropolitan Sydney.</p>			
<b>Level of Significance</b>	<table border="1"><tr><td data-bbox="432 1888 751 1991">National <input type="checkbox"/></td><td data-bbox="751 1888 1070 1991">State <input type="checkbox"/></td><td data-bbox="1070 1888 1412 1991">Local <input checked="" type="checkbox"/></td></tr></table>	National <input type="checkbox"/>	State <input type="checkbox"/>	Local <input checked="" type="checkbox"/>
National <input type="checkbox"/>	State <input type="checkbox"/>	Local <input checked="" type="checkbox"/>		



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DESCRIPTION						
<b>Designer</b>	Various.					
<b>Builder/ maker</b>	Various.					
<b>Physical Description</b>	<p>The UCA combines streets aligned with the former boundaries of the O'Brien Estate with the diagonal alignment of Curlewis and Blair Streets, producing extended streetscapes of Inter-War residences and residential flat buildings.</p> <p>Streets typically provide long perspectives emphasised by cohesive building forms of freestanding and semi-detached residences and groupings of two- and three-storey Inter-War residential flat buildings. Face-brick exteriors with terra cotta tile roofs predominate in both building types. Later interventions largely from the 1970s onwards comprise freestanding residential flat buildings of late Modern, Post-Modern and more recent Modernist Revival styles and altered residences typically having first-floor additions.</p>					
<b>Physical condition and Archaeological potential</b>	<p>The potential for uncovering archaeological remnants should be considered when carrying out any works on sites of previous occupancy such as Forest Knoll and the Homestead and in locations of sandstone formations likely to include middens.</p>					
<b>Construction years</b>	<b>Start year</b> C 1919		<b>Finish year</b> C1940		<b>Circa</b>	1919-1940
<b>Modifications and dates</b>						

HISTORY	
<b>Historical notes</b>	<p><i>Timeline History</i></p> <p>&lt;1789: The Bondi Basin was occupied by the Gadigal people, the traditional Aboriginal owners. The dune formations of the Bondi Valley and associated lagoons provided opportunity for food gathering and shelter, whilst natural rock formations to the valley surrounds afforded shelter. Bondi Beach provided a location for trade including exchange of 'Bondi Points' the shaped stone implements examples remaining as archaeological evidence in the Bondi Dunes.</p> <p>1789: Commencement of the granting of land to emancipated convicts and soldiers among the white settler population.</p>





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1803: As early as 1803, some form of road had been built by Governor John Hunter to link the colony with the signal station at Watson's Bay, South Head, following an existing Aboriginal track on the ridgeline and across the Bondi Valley.

January 1810: Noted colonial road builder William Roberts was granted 200 acres, extending from the later line of Edward Street to the south-west, Beach Road to the north-east and from Old South Head Road to Bondi Beach. Roberts, an absentee landlord, used the Bondi land for grazing of cattle on agistment.

1819: William Roberts dies. The Bondi Land grant remained in family hands until 8 March 1851 when it was sold to Edward Smith (Monitor) Hall for 200 pounds in trust for his daughter, the wife of Francis O'Brien. A notice of the birth of a son to Mrs Francis O'Brien at her residence Bondi on 18 January 1851 supports the O'Briens being in residence at Bondi prior to the exchange in March. The O'Brien residence was initially known as Bondi Lodge and later The Homestead. Its location to the south-west side of the Bondi Valley and the construction of a family mausoleum to the west had considerable impact upon the subsequent development of the valley.

1852: The first attempt at subdivision by Francis O'Brien included a subdivision plan drawn up by Knapp. This established much of the later street pattern plan in the valley, but provided little or no sales. The roads marked on the map were not built until much later.

1855: A road was surveyed from Old South Head Road principally along the later route of Sir Thomas Mitchell Road.

1854 -1856: Negotiations with E. S. Hall saw a reserve established to southern end of Bondi Beach, leaving 179 acres in the estate.

1 July 1861: Francis O'Brien mortgages the Bondi Estate to Frederick Fanning for 20,000 pounds. The mortgage excluded the Barton and Long sections to the north and south ends of the beach.

1866: Frederick Fanning had subdivision plans prepared by the prominent surveyor Reuss covering lands in the Bondi Valley from Old South Head Road to Bondi Park and from Edwards Street to the later line of Beach Road. The Reuss plan preserved 35 acres about The Homestead.

August 1868 Francis O'Brien has Bondi Estate brought under the Real Property Act.

October 1873 Some 51 acres to the south-western side of the valley passed into the hands of Frederick Charles Curlewis.



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	<p>1877: Following the bankruptcy of Francis O'Brien, the residue of the estate was vested to Frederick Thomas Humphrey, then transferred to Frederick C. Griffiths in September 1878.</p> <p>Part of this land was subdivided for sale by J H Reuss in June 1879 and lots offered for sale in November 1879.</p> <p>1879-1920s: numerous subdivisions of the estate undertaken initially preserved The Homestead surrounds.</p> <p>1880: Cliff House Hotel opens at the southern end of Campbell Parade to service a growing number of beach day-trippers.</p> <p>1882: NSW government resumes 25 acres of private land for public recreation at Bondi Beach.</p> <p>1884: First tramway to Bondi opens, stopping at Hall St. The tram is steam-powered and runs from Circular Quay and Railway Square.</p> <p>1886: Tidal Baths open at the southern end of Bondi Beach.</p> <p>1890: Tram line from Bondi to Waverley opens.</p> <p>1894: Tram line is extended to Bondi Beach with a looped track at the beachfront.</p> <p>1900: State government agrees to begin funding sand dune stabilisation and removal project.</p> <p>1901: Federation occurs with the proclamation of the Commonwealth of Australia January 1. Australia begins to establish itself as a nation with its own character. Federation architecture was expressive of this sense of pride, with Australian themes often incorporated, such as flora and fauna motifs in building features. Verandas and larger window openings responded to the Australian setting and climate.</p> <p>1902: Sea bathing becomes legal as Section 77 of the Police Offences Act is scrapped.</p> <p>1905: First dressing sheds are built at Bondi Beach.</p> <p>1906: Tram line to Bondi is electrified. Bondi Surf Club begins operation as use of beach by swimmers increases.</p>
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	<p>1907: Red and yellow lifesaver caps are worn for the first time at Bondi as Bondi's popularity as a tourist destination grows and the beach becomes associated with health, leisure and democracy – a playground everyone could enjoy equally.</p> <p>1911: "Castle" dressing sheds complete with turrets open at the beach. Described in <i>The Sydney Morning Herald</i> as the most up-to-date surf bathers' accommodation in the State and the Commonwealth. A tearoom for day-trippers is included. Tramline extended to North Bondi.</p> <p>1914: Bellevue Hill tram line extended to Bondi Beach via Birriga Rd and Curlewis St to North Bondi.</p> <p>1914-18: World War 1. Sand dune removal program continues on the central and northern side of the Bondi Valley.</p> <p>1916: Site acquired by the state for Bondi Beach Public school on Campbell Parade, but the government balked at the cost of clearing sand from the site. Other sites were investigated but eventually the school buildings were erected.</p> <p>1919: First sale of land that included The Homestead and immediate grounds occurring in 1919.</p> <p>1920s: Rapid expansion of housing across the Bondi Basin driven by a post-war economic boom, rapid population growth in Sydney and the Waverly LGA, speculative building of residential flats in response to the acute post-war housing shortages, the new Company Title land title system (providing separate ownership of apartments) and the increasingly extensive tramway transport network. The speed of subdivision saw a consistent streetscapes emerge, characteristic of boom periods. Between 1923 and 1926, land values in the Waverley municipality rose an average of 37 per cent.</p> <p>1920s: Bondi Beach and the lifesaver emerge as a source of iconography for a new national identity, individuality and freedom, fostering growth of tourism to the beach and the need for more accommodation options.</p> <p>1921: Census data reveals the rapid growth of population and number of dwellings in Waverley during the Inter-War years:</p>
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	Population	Number of dwellings			Owned	Rented
		Houses	Flats	Total		
<b>1911</b>	<b>19,831</b>			<b>4,211</b>		
<b>1921</b>	<b>36,797</b>	<b>6761</b>	<b>647</b>	<b>7,799</b>	<b>33%</b>	<b>65%</b>
<b>1933</b>	<b>55,902</b>	<b>9306</b>	<b>4380</b>	<b>13,686</b>	<b>26%</b>	<b>72%</b>

1923: An extensive Bondi Beach improvement and park beautification scheme gets under way including kiosk, surf sheds, toilets, bandstand, park and car parking.

1926: Car ownership booms and beach parking fees are introduced. In the year 1928-29, 87,000 cars used the council beach car park.

1926: Bondi Beach Public school opens, built in the Inter-War Stripped Classical architecture style. A new wing was added 1932 and enrolments peaked in 1937. Inter-War architecture styles in Australia were highly eclectic. The period was characterised by a profusion of design types that drew inspiration from a range of sources. America's influence on style was of particular significance at this time, supplementing ongoing influences from England. It was common for buildings to display features from more than one style. Common styles used in Bondi included: Georgian Revival, Free and Stripped Classical, Spanish Mission (common in California at the time and made fashionable by the growing popularity of Hollywood films), Mediterranean, Art Deco, Old English and Functionalist.

1929: Bondi Pavilion opens, with an estimated 200,000 people attending the celebrations. The Inter-War Mediterranean-style pavilion included a ballroom, cabaret theatre, auditorium, Turkish baths and changing rooms,

1929: Bondi Icebergs winter swimming club is formed as leisure and health activities increase in popularity.

1930: Bondi Publicity League formed by local real estate agents with the slogan "Live in Bondi where life is better".

1931: Bondi ocean pool extended. Advertising material describes Bondi as the "Playground of the Pacific", with "two of the most modern and best appointed seaside hotels on the coast of NSW [the Astra and Hotel Bondi]. To those who prefer private hotels, up-to-date favourably situated premises are available at a tariff commensurate with the service [an example being the Tareleton Hotel, now Bondi Backpackers]."



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	<p>1932: The Sydney Harbour Bridge opens as the Great Depression hits. The notion of the beach as an egalitarian playground takes root, especially at Bondi with its large working class population.</p> <p>1933: Sydney's tram network acquires the status of the world's largest (before it was decommissioned 30 years later).</p> <p>1938: Black Saturday surf rescue.</p> <p>1939-45: World War II. Soldiers hold a Lifesaving carnival on Tel Aviv Beach in 1941.</p> <p>1946: Three-track tram terminus is cut into the roadway at North Bondi.</p> <p>1948: Lightweight swimwear fabric is developed. This reduces the need for dressing sheds, resulting in the surf pavilion's use fading.</p> <p>1957: Waverley's population peaks at 71,000</p> <p>1960: February 28 – Last tram runs to North Bondi and Bronte.</p> <p>1971: First City to Surf race.</p> <p>2006: 70% of Bondi households live in flats.</p>
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THEMES	
<b>National historical theme</b>	Developing Australia's Cultural Life (Domestic life, social Institutions and creative endeavour).  <i>Developing local and national economies (Science).</i>
<b>State historical theme</b>	Creative Endeavour- Exemplar of an architectural style. Persons - Activities of, and associations with, identifiable individuals.

APPLICATION OF CRITERIA	
<b>Historical significance</b> SHR criteria (a)	<p>The Bondi Basin Inter-War has historical significance as a demonstration of the later large-scale modification of the Bondi sand dune formations to facilitate residential subdivisions associated with expansion of metropolitan Sydney in the Inter-War years 1919-1939.</p> <p>The Bondi Basin Inter-War represents one of the first extensive examples of the Inter-War residential flat building employed as the dominant housing type within a large area of new construction established on one of Waverley's earliest land grants dating from 1810.</p> <p>The Bondi Basin Inter-War demonstrates the rapid and speculative development of Inter-War flat buildings and freestanding and semi-detached residences at North Bondi in response to improvements in public and private transport, increased leisure opportunities through the Inter-War period and a resilience to varying economic conditions resulting in the variety of residential types offered in the suburb.</p> <p>Development of the Inter-War period 1919-1940 demonstrates the introduction of the residential flat building and associated streetscapes resulting from the expanded use of the new housing type in the development of vacant lands largely occupied by sand dunes.</p> <p>The Conservation Area contains notable examples of the evolution of housing in 20<sup>th</sup> century Waverley from the Federation to the late Inter-War years.</p> <p>The Conservation Area includes street formations influenced by the Garden Suburb movement originating in England of the 1880s and employed in town planning of coastal dune areas of NSW including those of the Kensington Model Suburb, begun in 1891; Daceyville in 1913; and the suburb of Hamilton South at Newcastle in 1913-</p>



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	40. The wide avenue planting of Blair Street and the cross route of Warners Avenue demonstrate the influence of the Garden Suburb movement.
<b>Historical association significance</b> SHR criteria (b)	The Bondi Basin Inter-War Conservation Area is associated with the O'Brien and Hall families, the next occupants of the lands initially granted to William Roberts in 1810. Long-term occupation of The Homestead by the O'Brien /Hall families and progressive subdivision of lands about the immediate grounds of The Homestead and associated family Mausoleum served to shape the set-out of streets within the valley and provided the legacy of family names in the evolving streets.
<b>Aesthetic significance</b> SHR criteria (c)	<p>The Bondi Basin Inter-War Conservation Area has evolved a distinctive aesthetic character based upon the long term use of cohesive materials namely face brick and terra cotta roof tiles and the construction of cohesive building groups over notably short periods.</p> <p>The area is notable for the demonstration of the evolution of the residential flat building beginning with Spartan rooms set above existing tearooms towards the beach front. Evolving styles employed in the construction of residential flat buildings record the aesthetic preferences of the Inter-War years. Aesthetic influences prominent in the Conservation Area include late Federation styles, in particular Federation Arts and Crafts and Queen Anne styles; successive revivalist styles; and later Art Deco and Functionalist styles evident in groups and individual examples of residential flat buildings.</p>
<b>Social significance</b> SHR criteria (d)	The Bondi Basin Inter-War Conservation Area demonstrates the changes in the expectations of suburban housing through the first half of the 20 <sup>th</sup> century and the evolving pattern of suburban lifestyle particularly in coastal suburbs resulting from changes in social attitudes to sea bathing and overall improvements in working conditions and transport of the period.
<b>Technical/ Research significance</b> SHR criteria (e)	The Bondi Basin Inter-War Conservation Area provides a substantial and comprehensive demonstration of housing types and changes to housing of the first half of the 20 <sup>th</sup> century.
<b>Rarity</b> SHR criteria (f)	Buildings evident in the Bondi Basin Inter-War Conservation Area are not currently rare in Sydney and there are numerous examples in the Waverley local government area. However, the range of building styles and the comprehensive chronology of aesthetic style has few peers in NSW, comparable locations at Coogee and Manly having lesser extent.
<b>Representative ness</b>	The Bondi Basin Conservation Area is representative of the changes in suburban housing, particularly in areas of coastal recreation resulting from changes in attitudes



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SHR criteria (g)	to leisure and work hours of the early 20 <sup>th</sup> century. Aided by the rapid introduction of the residential flat building and the release of large areas of vacant lands the location provided one of the most extensive areas of rapid suburban expansion in Sydney of the early and mid- 20 <sup>th</sup> Century.
<b>Integrity</b>	<p>The aesthetic significance of the overall setting has been diminished by poor maintenance and inappropriate changes to detailing of building types, particularly in the rendering and painting of face brickwork and by poorly resolved additions to Federation and Inter-War residences including first floor additions and street front carports. Over-scaled new construction has also impacted on the cohesion of some streets.</p> <p>Allowing for the above, the setting retains the predominance of construction and building types of the period 1919-1940, this being emphasised by consistency of materials and presence of varied styles in substantial groupings.</p>

## HERITAGE LISTINGS

Heritage listing/s	Waverley LEP
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## INFORMATION SOURCES

Type	Author/Client	Title	Year	Repository
Research				Waverley Council
Biography				Australian Dictionary of Biography

## RECOMMENDATIONS

<b>Recommendations</b>	<p>A Heritage Impact Statement should be provided to accompany any development application for major works in the Conservation Area.</p> <p>Heritage Exemption Certificates should be applied for in the case of minor works to buildings.</p> <p>All additions and alterations shall be in accordance with the relevant planning controls.</p> <p>Waverly Councils Guide Notes for Inter-War Flat Buildings are to be utilized for residential flat buildings.</p>
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## SOURCE OF THIS INFORMATION



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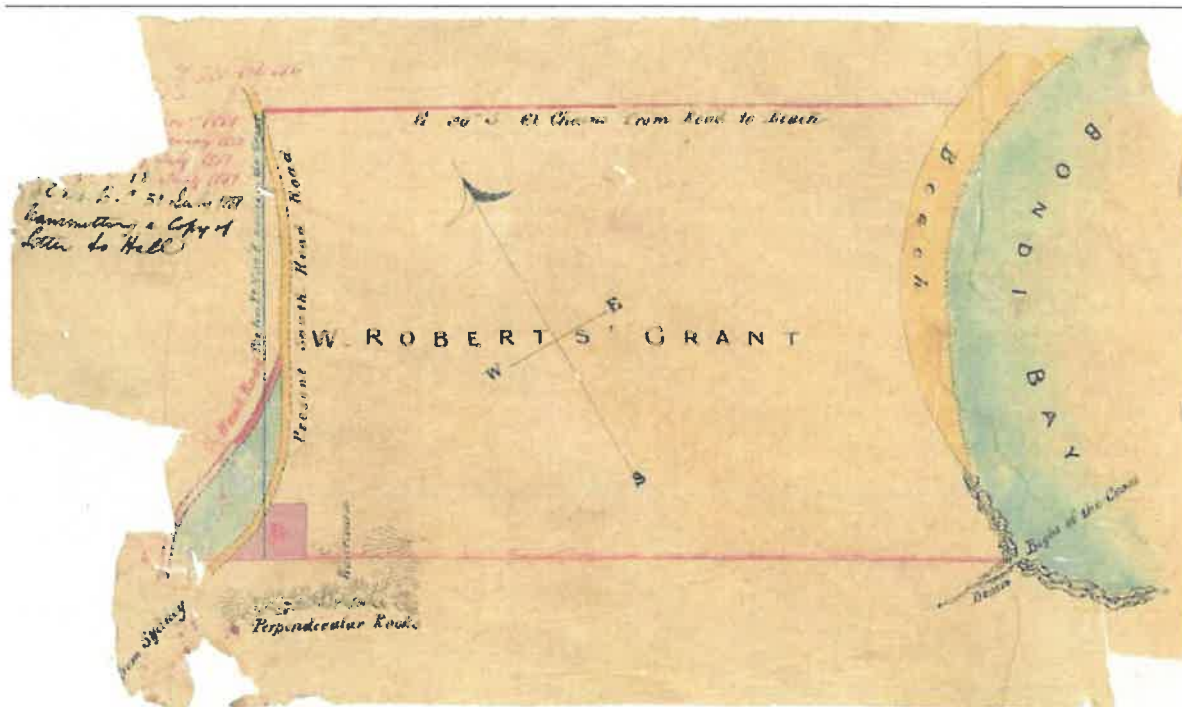
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<b>Name of study or report</b>	Various	<b>Year of study or report</b>	2019
<b>Item number in study or report</b>	N/A		
<b>Author of study or report</b>			
<b>Inspected by</b>			
<b>NSW Heritage Manual guidelines used?</b>		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
<b>This form completed by</b>		<b>Date</b>	



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<b>Image caption</b>	Map marking the extent of the 200 acres of land granted by Governor Lachlan Macquarie to the noted colonial road builder and emancipated convict William Roberts in 1810.				
<b>Image year</b>	Undated	<b>Image by</b>		<b>Image copyright holder</b>	State Archives of NSW







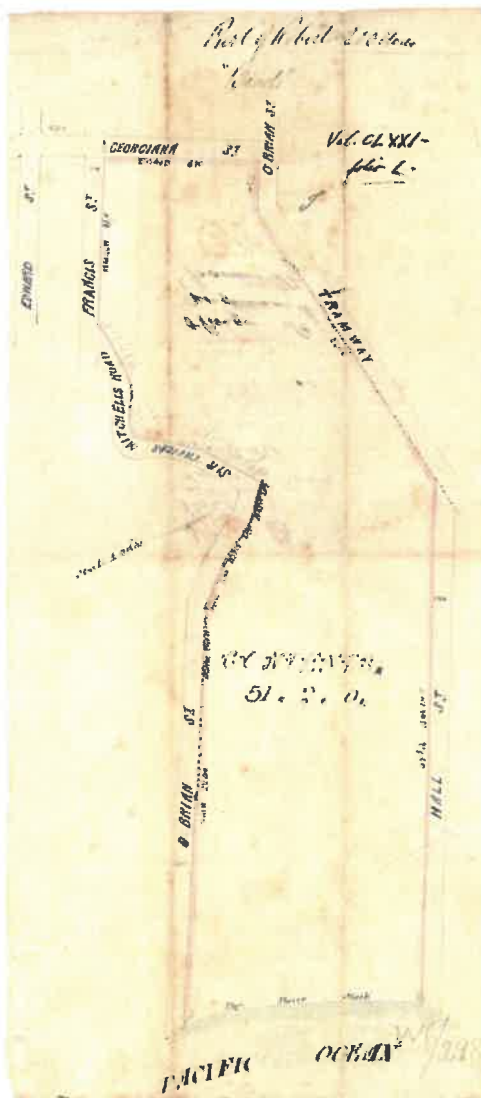
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## IMAGES

<b>Image caption</b>	Map marking parts of William Roberts' estate and showing the path of the railway Thomas O'Brien built across the Bondi and dunes to remove the basalt he was quarrying at the coastal end of what is now Murreverie Rd. The street names all have links to the Hall and O'Brien families, who purchased the Roberts grant.				
<b>Image year</b>	Undated	<b>Image by</b>		<b>Image copyright holder</b>	State Archives of NSW





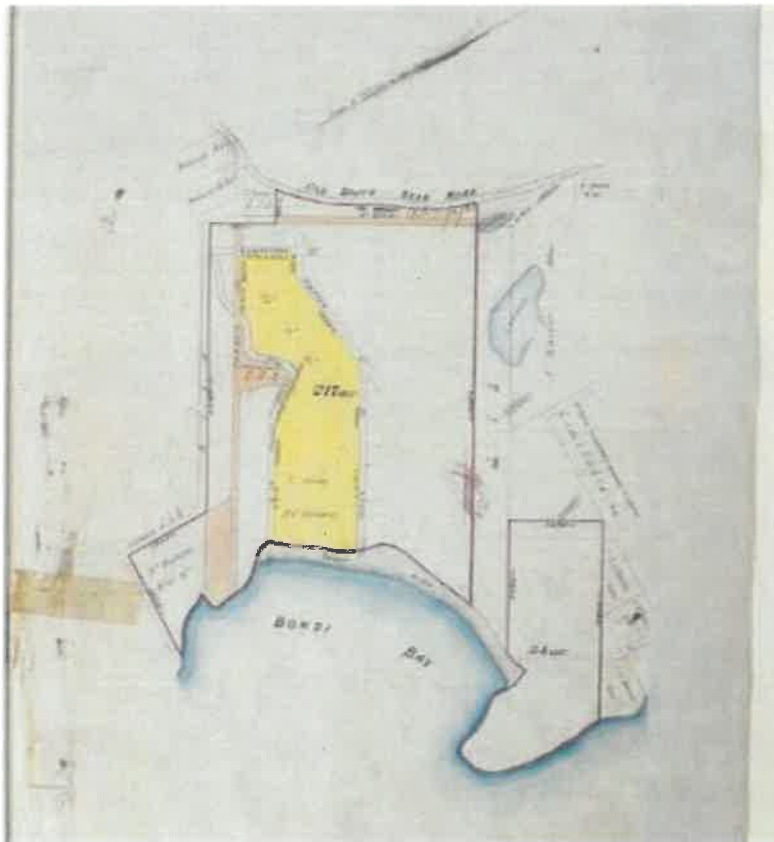
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## IMAGES

<b>Image caption</b>	Land from the O'Brien Homestead Estate, shows the location of sand dune lagoons				
<b>Image year</b>	C1870	<b>Image by</b>		<b>Image copyright holder</b>	State Library of NSW





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## IMAGES

Image caption	Parish map, c1830				
Image year	1830	Image by		Image copyright holder	NSW Land and Property Information





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## IMAGES

<b>Image caption</b>	1866 Reuss subdivision plan. The subdivision was not successful because of the sand dunes that prevented development and the plan was shelved; the roads marked remained unbuilt.				
<b>Image year</b>	1866	<b>Image by</b>		<b>Image copyright holder</b>	National Library of Australia





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## IMAGES

<b>Image caption</b>	1875 Map of Port Jackson and city of Sydney shewing the adjacent municipalities, NSW. Bondi's street grid has yet to be built.				
<b>Image year</b>	1875	<b>Image by</b>		<b>Image copyright holder</b>	State Library







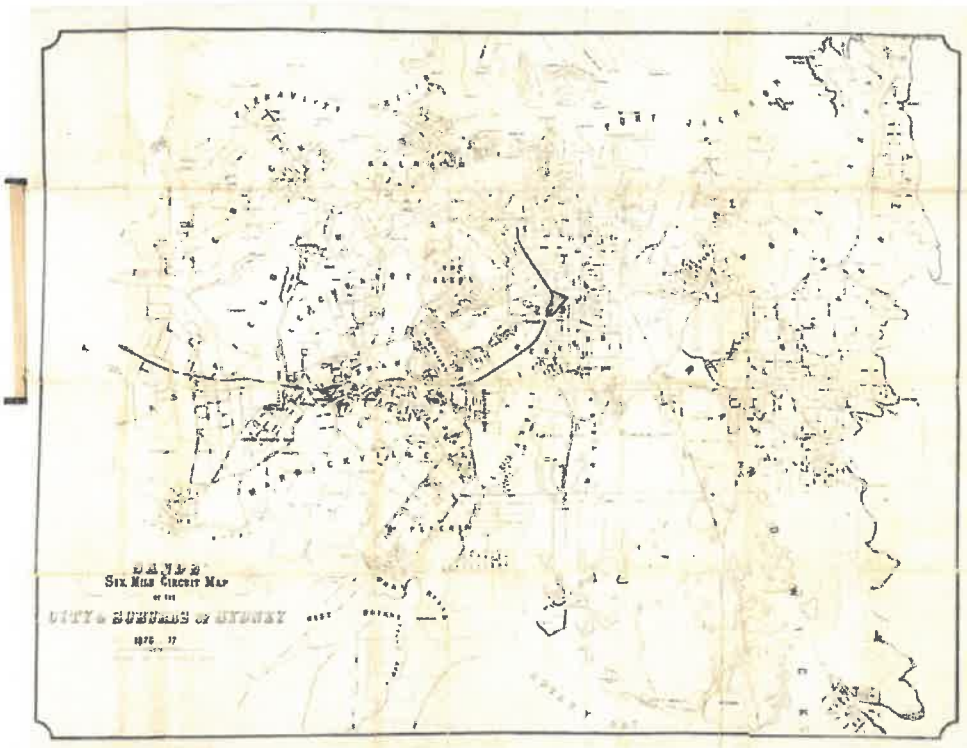
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## IMAGES

Image caption	1876 Sands' six mile circuit map of the city & suburbs of Sydney 1876-77. Bondi Valley remains without roads.				
Image year	1876	Image by		Image copyright holder	State Library





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## IMAGES

<b>Image caption</b>	1887 Plan of the Borough of Waverley, Pollitzer. The grey mapped area reveals the extent of the sand dunes.				
<b>Image year</b>	1887	<b>Image by</b>		<b>Image copyright holder</b>	Source: National Library of Australia



Figure 7: Plan of the Borough of Waverley, Pollitzer, 1887.  
Source: National Library of Australia



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Image caption	1875 Bondi Beach 1884 Bondi Beach				
Image year	1875, 1884	Image by		Image copyright holder	Waverley Library; National Museum of Australia





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## IMAGES

<b>Image caption</b>	1884 Port Jackson cartographic material Compiled by Lieutenants T. F. Pullen and G. W. Gubbins, H.M.S. Lark, from information supplied by the NSW Government. Engraved by Davies and Co. Map reveals the problematic sand hills prevent development.				
<b>Image year</b>	1884	<b>Image by</b>		<b>Image copyright holder</b>	State Library





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## IMAGES

Image caption	1894 Map of Sydney & suburbs showing tramway. Road grid begins to appear at Bondi.				
Image year	1894	Image by		Image copyright holder	State Library







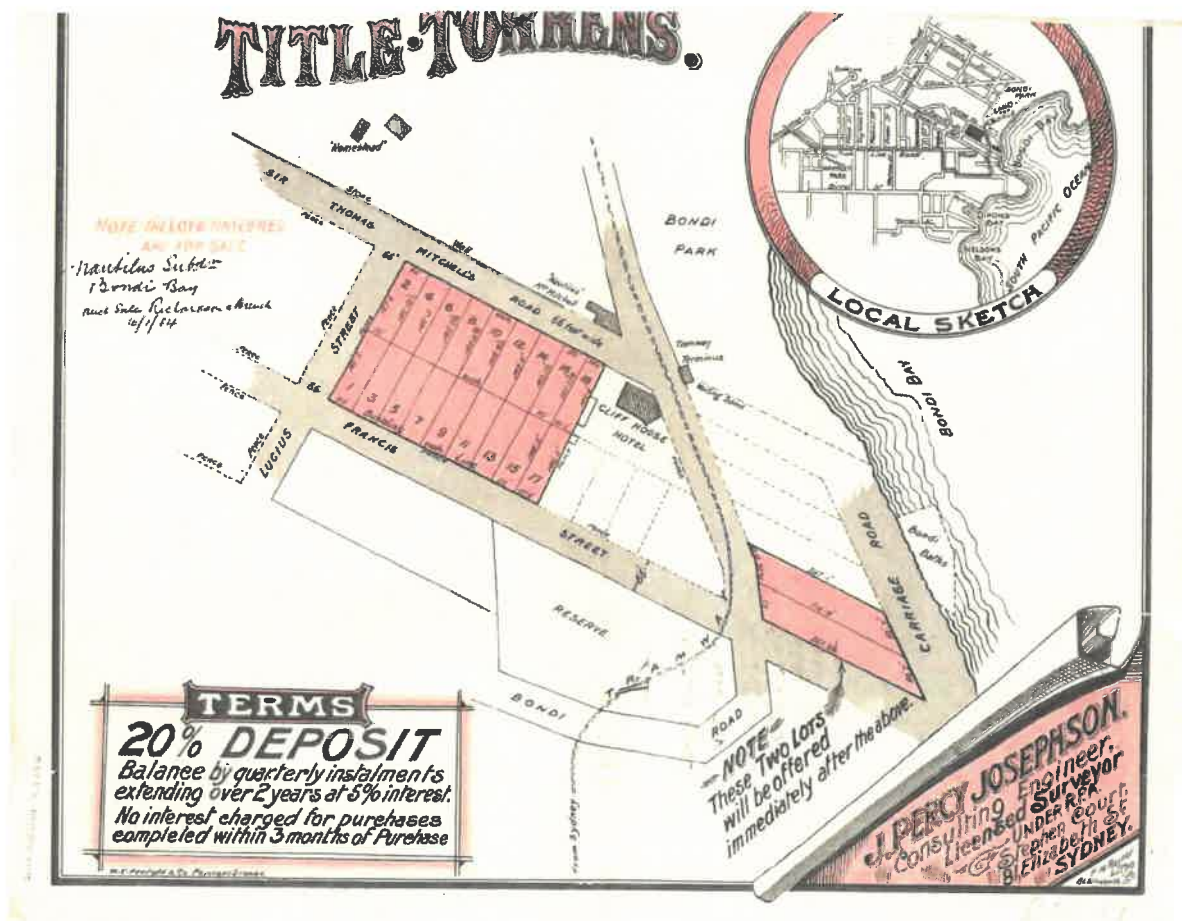
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## IMAGES

Image caption	1898-06 Nautilus estate land sale poster. One of the earliest sub-division sales in the Bondi Basin				
Image year	1898	Image by		Image copyright holder	State Library





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Image caption	1928 Bondi Basin land sales boom after World War 1 as the population booms and the sand dunes are remediated..				
Image year	1928	Image by		Image copyright holder	State Library

**CROWN LANDS**  
**AT**  
**BOND**

**32 ALLOTMENTS**

**AUCTION SALE**  
**ON THE GROUND**  
**SATURDAY, 31st MARCH, 1928, at 3 o'clock p.m.**

**SELLING FRONTAGES**

Lot	Area	Frontage
1427	1/10	45
1428	1/10	45
1429	1/10	45
1430	1/10	45
1431	1/10	45
1432	1/10	45
1433	1/10	45
1434	1/10	45
1435	1/10	45
1436	1/10	45
1437	1/10	45
1438	1/10	45
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1462	1/10	45
1463	1/10	45
1464	1/10	45
1465	1/10	45
1466	1/10	45
1467	1/10	45
1468	1/10	45
1469	1/10	45
1470	1/10	45
1471	1/10	45
1472	1/10	45
1473	1/10	45
1474	1/10	45
1475	1/10	45
1476	1/10	45
1477	1/10	45
1478	1/10	45
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1488	1/10	45
1489	1/10	45
1490	1/10	45
1491	1/10	45
1492	1/10	45
1493	1/10	45
1494	1/10	45
1495	1/10	45
1496	1/10	45
1497	1/10	45
1498	1/10	45
1499	1/10	45
1500	1/10	45

**AUCTIONEERS**  
**O'BRIEN BROS** 28 MARTIN PLACE, SYDNEY Tel. B 1464  
& 292 BOND ROAD, BOND Tel. FW 1109 (2 lines)  
**FRED COX (ALLDIS & CO LTD)** OXFORD ST BOND JUNCTION Tel. FW 3033  
**JOHN A. LUCAS** 8 CURLEWIS ST BOND Tel. FU 7424

**PLAN**  
Showing Lots for sale  
PARISH OF ALEXANDRIA  
COUNTY OF NEWCASTLE  
Municipality of Warley  
S. 10. 50. 100

**LOCAL SKETCH**

**NOTES**  
Land for Sale shown thus  
Unsold Blocks will not be available  
for After Auction Purchase.

**TERMS**  
Deposit 10%  
balance in five  
equal annual  
instalments with  
interest at 5%  
per annum.

## New – Avoca Street HCA



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ITEM DETAILS						
Name of Item	Avoca Street Urban Conservation Area, Bondi					
Other Name/s Former Name/s	various					
Item type	Residential housing					
Item group						
Item category	Federation and Inter War speculative housing					
Area, Group, or Collection Name						
Street number	Various					
Street name	Avoca, Watson Grove, Coulton, Philip, Jackaman, Tasman, Tamarama, Imperial, Boonara Streets and Farrellys Ave.					
Suburb/town	Bondi				Postcode	2022
Local Government Area/s	Waverley					
Property description	Federation and Inter War residences constructed as attached and freestanding cohesive groups. Speculative subdivision of later 19 <sup>th</sup> century Estates providing streetscapes reflecting the progressive subdivision of the grounds to large Villa residences including Baylesford, Avoca, and Bonara constructed on purchase grants of the 1840s-50s.					
Location - Lat/long	Latitude		Longitude			
Location - AMG (if no street address)	Zone	R2 Low Density Residential	Easting		Northing	
Owner	Private					
Current use	Private Residential					
Former Use	Private Residences					
Statement of significance	The single-storey attached and semi- detached residences to the western side of Avoca Street Conservation Area are a significant grouping of Federation era and early Inter-War period attached and semi-detached speculative housing constructed					



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	<p>on progressive subdivisions of former Villa Estates established in the 1850s on the south side of Bondi Road.</p> <p>The residences demonstrate the forms, details and streetscapes resulting from extension of tram services along Bondi Road of the late 19<sup>th</sup> Century and the resulting increase in property values leading to higher density subdivisions of Bondi utilising housing types evolved from and improving the amenity of late Victorian era housing in Waverley.</p>		
<b>Level of Significance</b>	National <input type="checkbox"/>	State <input type="checkbox"/>	Local <input checked="" type="checkbox"/>

DESCRIPTION						
<b>Designer</b>	Various mainly speculative builders.					
<b>Builder/ maker</b>	Not Known					
<b>Physical Description</b>	The buildings at 21-69 Avoca Street					
<b>Physical condition and Archaeological potential</b>	The potential for uncovering archaeological remnants should be considered when carrying out any works.					
<b>Construction years</b>	<b>Start year</b>		<b>Finish year</b>		<b>Circa</b>	1893-1894
<b>Modifications and dates</b>						

HISTORY	
<b>Historical notes</b>	<p><i>Timeline History</i></p> <p>&lt;1789: Occupied by the Gadigal people, the traditional Aboriginal owners.</p> <p>1789: Commencement of the granting of land to emancipated convicts and soldiers among the white settler population.</p>





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1803: As early as 1803, a basic road had been built by Governor John Hunter to link the colony with the signal station at Watson's Bay, South Head, The South Head Road followed an existing Aboriginal track on the ridgeline south of the Harbour before descending into and across the Bondi Valley.

1830s: Commencement of assisted immigration scheme was funded by sales of land as purchase grants. Much of remaining Crown Land about Waverley was surveyed for sale in medium sized allotments typically of 5 acres.

1840s: 5-acre lots along the south side of Bondi Road in the area later occupied by Avoca, Street, Imperial Avenue and Boonara Streets were purchased by speculators R.J. Want, F Mitchell and C.W. Cole.

1850s-60s: Establishment of large 'gentleman's residences' along Bondi Road. These largely incorporate original purchase grants as whole or part of spacious grounds.

Residences constructed to the south side of Bondi Road included:

- *Greganhurst* occupied by Thomas Gregan, Waverley Councillor 1867-68,
- *Avoca* occupied by John Birrell, first chairman of Waverley Council in 1859
- *Braylesford* erected by Christopher Newton in 1862 and later the home of William Braylesford Greaves.
- *Velette*
- *Shirley*
- Further along Bondi Road stood *Gearlock*, the home of F. Mackenzie
- *Boonara House* occupied by Mrs Mackenzie both associated with Mackenzie's Dairy.

*Baylesford* was the home of William Baylesford Greaves, a surveyor who arrived in Australia in 1852 at the invitation of Sir Thomas Mitchell, whom he met when Mitchell visited England for the Crystal Palace Exhibition of 1851.

First employed as an assistant surveyor in the Bondi district, Baylesford was appointed a licensed surveyor on Mitchell's return from England. Baylesford subsequently worked in the Clarence River area, being appointed Crown Lands Commissioner of that area. Baylesford acquired Newbold Station, near Grafton, and other properties in northern NSW before retiring in 1887 to live at *Braylesford* on Bondi Road. He resided there until his death on Jan 14, 1925.

1891: *Avoca* was recorded as the home of Haviland Reynolds, a son of Crimean War veteran Captain Robert Henry Reynolds [d 12 Nov 1913]. Following a sale of house contents at *Avoca* by Haviland Reynolds on 3 March 1892, the house and immediate acre of land were advertised for let in *The Sydney Morning Herald* on 23 April 1892, the subsequent occupant being J. F. Jones. Jones and family became long-term residents as tenant or owner.



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	<p>Initial subdivision of grounds to the larger residences began in the lead up to Federation when tram services to Bondi Beach also provided opportunity for speculative housing along the tram route'</p> <p>1881: Initial sales of this period began with the <i>Bennet</i> Estate and <i>Greganhurst</i> Estate in February 1885. <i>Dickson</i> Estate followed in December 1892.</p> <p>1897: The <i>Avoca</i> Estate Bondi was offered for sale on 4 Dec 1897. <i>Avoca</i> Street, <i>Frederick</i> Parade and <i>Tasman</i> Street were created to access the subdivisions.</p> <p>1899: 11 Feb. <i>Avoca</i> was advertised for sale due to the owner departing for Europe. The house was marketed as 5 bedrooms, together with 8 acres, a coach house, stables etc. [SMH 11 Feb 1899]</p> <p>1900-1902: Further auction sales of the <i>Avoca</i> Estate followed realignment and changes to street names. The east-west dogleg in <i>Avoca</i> Street initially named <i>Frederick</i> Parade was by 1902 renamed <i>Avoca</i> Street East and by 1913 again renamed <i>Philip</i> Street.</p> <p>1903: Only two new residences were listed in <i>Sands</i> Directory on <i>Avoca</i> Street, this remaining the case in 1905. The following year four additional residences were recorded to the east side of <i>Avoca</i> Street. By 1908 listings had increased to 10 residences extending north from <i>Edward</i> Bowman's <i>Ariona</i>, the second residence recorded in 1904. In 1908 14 residences are also recorded in <i>Philip</i> Street the number increasing to 15 north of <i>Ariona</i> in 1909 and 9 to the east side of <i>Avoca</i> Street.</p> <p>The rapid increase in housing provided the Federation-style residences forming the dominant aspect of <i>Avoca</i> and <i>Philip</i> streets originating in the period 1906-08.</p> <p>1925 Captain William Greaves of <i>Baylesford</i> dies. The <i>Braylesford</i> Estate was subdivided for sale into 23 lots on 13 June 1925. Subsequent residential construction to the eastern side of <i>Avoca</i> Street was substantially in Inter-War Bungalow Styles.</p>
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THEMES	
<b>National historical theme</b>	Developing Australia's Cultural Life (Domestic life, social institutions and creative endeavour).
	Developing local and national economies (Science).
<b>State historical theme</b>	Creative Endeavour- Exemplar of an architectural style. Persons - Activities of, and associations with, identifiable individuals.



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APPLICATION OF CRITERIA	
<b>Historical significance</b> SHR criteria (a)	<p>The Conservation Area has historical, social and aesthetic significance as an example of the close settlement of Bondi during the early 20<sup>th</sup> Century responding to improved tram transport; the economic boom of the early Federation years and the subdivision of established grounds to gentleman's residences of the mid and later 19<sup>th</sup> Century.</p> <p>The residential streetscapes demonstrate the forms of speculative Federation and later inter War housing employed in the subdivision of Villa Estates about Bondi in response to improved tram transport.</p>
<b>Historical association significance</b> SHR criteria (b)	<p>The Conservation Area is associated with the initial European estate purchasers of the 1840-50s in particular John Birrell, James Dixon and Surveyor Captain Baylesford Graves and the later occupants of villa residences including – the Mackenzie family operators of Mackenzie's Dairy.</p>
<b>Aesthetic significance</b> SHR criteria (c)	<p>The streetscapes of the Conservation Area are defined by cohesive rows of Federation freestanding and semi- detached residences and later rows on Inter War bungalows.</p> <p>The aesthetic significance is diminished by inappropriate street fencing particularly in Tamarama Street and poorly resolved additions including front carports to random residences.</p> <p>Cohesive and notable groupings of Federation Queen Anne style remain in Avoca, Philip and Jackaman Streets with cohesive rows of Inter-War bungalow style residences to the east side of Avoca Street and in Boonara Avenue.</p>
<b>Social significance</b> SHR criteria (d)	<p>There are no known special associations with any community or cultural group for social, cultural or spiritual reasons. Accordingly, the Conservation Area does not attain the requisite standard for social significance.</p>
<b>Technical/ Research significance</b> SHR criteria (e)	<p>The Conservation Area contains building groups retaining technical information relevant to the changing styles of speculative housing of the period 1900-1940.</p>
<b>Rarity</b> SHR criteria (f)	<p>Dwellings built in the Federation Queen Anne and Inter War bungalow styles architectural style are not currently rare in Sydney and there are numerous examples in the Waverley local government area.</p>
<b>Representative-ness</b> SHR criteria (g)	<p>The Avoca Conservation Area is representative of the housing types and streetscapes resulting from speculative subdivision of former Villa Estates undertaken in response to improved tram transport and consolidation of Waverley Municipality during the early 20<sup>th</sup> Century.</p>



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<b>Integrity</b>	Cohesive rows and individual residences display varying degrees of intactness. Where details are missing on specific examples these are generally evident within associated residences. Groups of high integrity remain particularly in Avoca, Tasman Philip, Bonara and Jackaman Streets.
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HERITAGE LISTINGS	
<b>Heritage listing/s</b>	Waverley LEP 2012

INFORMATION SOURCES				
Type	Author/Client	Title	Year	Repository
Research	Colin Brady		2019	Waverley Council
Biography	Captain William Braylesford Greaves		1974	Australian Dictionary of Biography

RECOMMENDATIONS	
<b>Recommendations</b>	A Heritage Impact Statement should be provided to accompany any development application for major works within the Conservation Area. Any additions and alterations shall be in accordance with the relevant planning controls.

SOURCE OF THIS INFORMATION			
<b>Name of study or report</b>	Various	<b>Year of study or report</b>	2019
<b>Item number in study or report</b>	N/A		
<b>Author of study or report</b>	Colin Brady		
<b>Inspected by</b>	Colin Brady		
<b>NSW Heritage Manual guidelines used?</b>			Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
<b>This form completed by</b>	Colin Brady	<b>Date</b>	



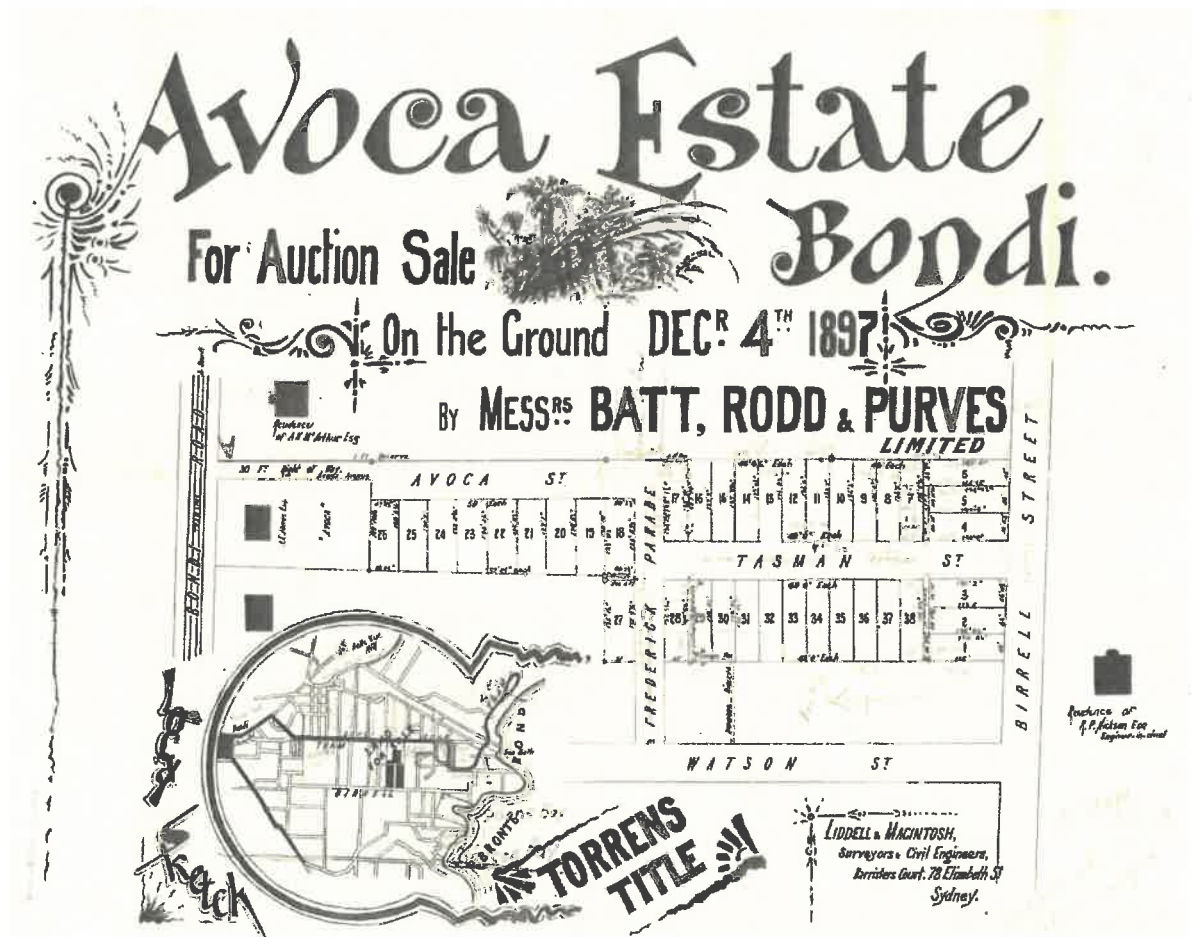
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## IMAGES

Image caption	Land that once formed part of the Avoca Estate is offered for sale after its late-Victorian subdivision.				
Image year	1897	Image by		Image copyright holder	State Library of NSW







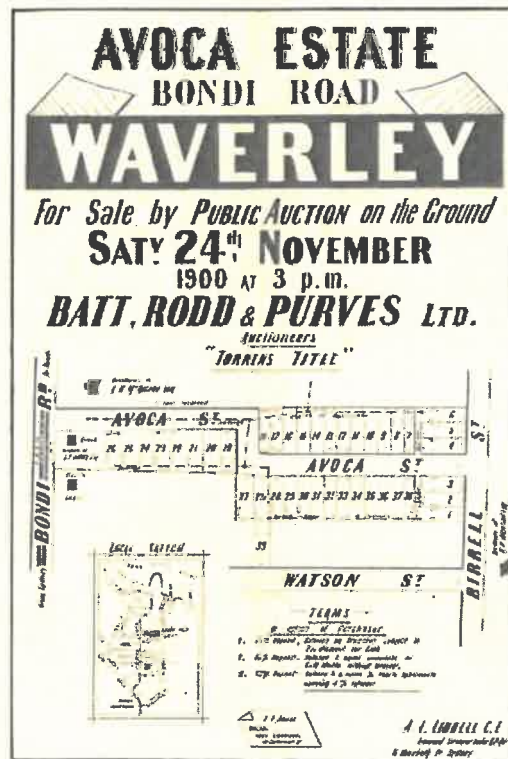
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# NSW State Heritage Inventory form

## IMAGES

Image caption	Land sales continue into the Federation era of the former Avoca estate. Much of the subdivision was sold for housing in this era and the streetscapes of today still contain many good, intact examples of the speculative housing completed in this era.				
Image year	1900	Image by		Image copyright holder	State Library of NSW





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## IMAGES

Image caption	More of the Avoca Estate land is subdivided in the west and put up for sale. Today, the area has historic, aesthetic and social significance as a demonstration of Waverley's evolution from isolated gentlemen's residences to close-set suburban housing.				
Image year	1902	Image by		Image copyright holder	State Library of NSW

**AVOCA ESTATE**  
**BONDI ROAD**  
**WAVERLEY**

For Auction Sale on the Ground at 3 p.m.  
**SATURDAY 13<sup>th</sup> DECEMBER 1902**

by **HARDIE & MARSHALL**  
**GORMAN** In Conjunction with **DEMPSTER**

Auctioneers 133 Pitt St "TORRENS TITLE" Pitt St opp 670

**TERMS**  
20% Deposit.  
Balance by 12 equal Quarterly payments  
with interest at 5% and right to pay off any  
Quarter day.  
No interest charged on purchases completed within  
3 Months of purchase.

**BUILDING COVENANT**  
For protection of Buyers all House Buildings erected  
upon this Land must be of Brick or Stone and of a  
value of not less than £2,000.

**Map:** A detailed street map showing the Avoca Estate area. The map includes Bondi Road, Avoca Street, Tasman Street, and Birrell Street. It shows the layout of the estate with numbered lots and the location of the auction site. A legend indicates the location of the auction site and the location of the estate.

**SALES, LANDS & SURVEY**  
Sellers to be Future  
A. J. LIDDELL C.E.  
Licensed Surveyor & P.A.  
17 Elizabeth St



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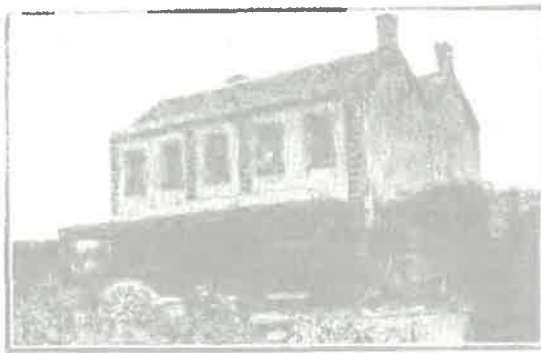
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## IMAGES

<b>Image caption</b>	Land from the former Braylesford Estate formed part of the subdivision that now forms the Avoca UCA. The house was on the south side of Bondi Road between Avoca Street and Imperial Ave. It was home to Captain William Albert Braylesford Greaves from 1882-1925.				
<b>Image year</b>	1925, unknown	<b>Image by</b>		<b>Image copyright holder</b>	Daily Telegraph, Waverley Library

"Braylesford," the residence of Cap-...

"BRAYLESFORD"



Captain Greaves' Residence in Bondi Road—Erected 1882.

tain Greaves, was built in 1882 by Christopher Newton, and stood on a block of 50 acres. Beautiful gardens to-day surround this old home—a fitting setting for one of Sydney's oldest inhabitants, and a thorough gentleman.

...and ... ..  
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## IMAGES

<b>Image caption</b>	Portraits of Mrs WAQB Greaves (wife of Captain William Albert Braylesford Greaves) and her daughter Florence. Both portraits were painted buy the famed Heidelberg School artist Tom Roberts. Roberts knew Florence when she was a student at the Julian Ashton Art School. Florence was also a neighbour and friend of Julian Ashton, who lived nearby at a house overlooking Fletcher's Glen at Tamarama.				
<b>Image year</b>	C1898	<b>Image by</b>	Tom Roberts.	<b>Image copyright holder</b>	Art Gallery of NSW





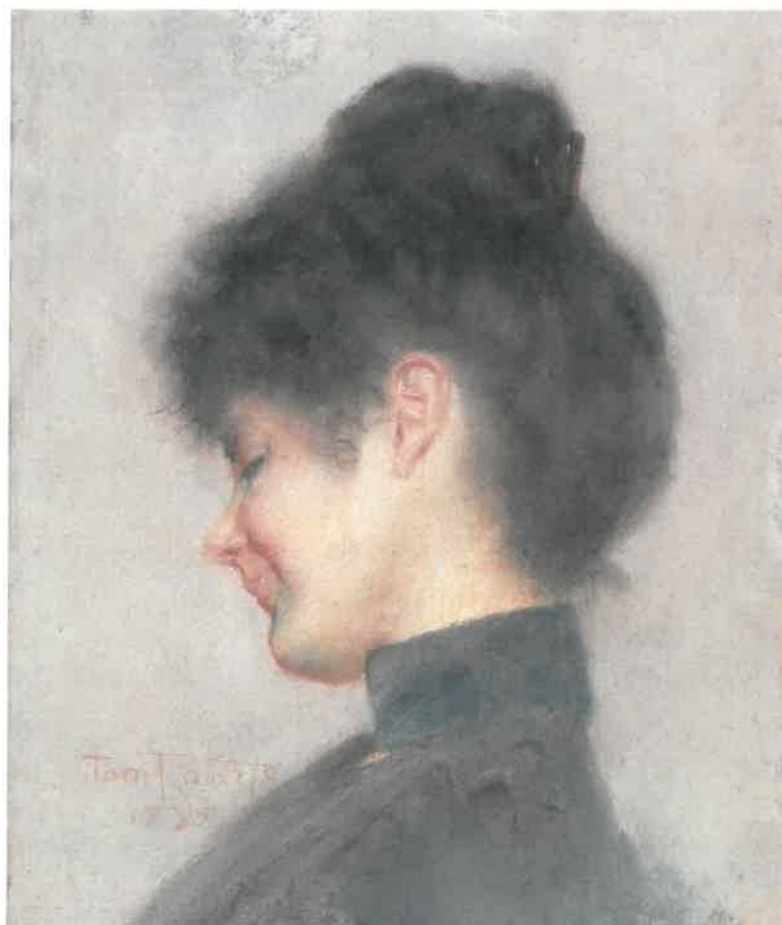
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## IMAGES

<b>Image caption</b>	The second Tom Roberts portrait of Florence Turner Blake (nee Greaves 1873-1956). Florence grew up on the <i>Braylesford</i> estate on Bondi Road. In 1898 he painted the two portraits of Florence, which are now regarded as among his finest, most sensitive portraits. In 1925 Florence travelled to England to study at the Slade School of Fine Art and became friends with the celebrated Impressionist painter Lucien Pissarro. He later gave her one of his paintings, which she left to the Art Gallery of NSW in 1959 at her death. Her bequest to the gallery was one of the largest ever received.				
<b>Image year</b>	1898	<b>Image by</b>	Tom Roberts	<b>Image copyright holder</b>	Art Gallery of NSW







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## IMAGES

Image caption	An advertisement for the sale of the Braylesford estate by auction appeared in <i>The Daily Telegraph</i> on June 6, 1925				
Image year	1925	Image by	Trove	Image copyright holder	Daily Telegraph

### REAL ESTATE AUCTIONS.

Under Instructions from  
**PERPETUAL TRUSTEE COMPANY (LIMITED).**  
IN THE ESTATE OF THE LATE W. A. D. GREAVES

**BONDI** **BONDI**  
**BRAYLESFORD ESTATE**

The Most Important Subdivision yet offered in this Progressive District, forming an exclusive position, bounded by modern business premises, good-class Homes, flats,  
comprising  
BUSINESS, RESIDENTIAL, AND FLAT SITES.  
With Frontages to  
BONDI ROAD, AVOCA STREET, and  
IMPERIAL AVENUE SOUTH.

**AUCTION SALE ON THE GROUND,  
NEXT SATURDAY, JUNE 13, 1925.  
AT 3 P.M.**

TERMS: 10 per cent. deposit, balance in 12 equal quarterly payments. Interest 6½ per cent. per annum, payable quarterly.  
TORRENS TITLE. Plans being available.

Messrs. W. S. GRAY and PERKINS, 375 George Street,  
Solicitors for the Estate.

**HARDIE & GORMAN PROPRIETARY, LTD.,**  
AUCTIONEERS,  
36 MARTIN PLACE:  
in conjunction with  
**W. S. THOMAS, BONDI JUNCTION**



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## IMAGES

Image caption	Streetscapes in the Avoca Estate UCA remain aesthetically significant today with cohesive groupings, form and scale.				
Image year	2020	Image by		Image copyright holder	Google



## New – Bondi Road HCA



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ITEM DETAILS						
<b>Name of Item</b>	Bondi Road Urban Conservation Area, Bondi					
<b>Other Name/s Former Name/s</b>	various					
<b>Item type</b>	Commercial streetscapes and shop-top housing					
<b>Item group</b>						
<b>Item category</b>	Federation and Inter-War speculative commercial and residential housing					
<b>Area, Group, or Collection Name</b>						
<b>Street number</b>	Various					
<b>Street name</b>	Bondi Road (between Wellington and Watson streets and Denham Street)					
<b>Suburb/town</b>	Bondi				<b>Postcode</b>	2022
<b>Local Government Area/s</b>	Waverley					
<b>Property description</b>	Speculative subdivision of later 19 <sup>th</sup> century Estates providing suburban freestanding and semi- detached housing lots in streetscapes established by the progressive subdivision of the grounds to large residences Avoca and --- originally constructed facing Bondi Road in the mid to later 19 <sup>th</sup> Century.					
<b>Location - Lat/long</b>	<b>Latitude</b>		<b>Longitude</b>			
<b>Location - AMG (if no street address)</b>	<b>Zone</b>	R3 Low Density Residential	<b>Easting</b>		<b>Northing</b>	
<b>Owner</b>	Private					
<b>Current use</b>	Shops, commercial and residential					
<b>Former Use</b>	Private Estates					
<b>Statement of significance</b>	The current streetscape of Bondi Road demonstrates the historic subdivision of early gentry estates in response to improved tram transport and speculative land booms of the period 1881-1939, producing a setting of Federation and Inter-War styles cohesive in scale, massing and alignment. Later replacement of remaining early					



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	structures has eroded the cohesion of the setting which remains notable for its detail, extended groupings, and demonstration of the early- to mid-20 <sup>th</sup> century history of building types and the society of Waverley.		
<b>Level of Significance</b>	National <input type="checkbox"/>	State <input type="checkbox"/>	Local <input checked="" type="checkbox"/>

DESCRIPTION						
<b>Designer</b>	Not Known					
<b>Builder/ maker</b>	Not Known					
<b>Physical Description</b>	The buildings on Bondi Road form groups of Victorian, Federation and Inter-War architecture.					
<b>Physical condition and Archaeological potential</b>	The potential for uncovering archaeological remnants should be considered when carrying out any works.					
<b>Construction years</b>	<b>Start year</b>		<b>Finish year</b>		<b>Circa</b>	1893-1894
<b>Modifications and dates</b>						

HISTORY	
<b>Historical notes</b>	<p><i>Timeline History</i></p> <p>&lt;1789: Land occupied by the Eora people. Most sources name the Gadigal band as the traditional Aboriginal owners.</p> <p>1789: Commencement of the granting of land to free settlers, emancipated convicts and soldiers among the white settler population.</p> <p>1805: At the time of European settlement of the Sydney, indigenous tracks formed links to outposts of the colony. To the east and south-east these included the ridgeline track from Sydney Cove to South Head signal station recorded as a track by 1805 and a road by 1811. Diverging from this at the later location of Bondi Junction</p>





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was the ridgeline route of the Frenchman's Road leading to Coogee and onto the northern shore of Botany Bay.

1831: Secondary roads substantially evolved along easements marking the boundaries of early government grants in Sydney's east. As early as 1831 a site plan of Levy's 1827 Grant on the South Head Road shows an easement for a "Government Road" along the southern boundary the road extending east toward the coast. A crescent planned in association with Levey's Waverley House and provided with the name Waverley Crescent predated the adoption of the name to the overall area.

1834: Commencement of assisted immigration scheme is funded by sales of land as purchase grants. Much of remaining Crown Land about Waverley is surveyed for sale in medium-sized allotments typically of 5 acres Streets purchased by speculators such as R.J. Want, F. Mitchell and C.W. Cole.

1859: Soon after establishment of Waverley Municipality in 1859 the name Waverley Street was applied to the former Government Road leading east to Bondi. Both sides of Waverley Street were initially occupied by generous [nominally 5-acre] purchase grants occupied by Gentry Villas erected in the 1850-60s with views to the ocean and harbour.

1850s-80s: Establishment of large "gentleman's residences" along Bondi Road. These largely incorporate original purchase grants as whole or part of spacious grants. Residences constructed to the south side of Bondi Road included *Avoca*, *Braylesford*, *Boonara*, *Greganhurst*, *Velette*, *Shirley* and *Gaerlock*, with *Castlefield*, *Rockley*, *Branxton* and *Mexheim* to the north side. The sites were typically set behind hedged and screen planting to the Bondi Road frontage.

*Baylesford* was the home of William Baylesford Greaves a surveyor who arrived in Australia in 1852 at the invitation of Sir Thomas Mitchell who he met when Mitchell visited England for the Crystal Palace Exhibition of 1851. First employed as an assistant surveyor in the Bondi District, Baylesford was appointed a licensed surveyor on Mitchell's return from England. Baylesford subsequently worked in the Clarence River area, being appointed Crown Lands Commissioner of that area. Baylesford acquired Newbold Station near Grafton and other properties in Northern NSW before retiring in 1887 to live at *Baylesford* on Bondi Road, residing there until his death on Jan 14, 1925.

1880s: Completion of a steam tram service to Tamarama Aquarium by 1884 combined with the land boom of the 1880s provided opportunity for subdivision of the Gentry Estates and in particular the grounds of villas fronting Bondi Road.



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	<p>1881: Subdivision sales from 1881 had by the end of the boom in 1889 produced small groups of residential terraces, partially screening the original villas, a concentration of small shops about Ocean Street and to the northern side of the street a number of large residences on smaller sites than the original villas.</p> <p>1891: <i>Avoca</i> was recorded as the home of Haviland Reynolds [d 12 Nov 1913], a son of Crimean War veteran Captain Robert Henry Reynolds. Following a sale of house contents at <i>Avoca</i> by Haviland Reynolds on 3 March 1892, the house and immediate acre of land were advertised For Let on 23 April 1892 [SMH], the subsequent occupant being J. F. Jones. Jones and family became long-term residents as a tenant or owner.</p> <p>1890s: Initial subdivision of grounds to the larger residences began in the lead up to Federation when tram services to Bondi Beach also provided opportunity for speculative housing along the tram route. The <i>Avoca Estate Bondi</i> was offered for sale on 4 Dec 1897. <i>Avoca Street</i>, <i>Frederick Parade</i> and <i>Tasman Street</i> were created to access subdivision.</p> <p>1899: On 11 Feb. 1899 <i>Avoca</i> was advertised for sale due to the owner departing for Europe. The house was marketed as of 5 bedrooms together with 8 acres, a coach house, stables etc. [SMH 11 Feb 1899]</p> <p>1900: Substantial change to Bondi Road occurred at the beginning of the 20<sup>th</sup> century, prompted by the beginnings of aquatic recreation at Bondi Beach and further improvement to transport as tram services to Bondi extended to the beach in 1894 and were electrified in 1901. To service the growing numbers of Federation residences to both sides of Bondi Road, groups of speculative "shop-top" housing were erected along both sides of Bondi Road, these being concentrated at tram stops. Earlier terrace rows were also given a new frontage in Federation style extending out to the street boundary.</p> <p>1900-1902: Further auction sales of the <i>Avoca Estate</i> followed realignment and changes to street names. The east- west dogleg in <i>Avoca Street</i> initially named <i>Frederick Parade</i> was by 1902 renamed <i>Avoca Street East</i> and by 1913 again renamed <i>Philip Street</i>.</p> <p>1905: Both sides of Bondi Road were substantially developed, the streetscape distinctly asymmetrical. Beyond the retail grouping about Ocean Street, the north side was predominantly residential, combining early and later Victorian grand residences with single-storey freestanding and attached Federation housing. To the south side was a more consistent street frontage of retail /shop-top housing, with varied single- and two-storey post-supported verandas over the footpath. To both</p>
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	<p>sides early villas remained with reduced frontages largely screened by mature planting and setback from the street frontage.</p> <p>1925: After the death of Captain William Greaves of <i>Baylesford</i> in 1925, the Baylesford Estate was subdivided for sale into 23 lots on 13 June 1925. Subsequent residential construction to the eastern side of Avoca Street and was substantially in Inter-War bungalow styles.</p> <p>1919-1939: The subsequent Inter-War period saw the emergence and dominance of a new building type, the residential flat building. It was employed extensively. The beginnings of residential flats at Waverley were focused on tourist accommodation above tea rooms at Bondi Beach. The emergence of the building type as permanent residences was a distinctive feature of Inter-War development along Bondi Road, the scale and massing related to the existing scale of buildings to the northern side of Bondi Road and the street alignment of 'shop-top' housing. A key element in this evolution was the dental business/residence at the corner of Bondi Road and Flood Street, designed by the architect Roscoe Collins, an innovator in residential flat building in Sydney of the early 1900s.</p> <p>Despite the Great Depression of 1929-1934, the momentum of construction continued unabated until the outbreak of World War II. It established a setting of brick and tile, employed in the varied Revival styles of the Inter-War years, moving toward the beginnings of Modern architecture evident in the Functionalist designs of the late 1930s.</p>
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## THEMES

<b>National historical theme</b>	<p>Developing Australia's Cultural Life (Domestic life, social Institutions and creative endeavour).</p> <p><i>Developing local and national economies (Science).</i></p>
<b>State historical theme</b>	Creative Endeavour- Exemplar of an architectural style.

## APPLICATION OF CRITERIA

<b>Historical significance</b> SHR criteria (a)	<p>The shop-top groups on Bondi Road have historical, social and aesthetic significance as an example of the historic subdivision of early gentry estates in response to improved tram transport and speculative land booms of the period 1881-1939, producing a setting of Federation and Inter-War styles cohesive in scale, massing and alignment.</p>
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<b>Historical association significance</b> SHR criteria (b)	
<b>Aesthetic significance</b> SHR criteria (c)	Later replacement of remaining early structures of the shop-top groups on Bondi Road has eroded the cohesion of the setting, but it remains notable for its detail, extended groupings, and demonstration of the early- to mid-20 <sup>th</sup> century history of building types and the society of Waverley.
<b>Social significance</b> SHR criteria (d)	The Bondi Road are notable for their demonstration of the early- to mid-20 <sup>th</sup> century history of building types and the society of Waverley.
<b>Technical/Research significance</b> SHR criteria (e)	The subject buildings contains technical information relevant to the transitional Victorian / Federation / Inter-War styles of architecture.
<b>Rarity</b> SHR criteria (f)	
<b>Representativeness</b> SHR criteria (g)	
<b>Integrity</b>	The historic streetscape of Bondi Road contains later replacement buildings that have eroded the cohesion of the setting, however the setting remains notable for its detail and extended groupings.

## HERITAGE LISTINGS

<b>Heritage listing/s</b>	Waverley LEP 2012
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## INFORMATION SOURCES

Type	Author/Client	Title	Year	Repository



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## RECOMMENDATIONS

<b>Recommendations</b>	<ol style="list-style-type: none"> <li>Any additions and alterations shall be in accordance with the relevant planning controls.</li> <li>All existing construction prior to 1950 in the Conservation Area should be considered contributory to the Conservation Area.</li> <li>Contributory buildings and their original features should be retained. Any unsympathetic elements should be removed and original features restored.</li> <li>Neutral buildings may be replaced or altered, so that the property is made compatible with the significance of the area.</li> <li>Intrusive buildings should be replaced or altered so that the property is made compatible with the significance of the area.</li> <li>The pattern of shopfronts should be retained.</li> <li>Historic building forms should remain clearly identifiable within any redevelopment and/or extension of existing structures.</li> <li>The original built form should remain as the dominant aspect of any new works to contributory buildings.</li> <li>Original shopfronts including openings and related detailing and signage locations should be retained and restored in any works to existing contributory buildings.</li> <li>The pattern of small service lanes and walkways should remain.</li> <li>Original external finishes should be retained and reinstated. Original face brick should not be rendered and/or painted. Slate and terra cotta tiling to roofs should be maintained and matched in new works to the core building.</li> <li>A heritage impact statement should be prepared for proposed work to all contributory elements in the Conservation Area and to sites adjacent to or in the visual curtilage of contributory fabric.</li> </ol>
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## SOURCE OF THIS INFORMATION

<b>Name of study or report</b>	Various	<b>Year of study or report</b>	
<b>Item number in study or report</b>	N/A		





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<b>Author of study or report</b>	Colin Brady		
<b>Inspected by</b>			
<b>NSW Heritage Manual guidelines used?</b>		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
<b>This form completed by</b>		<b>Date</b>	9/2/20



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## IMAGES

<b>Image caption</b>	Bondi Rd c1908 with Penkivil Rd at left and large residence <i>Branxton</i> beyond. The irregular street frontage of the northern side contrasts with the consistent line of largely new Federation shop top housing to the southern side.				
<b>Image year</b>	1908	<b>Image by</b>	Waverley Library	<b>Image copyright holder</b>	





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## IMAGES

Image caption	Bondi Road 1908 looking west with Watson Street at left and Wellington Street at right.				
Image year	1908	Image by	Waverley Library	Image copyright holder	





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## IMAGES

<b>Image caption</b>	Bondi Road gentry estates <i>Braylesford</i> (left) and <i>Merxheim</i> (right).				
<b>Image year</b>	1870s	<b>Image by</b>	Waverley Library	<b>Image copyright holder</b>	Waverley Library





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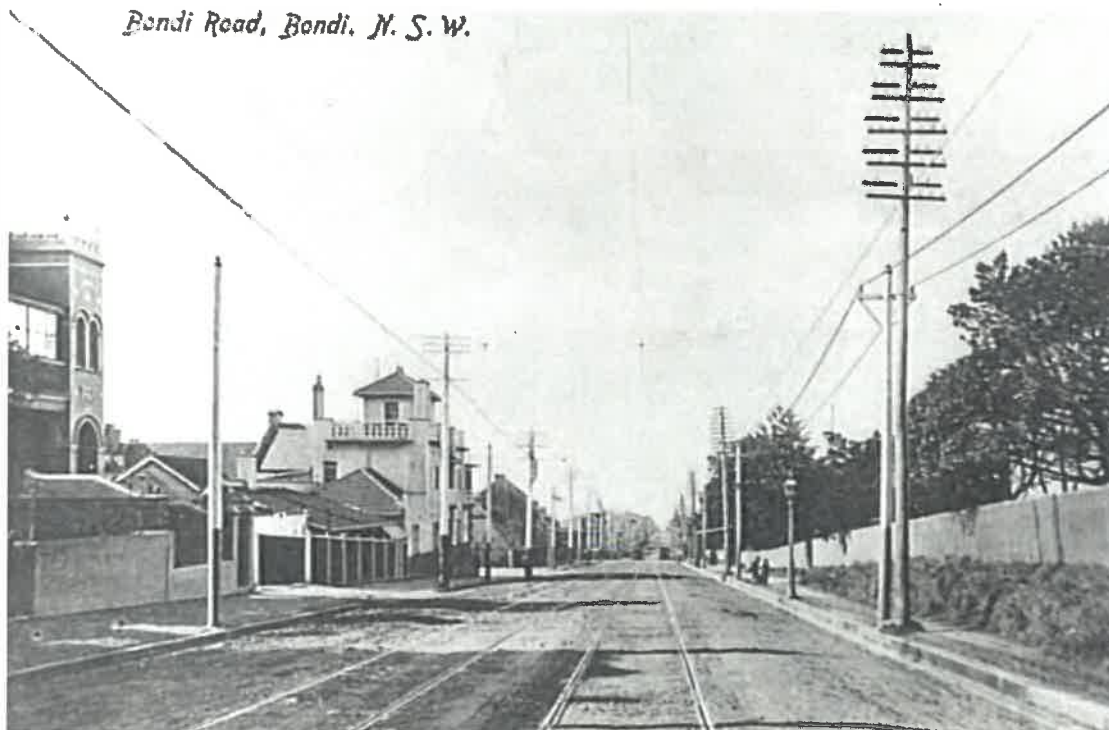
DRAFT

## IMAGES

Image caption	Bondi Road looking east c 1910. The light-coloured building in the middle distance was designed by Architect Roscoe Collins a pioneer in residential flat design in Australia of the early 20 <sup>th</sup> Century. Beyond the Roscoe Collins building are terrace-form residences set back from the street frontage. A number of these remain with later two-storey shopfronts constructed out to the street alignment. During the Inter- War period large residential sites such as that of Branxton at the corner of Penkivil Street and Bondi Road provided the location of three-storey residential flat buildings.				
Image year	1910	Image by		Image copyright holder	

Bondi Road, Bondi, N.S.W.

*Bondi Road, Bondi. N. S. W.*







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## IMAGES

<b>Image caption</b>	<i>Branxton</i> , at the corner of Bondi Road and Penkivil St, the home of local butcher Sydney Elliot.				
<b>Image year</b>	1910	<b>Image by</b>	Waverley Library	<b>Image copyright holder</b>	





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## IMAGES

Image caption	1943 aerial image showing three storey Inter- War flat building [arrowed] replacing Branxton.				
Image year	1943	Image by	Six Maps	Image copyright holder	





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<b>Image caption</b>	1943 Aerial image showing Inter-War flats at the corner of Castlefield Street occupying lands previously part of the grounds to <i>Castlefield</i> arrowed within surrounds of Federation housing.				
<b>Image year</b>	1943	<b>Image by</b>	Six Maps	<b>Image copyright holder</b>	



Castlefield House

Inter War flats



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<b>Image caption</b>	Bondi Road looking east with the grounds of <i>Castlefield</i> screened by mature planting prior to subdivision.				
<b>Image year</b>	1920s	<b>Image by</b>	Waverley Library	<b>Image copyright holder</b>	



## Amended – Evans Street-Yanko Estate HCA





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ITEM DETAILS						
Name of Item	Yanko-Lugar Brae Urban Conservation Area, Bronte (Formerly Evans St UCA)					
Other Name/s Former Name/s	Various					
Item type	Residential housing					
Item group						
Item category	Victorian, Federation and Inter War speculative housing and mixed use buildings					
Area, Group, or Collection Name						
Street number	Various					
Street name	Macpherson St, Chesterfield Lane, Yanko Ave, Gardyne St, Bronte Rd, Lugar Brae Avenue, Lugar St, Brae St, Evans St, Rose St, Violet St, Albert St					
Suburb/town	Bronte				Postcode	2024
Local Government Area/s	Waverley					
Property description	<p>The Yanko-Lugar Brae UCA's streetscapes retain the character of the speculative subdivision of three mid-19<sup>th</sup> century Marine Villa estates that created predominantly Victorian and Federation freestanding and semi-detached suburban housing lots. The streetscapes grew with the progressive land sales of the grounds of large residences including Yanko, Lugar Brae and Bleak House, which were originally constructed in large grounds along ridgelines with coastal views to Bronte Beach and the wider coast in the early 19<sup>th</sup> century. Consistent construction in the Victorian period created streetscapes of single and double-storey Victorian cottages and villas, constructed in rendered masonry with high-pitched roof forms, featuring an array of street-facing gables and decorative finials, canted window bays, prominent chimneys with mounded render cappings and iron palisade fencing. The heritage streetscapes are supported by mature street plantings.</p>					
Location - Lat/long	Latitude		Longitude			
Location - AMG (if no street address)	Zone	R2a Low Density Residential	Easting		Northing	
Owner	Private					



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<b>Current use</b>	Private Residential, shops and shop-top company title residential buildings		
<b>Former Use</b>	Private Residences		
<b>Statement of significance</b>	<p>The extended Yanko-Lugar Brae Heritage Conservation Area demonstrates Waverley's early Marine Villa history at Bronte, which can still be traced in the extant subdivision patterns, street names and built form. Early colonial land grants and purchases saw the establishment of large marine villa estates with coastal views including Yanco (later Yanko), Lugar Brae and Bleak House (and the nearby Bronte House estate).</p> <p>Later sub-division of the estates was emblematic of and served to shape the set-out of streets and built pattern within the HCA and provided a legacy of house (Lugar St, Brae St, Lugar Brae Ave, Yanko Ave) and family names (Macpherson St, Evans St). It demonstrates the close settlement of Bronte during the late 19th century as it evolved during the break-up and subdivision of the established gentlemen's estates. The Conservation area contains notable examples of the evolution of housing in the 19th and 20th century Waverley from the mid-Victorian to the Inter War years. They demonstrate the evolving nature of Waverley during the land boom of 1875-1889 and the change from a district of rural worker housing and isolated marine villas to a setting of close subdivisions driven by improving tram transport links.</p> <p>The area provides notable consistent streetscapes of Victorian cottages and villas influenced by the Victorian Italianate and Gothic and Federation styles. The combination of architectural detailing reflects the influence of the Victorian Romantic and Federation eras that were essentially about confidence, material progress and prosperity.</p> <p>The residences demonstrate the forms, details and streetscapes that resulted from extension of tram services in the late 19th Century. The resulting increase in property values led to higher density subdivisions utilising housing types that evolved from and improving the amenity of late Victorian era housing in Waverley.</p> <p>The conservation area is of local historic, architectural and aesthetic significance.</p>		
<b>Level of Significance</b>	National <input type="checkbox"/>	State <input type="checkbox"/>	Local <input checked="" type="checkbox"/>

DESCRIPTION	
<b>Designer</b>	Various
<b>Builder/ maker</b>	Various
<b>Physical Description</b>	The Yanko-Lugar Brae Heritage Conservation Area represents an extension of the existing Evans Street Heritage Conservation Area (C6) at Bronte. The extension



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	<p>expands the area to Leichhardt St to the west, Yanko Ave to the east, Gardyne St to the north and Macpherson St and Chesterfield Lane to the south.</p> <p>Evans St Heritage Conservation Area (C6) is a significant streetscape of early Victorian cottages and villas influenced by the Victorian Italianate and Gothic styles. It includes a grand Victorian Italianate villa "Elsmore", built in 1879, as well as Victorian, Federation Queen and Anne and Arts and Crafts styles. The Inter-war retail and residential strip that emerged on Macpherson St reflected the improving tram line that drove development of the area.</p>					
<b>Physical condition and Archaeological potential</b>	The potential for uncovering archaeological remnants should be considered when carrying out any works.					
<b>Construction years</b>	<b>Start year</b>		<b>Finish year</b>		<b>Circa</b>	1893-1894
<b>Modifications and dates</b>						

## HISTORY

<b>Historical notes</b>	<p><i>Timeline History</i></p> <p>&lt;1789: Land occupied by the Eora people. Most sources name the Gadigal band as the traditional Aboriginal owners.</p> <p>1789: Commencement of the granting of land to free settlers, emancipated convicts and soldiers among the white settler population.</p> <p>1803 Early form of road constructed by Governor John Hunter to link the colony with the signal station at South Head along an existing Aboriginal track on the ridgeline. What is now known as Bronte Road originally followed the route of a walking track considered to date from pre-European settlement.</p> <p>1822 Access to the Bronte area was also enabled by the road built to Macquarie's watchtower erected at La Perouse in 1822. The grave at La Perouse of the French Chaplain, Father Receiver, a member of French explorer La Perouse's 1788 expedition, was acknowledged in the early naming of sections of the road as the Frenchman's Road. At Charing Cross, the road later bore the names Coogee Road, Old Coogee Road, Cowper Street and now Bronte Road.</p>
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	<p>1830s Commencement of assisted immigration scheme is funded by sales of land as purchase grants, with free grants ceasing in 1831. Much of remaining Crown Land about Waverley is surveyed for sale in medium-sized allotments typically of 5 acres.</p> <p>1832 Road to Coogee constructed along the north-south ridgeline through Charing Cross. Road connecting with the 1803 road linking Sydney town to South Head. Ocean views and improving roads attracted wealthy migrants to the area to build large homes away from of the growing and polluted city.</p> <p>1836 Mortimer Lewis, New South Wales Colonial Architect, becomes the first person to purchase land at Nelson Bay, later known as Bronte. Lewis, who lived at Watson's Bay, expanded his holding at Bronte from 12 to 42 acres and laid the foundations for a large house, but was forced to sell in the financial recession of the 1840s.</p> <p>1843 Lewis's 17-hectare (42-acre) property is bought for 420 pounds by English barrister Robert Lowe (later Viscount Sherbrooke) and his wife Georgiana, who arrived in Sydney in 1842. They completed the building in 1845-46. It is illustrated in early watercolour paintings by Georgiana Lowe (held in the State Library), shown as an early colonial Gothic Revival building much as it is today, with gardens forming an important part of the outdoor pleasures of colonial villa life.</p> <p>1840s Simple cottages constructed along Bronte Rd.</p> <p>1850s Development slowed in Sydney by the gold rush years. Charing Cross is consolidated as a village with the introduction of horse-drawn omnibus services.</p> <p>1850s-80s Establishment of large gentleman's residences at Bronte on original purchase grants. Residences constructed in the area included Yanco, Bleak House and Lugar Brae for city professionals and merchant classes who acquired wealth via the prosperity brought about by gold discoveries. Development is confined to elevated, airy plateau land with views to the coast, harbour and Botany Bay.</p> <p>1853 Dugald Macpherson (1813-1854) purchased 5 acres and 7 perches of Crown land west of Lugar St, bounded by what is now Macpherson St, Leichhardt St and Lugar St. Macpherson worked for the Colonial Treasury, holding the position of cashier of the Receiving Room Iron Chest. He died soon after.</p> <p>1856 <i>Bleak House</i> built on land to the east of Lugar St, with the residence facing Nelson Rd (now Macpherson St). The grounds extended down the north-facing slope of the Bronte Gully to Gipps St. The house was names after the serialised novel by Charles Dickens published in 20 episodes between March 1852 and September 1853. One of the earliest residents and most likely original owner was the wholesale grocer and wine and spirit merchant Josiah Harper, whose wife gave birth to a son at Bleak</p>
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House in June 1864. Harper was replaced at Bleak House by C.M. Evans, who lived there until 1874. Nearby Evans St, which was on the eastern boundary of the former Bleak House estate, takes its name from C.M Evans.

1856 Land grant to Charles Simmons on what is now Evans St.

1858 Macpherson's widow, Chirsty Anne Macpherson, conveyed the Lugar Brae grant to John Taylor (1807-1863) for 1475 pounds.

1859 Taylor erects a residence, named *Lugar Brae*, overlooking Bronte, with the rear facing Leichhardt St. *Lugar Brae* had extensive grounds encompassing gardens and lawns.

1859 Charles Simmons begins building *Yanko House*. Simons represented the Nelson ward on Waverley Council.

1863 Taylor, who was associated with the mercantile and shipping firm Gilchrist, Watts and Co Ltd and as a manager of the Commercial Bank Ltd, died at home.

1866 *Yanco* (later *Yanko*) is built with a distinctive tower overlooking Nelson Bay (Bronte Beach). The mansion started as a modest single-storey villa of mid-Victorian style with extensive grounds. Successive stages of stone additions were financed by land sales, creating Bronte's early street grid.

1876 *Lugar Brae* remained tenanted until the executors and trustees of Taylor's will conveyed the property to merchant Alexander Hamilton Maxwell, who was married (in 1872) to Taylor's third daughter Eliza Catherine. Maxwell was an alderman (Nelson ward) of Waverley Council from 1877-78. By this time his estate was 13 acres in size, made up of MacPherson's grant plus the grant of 7 acres, 3 roods and 36 perches made to Robert Webster, who had built the *Bleak House* estate.

1879 C.M. Evans dies and Evans St is constructed as part of the *Bleak House* subdivision, begun by the trustees of Evans's estate. Extensive subdivision of the Gipps St frontages began in November 1879, with further land sales in December 1889, with frontages to MacPherson and Rose streets. Sales included sites to the western side of Evans St, which provided the beginnings of a streetscape of substantial Victorian Italianate residences in Evans St.

April 1880 Maxwell sells nine acres of the *Lugar Brae* estate as well as Charles Mottram Evans's former grant known as *Ocean View* (6 acres, 12 perches) to William Joyce Hobbs (1843-1906 – a chemist and shop owner in Newtown) for 5000 pounds. The land, collectively, was bounded by today's Leichhardt St, Macpherson St, Evans





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	<p>St and Bronte Rd. <i>Lugar Brae</i> House was retained within a large garden setting, but was later subdivided (today's No 2-20 Leichhardt St) and <i>Lugar Brae</i> Ave was built.</p> <p>August 1880 Hobbs begins the residential subdivision of <i>Lugar Brae</i> and <i>Ocean View</i> grants as the <i>Lugar Brae</i> estate. It resulted in the creation of <i>Lugar St</i>, <i>Brae St</i> and <i>Rose St</i>. Part of the <i>Lugar Brae</i> estate was purchased for a Wesleyan Methodist church (No 2a Leichhardt St), with the foundation stone laid in July 1881.</p> <p>1881 The sale was successful and coincided with substantial government service improvements including water supply and the extension of steam tram services from the city via Bondi to a terminus at Charing Cross.</p> <p>1880s Initial subdivision of large estates' grounds begins in meet the growing demand for land as a land speculation frenzy begins in the lead up to Federation. Reasons include a maturing economy, growing bank willingness to lend for development and to prospective owners.</p> <p>1880 Tram services to Bronte from the city also provided opportunity for speculative housing along the tram route. Tramline extended to Waverley Cemetery in 1890.</p> <p>1880 John Taylor's <i>Lugar Brae</i> estate is subdivided by new owner William Joyce Hobbs. Speculative development of the area begins, including by builder and local alderman Frank Guest (1843-1913). An early resident of newly formed <i>Lugar St</i> (at <i>Roslyn</i>, No 7) was David Ross (1861-1926) monumental stonemason and partner in the company Ross &amp; Bowman, which worked quarries at Waverley and Coogee</p> <p>1882 <i>Yanko</i> estate is sub-divided, creating <i>Virgil St</i> (now <i>Yanko Avenue</i>).</p> <p>1881 David John Cooper subdivides Lots 2, 3, 4, 5 and 6. The first 4 lots purchased by W Griffith. Lot 6 sold to H. Bebb, the W. Griffith (1890) then W. McMillan (1890).</p> <p>1882 <i>Bronte House</i> and estate offered for sale as a sub-division. All that remain of the mansion is a two-storey heritage-listed sandstone coachhouse / stables (now within the grounds on 34a <i>Yank Ave</i>).</p> <p>1886 Further sales of the <i>Bleak House</i> estate in March included lots facing <i>Nelson Rd</i> (<i>Macpherson St</i>) to both sides of <i>Bleak House</i> and lots along <i>Brae St</i>, newly created to run east-west across the estate to enable subdivision of land at the centre of the estate.</p> <p>1890 Charing Cross tram line extended along <i>Macpherson St</i> to <i>St Thomas St</i>.</p>
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	<p>1891 Street configurations finalised in Evans St and Violet St, with Waverley Council and prominent land owner Edwin Fieldhouse jointly paying for kerbs and guttering. Edwin Fieldhouse and his brother, William, jointly had substantial land holdings and dairy farms in Sydney and Campbelltown, including the historic Glenalvon house and grounds there, where Edwin and family resided until 1891.</p> <p>1892 "<i>Elsmore</i>" (now 19 Evans St) first appears in Sands Directory, occupied by Edwin Fieldhouse. He purchased the land from William McMillan, who had large land holdings in the area. Fieldhouse built the grand late-Victorian gentleman's residence in the Italianate style with landscaped gardens and lived there until 1911.</p> <p>1894 The funeral of Mrs Emily Cummins was recorded, on June 17, from Bleak House to Waverley Cemetery. The house was again mentioned in newspapers in November 1894.</p> <p>1900 &amp; 1902 Further Auction sales of the Estate followed realignment and changes to street names</p> <p>1902 Tramway converted to electric service.</p> <p>1910 William Fieldhouse died and Edwin dissolves the assets they jointly owned. Edwin vacates <i>Elsmore</i> at Bronte and, in June, advertised the estate for sale. An advertisement in the SMH June 24 1911, contains a detailed description of the property "overlooking the ocean, Bronte, Little Coogee and the coastline ... [with] elegant double drawing room, dining, morning, breakfast, library and ballrooms ... mostly fitted with marble mantels, electric bells, richly corniced ceilings".</p> <p>1911 Electric tram reached Bronte Beach via Macpherson St through the Bronte tram cutting, which encouraged development of the area. Houses and shops built along the tram route</p> <p>1913 <i>Elsmore</i> sale did not proceed, and estate was let to Robert Thompson until 1916, when the title was transferred to Fieldhouse's third son Richmond Llewellyn and the owner moved to Randwick.</p> <p>1920 Richmond subdivided a small portion of the <i>Elsmore</i> estate fronting Evans St.</p> <p>1921 Remained of the <i>Elsmore</i> estate sold to M. E. McDonald, who leased the estate back to the Fieldhouse family until 1923.</p> <p>1924 M. E. McDonald leased <i>Elsmore</i> to Mrs Eva Arnold as a hostel for women until she died in 1932.</p>
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	<p>1927 <i>Lugar Brae House</i> demolished.</p> <p>1932 <i>Elsmore</i> sold by bank to E. J. Egan, who owned it until 1941 when it was sold to Lillian Ross West for 3000 pounds.</p> <p>1956 <i>Elsmore</i> turned into the Westhaven hospital and, in 1956, Ellsmore Convalescent hospital.</p> <p>1966 Elsmore returns to private family ownership</p>
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THEMES	
<b>National historical theme</b>	<p>Developing Australia's Cultural Life (Domestic life, social Institutions and creative endeavour, leisure).</p> <p>Developing local and national economies (science).</p> <p>Building settlements, towns and cities</p>
<b>State historical theme</b>	<p>Creative Endeavour- Exemplar of an architectural style.</p> <p>Persons- Activities of, and associations with, identifiable individuals.</p> <p>Towns, suburbs and villages</p> <p>Land tenure</p> <p>Domestic life</p>

APPLICATION OF CRITERIA	
<b>Historical significance</b> SHR criteria (a)	<p>The residential group has historical, social and aesthetic significance as an example of the close settlement of Bronte during the late 19th Century responding to the break-up and subdivision of the established grounds to gentlemen's estates.</p> <p>Records indicate the heritage conservation area once comprised grand marine villa estates including Yanko, Lugar Brae, Bleak House and Ocean View, built on grant land which were not subdivided until the 1880s.</p> <p>The area includes a rare example in Waverley of grand Victorian Italianate style residential architecture within the existing Evans St heritage conservation zone. It now sits among a mix of other residences and buildings from a range of architectural periods from the late nineteenth century, Federation period up to the present day.</p>



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	<p>The subdivision and residential development of the marine villa estates demonstrates the outcomes of improved tram transport; the economic boom of the late Victorian and Federation years.</p> <p>The Conservation area contains notable examples of the evolution of housing in the 19<sup>th</sup> and 20<sup>th</sup> century Waverley from the mid-Victorian to the Inter War years. They demonstrate the evolving nature of Waverley during the land boom of 1875-1889 and the change from a district of rural worker housing and isolated marine villas to a setting of close subdivisions.</p>
<p><b>Historical association significance</b> SHR criteria (b)</p>	<p>The extended Yanko-Lugar Brae Heritage Conservation Area is associated with the early grant landholders, including the MacPherson family, who constructed substantial colonial marine villas on sites chosen for their coastal views and access to transport links. Later sub-division of the estates are emblematic of and served to shape the set-out of streets and built pattern within the HCA and provided a legacy of house (Lugar St, Brae St, Lugar Brae Ave, Yanko Ave) and family names (Macpherson St, Evans St).</p> <p>The Conservation Area was home to Peter Dodds McCormick (1834-1960), the composer of the national anthem, <i>Advance Australia Fair</i>. He lived at Clydebank, 5 Virgil St (now 20 Yanko Ave) for about 10 years before moving to 103 Birrell St, Waverley.</p> <p>XX Evans St, now demolished, was the childhood home of the current Prime Minister, Scott Morrison.</p> <p>The writer Miles Franklin, author of <i>My Brilliant Career</i>, lived at 34 Brae St (now demolished) in 1903. She worked as a live-in maid, aged 24, to document the powerless position of young women working in domestic service.</p> <p>Mei Quong Tart (1850-1903), a Chinese-born tea and silk merchant, restaurateur, philanthropist, anti-opium activist and prominent figure of 19<sup>th</sup> century Sydney, lived at <i>Huntingtowers</i> in Rose St.</p>
<p><b>Aesthetic significance</b> SHR criteria (c)</p>	<p>The extended Yanko-Lugar Brae Heritage Conservation Area's contains a significant number of houses (listed and unlisted) dating from the late Victorian and Federation eras associated with the break-up of marine villa estates. They demonstrate the aesthetic preference of the late 19<sup>th</sup> century for Victorian Gothic and Italianate styles and the standard of workmanship in the area of decorative carpentry associated with the style of the 1880s.</p> <p>The area includes <i>Elsmore</i> (19 Evans St), a modified example of a grand late-Victorian gentleman's residence in the Italianate style.</p>



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	<p>Also evident within the area are multiple examples of Victorian Classical style terrace houses dating from c.1893-1894 and Victorian Gothic style cottages; Federation Free style freestanding and semi-detached houses; Federation Queen Anne style semi-detached and freestanding houses; and Inter-War apartment buildings.</p> <p>The area's streetscapes remain consistent with their period of development. They retain a number of key decorative features of their style, including: rendered-masonry asymmetrical street facade; terracotta tiled roof with rendered masonry chimney and terracotta chimney pots; classical motifs features; double-hung windows; front doors with upper panels glazed and a glazed fanlight and side lights; projecting bays on ground floor; and masonry piers and wrought iron palisade front fence with gates.</p>
<b>Social significance</b> SHR criteria (d)	There are no known special associations with any community or cultural group for social, cultural or spiritual reasons. Accordingly, the subject item does not attain the requisite standard for social significance.
<b>Technical/ Research significance</b> SHR criteria (e)	<p>The Heritage Conservation Area provides a substantial and comprehensive demonstration of housing types and changes to housing of the late 19<sup>th</sup> and early 20<sup>th</sup> century.</p> <p>The area contains technical information relevant to the transition of architectural styles from Victorian to Federation styles.</p>
<b>Rarity</b> SHR criteria (f)	<p>Dwellings built in the Victorian and Federation architectural styles are not currently rare in Sydney and there are numerous examples in the Waverley local government area. However, the area contains a high number of listed properties for the area's size.</p> <p>Closely aligned and consolidated marine villa estates subdivided in close succession have created consistent streetscapes with Victorian and Federation housing with streets that preserve the names of the estates. The range of building styles and the comprehensive chronology of the aesthetic style has few peers in NSW. The quality of the built form and of the setting, the aesthetic character and detail of the residences and their ability to demonstrate the historic evolution of the Bronte estates during the 1880s reinforce their rarity.</p> <p>An example of this are Nos 9 and 11 Lugar St, which are unusual examples of late Victorian Gothic style houses that retain much of their primary form and detail, with external gable form that makes them prominent in the street. The houses are distinctive, particularly as a pair, and represent an unusual housing style for the period in the area.</p>
<b>Representativeness</b> SHR criteria (g)	<p>The dwellings within the Heritage Conservation area are representative of the Victorian and Federation styles of architecture with early-era detailing still present.</p> <p>The consistent streetscapes are representative of early subdivision of marine villa estates in close proximity, built within a short period of time.</p>





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<b>Integrity</b>	The aesthetic significance of the overall Heritage Conservation Area setting retains the predominance of construction and building types of the period 1880- 1940, this being emphasised by consistency of materials and the presence of varied architectural styles in substantial groupings.
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## HERITAGE LISTINGS

<b>Heritage listing/s</b>	Waverley Local Environment Plan 2012, Schedule 5 Conservation Area C6
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## INFORMATION SOURCES

Type	Author/Client	Title	Year	Repository
Research	Colin Brady	Evans St Urban Conservation Area State Heritage Inventory Form	2007	Waverley Council
Heritage Study	Ines Meyer and Colin Brady	Waverley Heritage Assessment	2007	Waverley Council
Heritage Study	Perumal Murphy	Waverley Heritage Study	1990	Waverley Council
Biography	Australian Dictionary of Biography			http

## RECOMMENDATIONS

<b>Recommendations</b>	<p>A Statement of Heritage Impact should be prepared to accompany any development application for major works in the Conservation Area. Heritage Exemption Certificates should be applied for in the case of minor works to buildings.</p> <p>Any additions and alterations shall be in accordance with the relevant planning controls.</p> <p>All new works should maintain the scale, detail and alignment of existing built forms and landscaping relative to the street. New works should be of a secondary nature and generally visually screened from the street.</p> <p>The single-storey Victorian residences should retain existing bulk and height to the street frontage, with any upward addition being restricted to rear areas and/or provided in existing roof voids and projections of roof slopes not facing the street.</p> <p>All roof additions are to retain and enhance the existing traditional roof detailing, in particular chimneys, ridge and barge detailing.</p>
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	Existing traditional iron palisade fencing should be maintained in conjunction with established planting. Vehicle entries and parking should closely follow the established pattern of fencing and any new vehicle entry should be of single width only. Waverley Council's <i>Guide Notes for Inter-War Flat Buildings</i> are to be utilized for residential flat buildings.
--	--

SOURCE OF THIS INFORMATION			
Name of study or report	Various	Year of study or report	2019
Item number in study or report	N/A		
Author of study or report			
Inspected by	Colin Brady and Fleur Mellor		
NSW Heritage Manual guidelines used?		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
This form completed by	Anne McGoverne	Date	16/11/19



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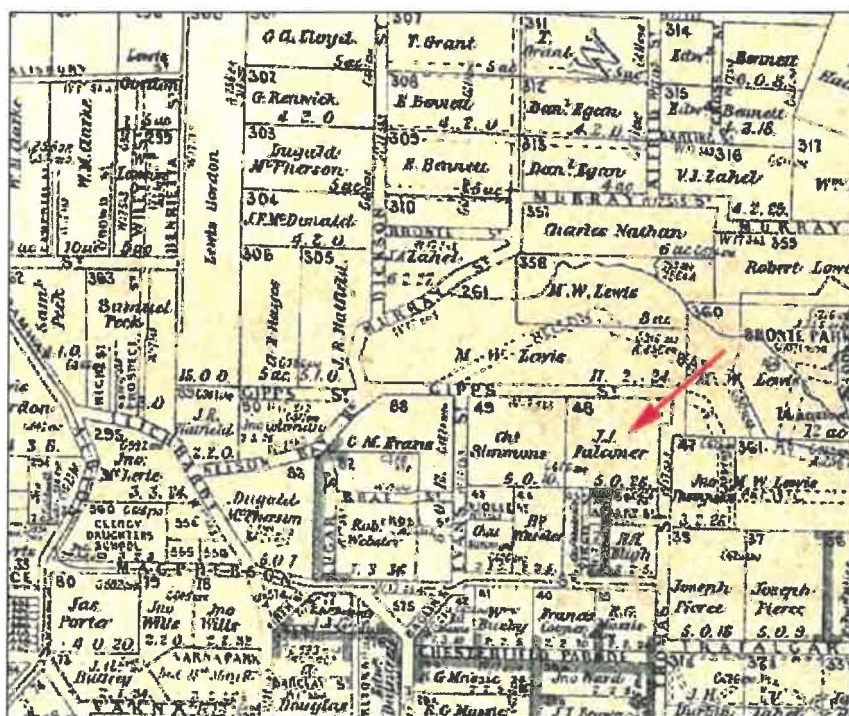
## IMAGES

<b>Image caption</b>	20 Yanko Ave, home to national anthem composer Peter Dodds McCormick				
<b>Image year</b>	2019	<b>Image by</b>		<b>Image copyright holder</b>	<b>Domain</b>





<b>Image caption</b>	1860s Bronte marine villa estate grants				
<b>Image year</b>	1860s	<b>Image by</b>		<b>Image copyright holder</b>	State Library





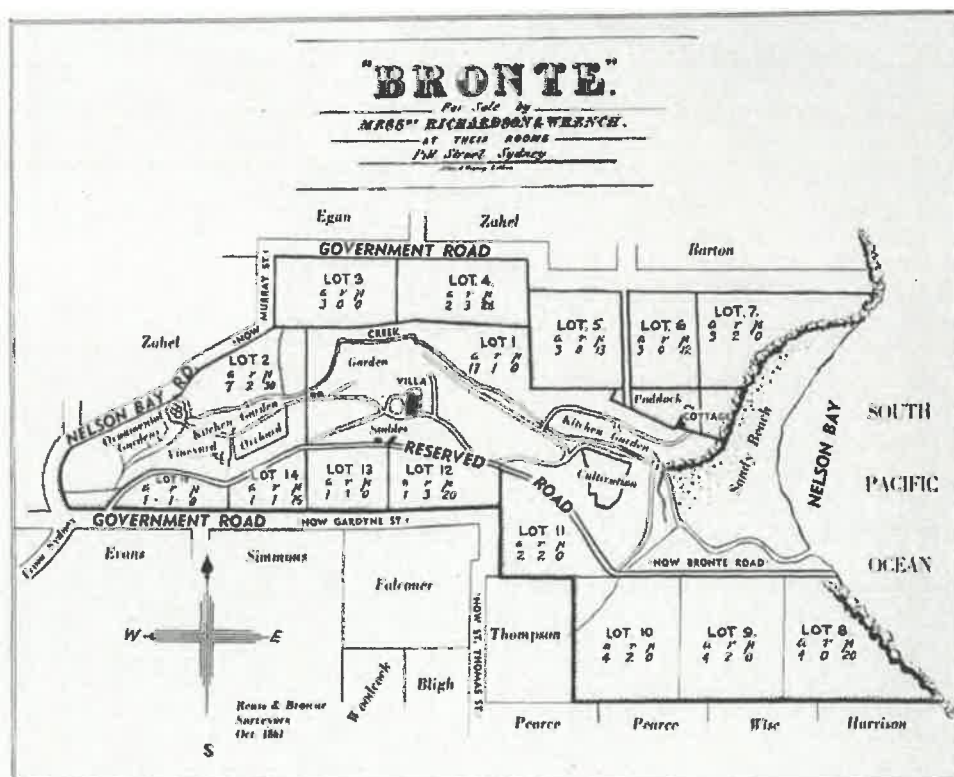
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## IMAGES

Image caption	Attempted sub-division of nearby Bronte House estate, November 11, 1861. Map includes names of early grants in Yanko-Lugar Brae Heritage Conservation Area.				
Image year	1861	Image by		Image copyright holder	National Library of Australia







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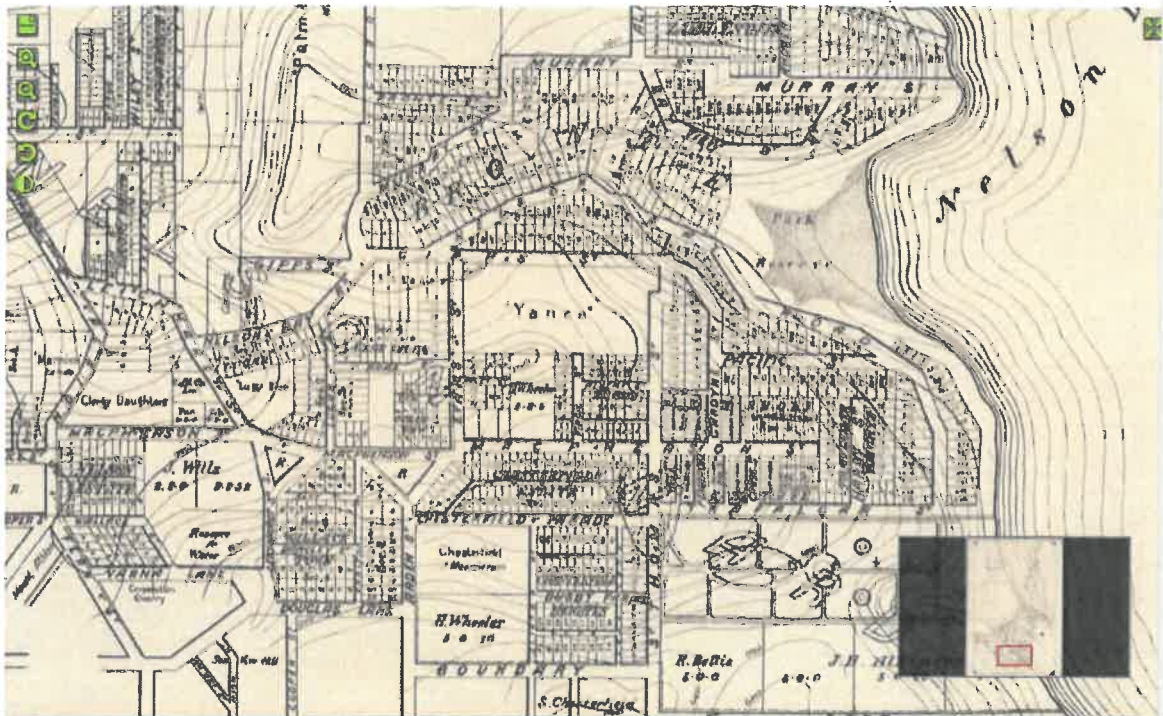
# NSW State Heritage Inventory form

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## IMAGES

Image caption	Marine villa subdivisions plans				
Image year	C1880s	Image by		Image copyright holder	Land and Property Information NSW

nla.obj-2299506



Catalogue of Resources, Image



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## IMAGES

Image caption	Atlas of the Suburbs of Sydney, 1886-88, Higginbotham & Robinson. The subject site was located within the Nelson Ward				
Image year	1886	Image by	National Library of Australia <a href="http://nla.gov.au/nla.map-raa48">http://nla.gov.au/nla.map-raa48</a>	Image copyright holder	National Library of Australia





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## IMAGES

<b>Image caption</b>	Top left: Yanko House, grand Marine Villa estate, now demolished. Represented in the present-day Bronte street pattern. Top right: 19 Evans St, grand Victorian Italianate gentleman's estate.				
<b>Image year</b>		<b>Image by</b>		<b>Image copyright holder</b>	<b>Domain</b>



SOURCE: DOMAIN.COM.AU







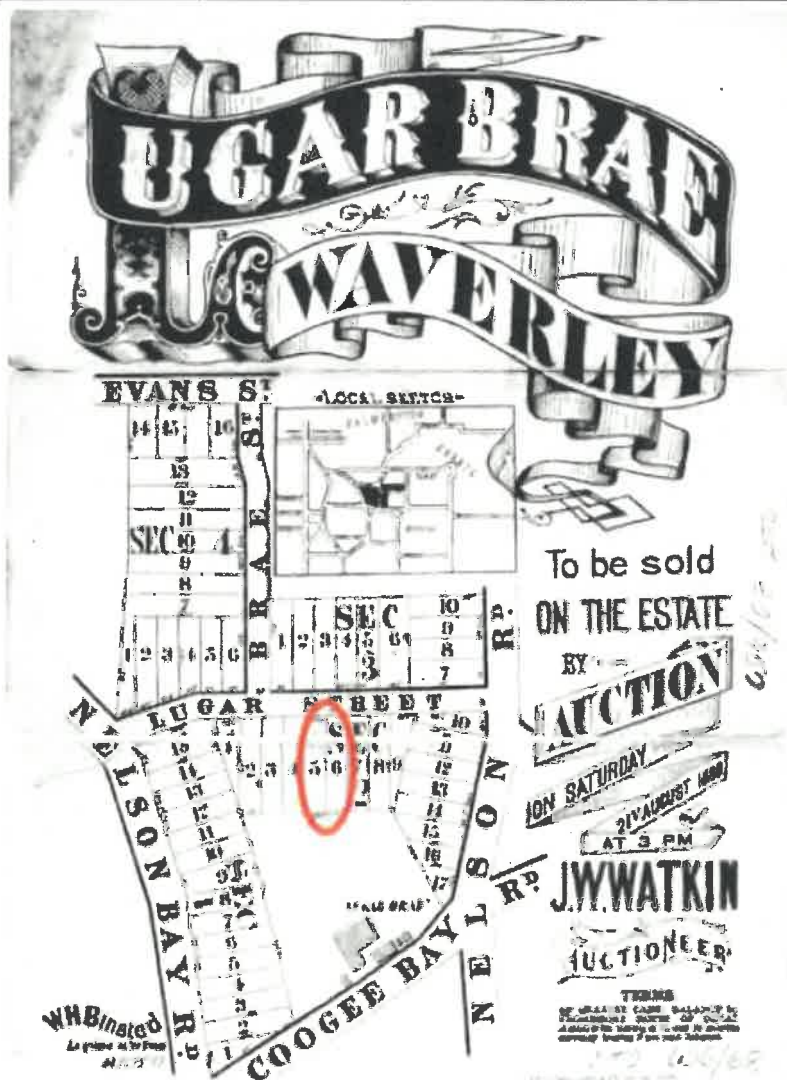
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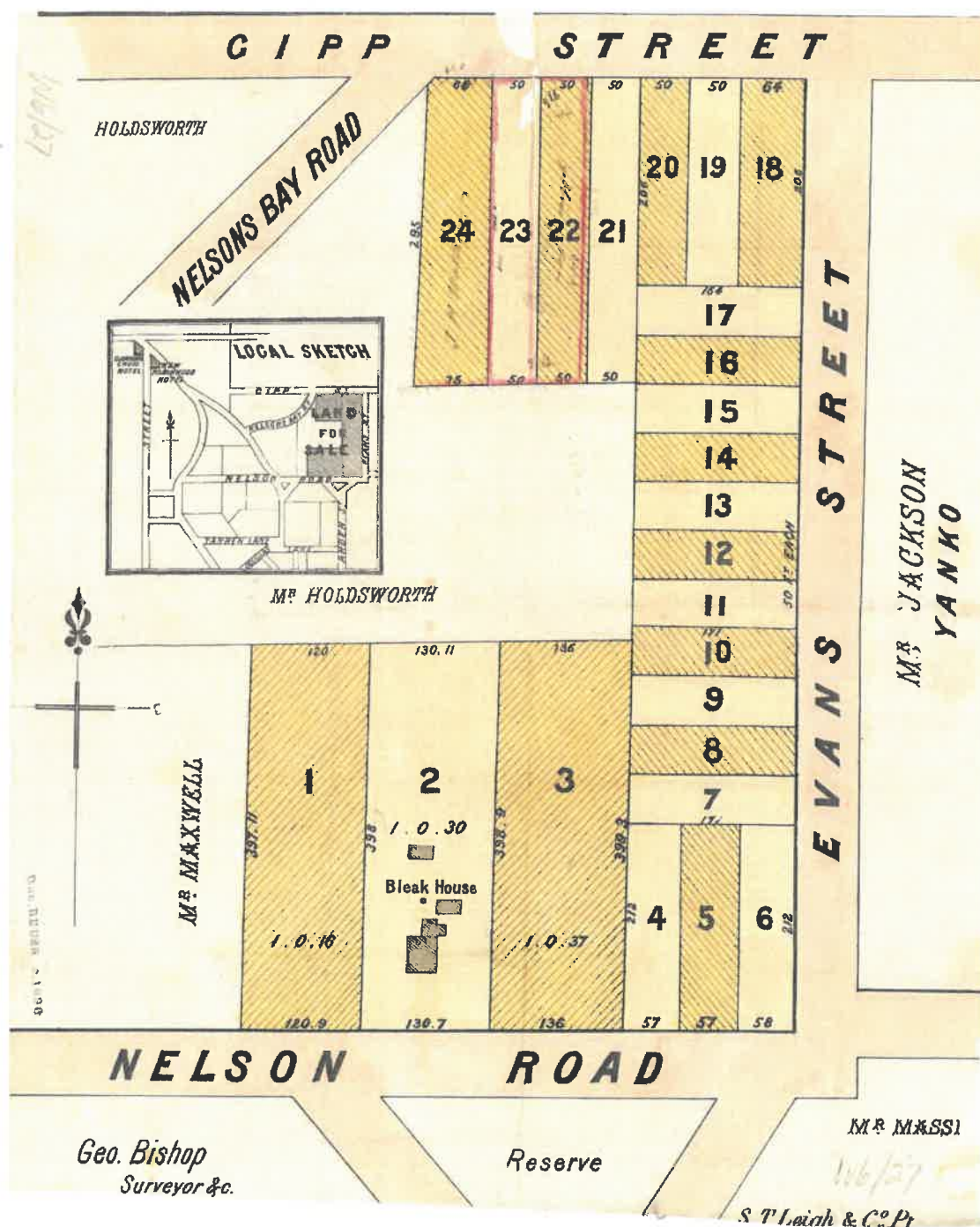
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## IMAGES

Image caption	Lugar Brae estate subdivision land sale poster. Bleak House early subdivision poster 1880 Yanko estate sub division 1915				
Image year	1880s, 1915	Image by		Image copyright holder	State Library z-sp-b27









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**OCEAN VIEW ESTATE**  
**WAVERLEY HEIGHTS**

*For Sale @* **GRAND VILLA SITES**  
*on the Ground*  
*Saturday, 4<sup>th</sup> June, at 3 P.M., PROMPT.*

**RICHARDSON & WRENCH.**

**BRAE ST**

<b>BLEAK HOUSE</b>	1	2	3	4	5	53' 5"		
					6	40' 0"		
					7	40' 0"		
	46' 0"	45' 0"	45' 0"	40' 0"	132' 0"			
<b>ROSE ST</b>								
	46' 0"	45' 0"	45' 0"	40' 0"	132' 0"	40' 0"		
<b>BLEAK HOUSE</b>	8	9	10	11	12	40' 0"		
					13	40' 0"		
					14	36' 9"		
	120' 0"							
	15	16	17	18	19	20	21	120' 0"
	46' 0"	45' 0"	45' 0"	40' 0"	40' 0"	40' 0"	52' 0"	

**EVANS ST**

**NELSON RD**

**LOCAL SKETCH**

**TERMS**  
25% DEPOSIT  
BALANCE  
& QUARTERLY  
PAYMENTS

**DAWSON**  
LICENSED SURVEYORS  
**STEPHEN**

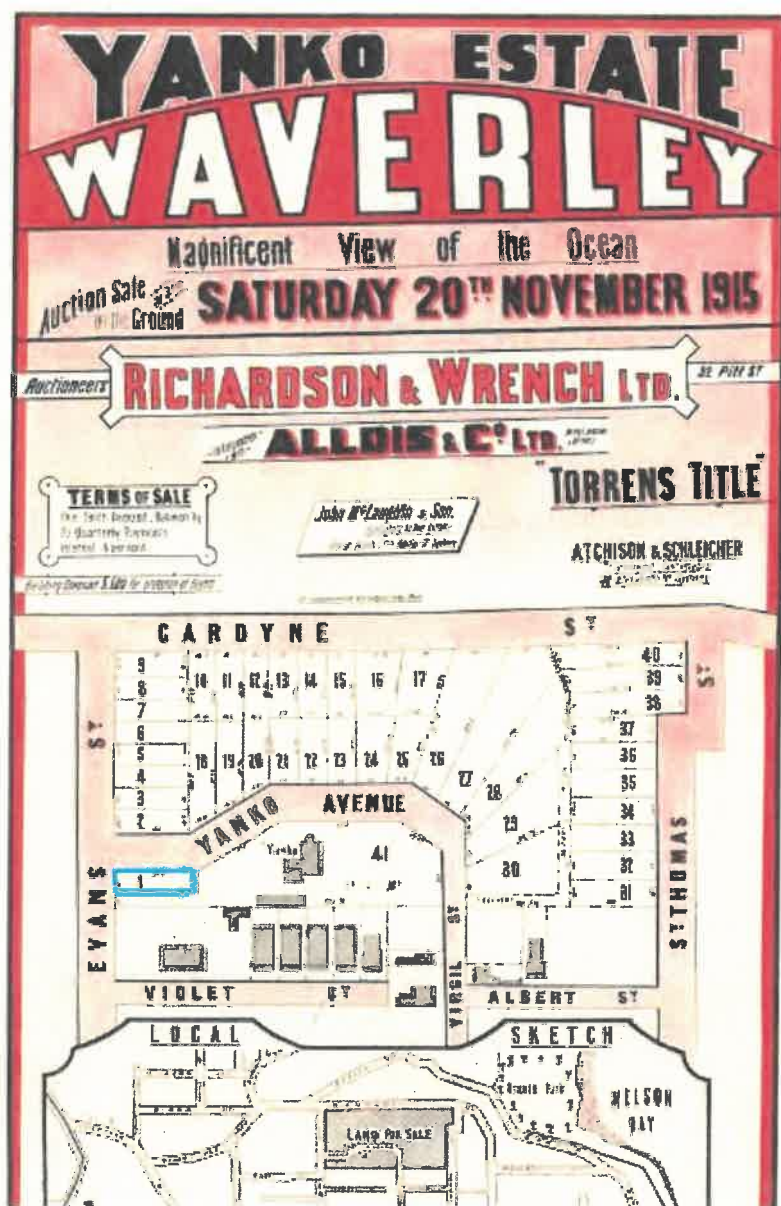
GIBBS, SHALLARD, & CO., PRINTERS, SYDNEY.



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## Amended – Charing Cross HCA



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ITEM DETAILS						
Name of Item	Charing Cross Urban Conservation Area					
Other Name/s Former Name/s	Maddens Corner					
Item type	Built. Area.					
Item group	Residential and Commercial buildings (private). Urban Area.					
Item category	Cottage, Flat, House, Terrace, Villa, Hotel, Shop, Commercial, Ecclesiastical, Education. Streetscape.					
Area, Group, or Collection Name	Charing Cross Urban Conservation Area					
Street number						
Street name	Carrington Road, Church Street, Bronte Road, Victoria Street, Albion Street, Macpherson Street, Prospect St, High St, Edmund St, Henry Street, John St					
Suburb/town	Waverley				Postcode	2024
Local Government Area/s	Waverley Council					
Property description	Various					
Location - Lat/long	Latitude				Longitude	
Location - AMG	Zone	MGA Zone 56 (GDA 94)	Easting	338,631.2382206 99	Northing	6,247,350.711743 92
Owner	various					
Current use	Residential, retail, commercial, educational					
Former Use	Residential, tannery, retail, commercial, educational					
Statement of significance	The Charing Cross UCA streetscapes retains notable 19 <sup>th</sup> and early 20 <sup>th</sup> buildings of both state and local heritage significance. The high integrity of built form in the area records the historic evolution of a place from an early village east of Sydney. The layered fabric dominated by Federation-style buildings indicates a streetscape generated by tram transport beginning in the 1880s. The slowing of growth in post- World War 2 ensured the preservation of Waverley's earliest history.					
Level of Significance	National <input type="checkbox"/>		State <input type="checkbox"/>		Local <input checked="" type="checkbox"/>	

## DESCRIPTION



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<b>Designer</b>	Various					
<b>Builder/ maker</b>	Various					
<b>Physical Description</b>	<p>The Conservation Area extends along Bronte Road (formerly Cowper Street and Coogee Road) from Church Street as far south as St Catherine's School on Macpherson Street. The village centre is distinguished by the acute intersection of major traffic routes Carrington and Bronte Roads and the secondary route of Victoria Street. The village centre is characterised by two-storey retail facades of late Victorian, Federation and Inter-War styles interspersed with rare early Victorian shop and residential forms [some concealed by later frontages] and later Post-War development.</p> <p>Peripheral streets exhibit a two-storey character with near complete rows of late Victorian and Federation-style terraces and a small number of Inter-War (including Art Deco) apartments. A number of large freestanding Victorian residences remain generally unaltered or within educational campuses. Buildings are of face brick, stone and rendered masonry with decorative plaster and iron filigree detailing. Earlier worker housing provides examples of vernacular and mid-Victorian forms in timber and stone.</p>					
<b>Physical condition and Archaeological potential</b>	<p>Various states of condition of properties.</p> <p>All sites in the area have archaeological potential, particularly those previously associated with local industries and residential sites with former wells and privies in which household refuse was discarded.</p>					
<b>Construction years</b>	<b>Start year</b>	1840s	<b>Finish year</b>	1930s	<b>Circa</b>	<input checked="" type="checkbox"/>
<b>Modifications and dates</b>	<p>The former post office, built in 1923, was designed with oversight from the first Commonwealth Architect John Smith Murdoch. He designed the "temporary" Parliament House in Canberra that remained in services until the 1980s. The post office replaced the 1840s residence of John Madden, an early Waverley entrepreneur. The Inter-War Stripped Classical style building is an important element of the streetscape at the Charing Cross intersection.</p> <p>The Art Deco Charing Cross Hotel, Victoria Street (west), was built in 1935 and replaced the old inn built by William Newland in 1857. On the opposite corner of Victoria Street stood the village pump that provided fresh water from an underground spring. The first Waverley branch of the Bank of NSW used the corner building.</p> <p>Along Carrington Road are important community facilities. St. Charles' Boys School was built in 1902, continuing a long history of educational buildings on the site dating back to 1854. In 1885, St. Clare's College for girls was purchased for the Poor Clare order of Catholic nuns, who were brought out from Ireland specifically to teach at the school. The foundation stone for Our Lady of the Angels chapel was laid in 1917.</p>					



	<p>60-68 Carrington Road was the Waverley Fire Station 1915-1940s, then a function and reception business and is now strata units.</p> <p>Victoria Street (east) - Grahame Memorial Uniting Church, 1897, and church hall 1885, are of important historic and social significance. Inside the church is a plaque to Peter Dodds McCormick, a church elder and composer of Australia's National Anthem, "Advance Australia Fair".</p> <p>Mary Immaculate Roman Catholic Church, 1913, with interiors especially designed to display paintings and other decorations. Next to the church a new modern building replaces the old Friary, destroyed by fire in the 1980s.</p> <p>The present Robin Hood Hotel, corner of Bronte and Carrington Roads, replaced the old inn of the same name built in the 1880s.</p> <p>245-263 Bronte Road, Head's buildings dated 1887, is a particularly well-preserved row of late-Victorian commercial terraces.</p> <p>282 Bronte Road, incorporates facade elements of "Minnamurra" c. 1894, with a shop occupying a restored stone cottage forward of the main building.</p> <p>The Commonwealth Bank has occupied the corner site at Albion Street from 1921, undergoing numerous alterations and extensions over the years which have had negative impacts on its integrity at street level.</p> <p>340 Bronte Road was the site of John Bunyan's stables for his omnibus horses. In 1910 he built an open-air picture show which became the Bronte Picture Palace, converted to talking pictures. Hoyts Theatres were the last operators and in 1957 the site became a petrol station and then an equipment hire business.</p> <p>4-22 High Street, "Glenrock Terrace", provides a rare example of worker housing constructed by Ebenezer Vickery in 1866, for the employees of his adjacent tannery.</p> <p>1 Albion Street, continues use as a commercial property that has previously been a tobacconist, a newsagents and antique shop. The upper balcony has recently been added.</p> <p>24 Albion Street, "St John's", built 1891 was a doctor's residence and surgery until sold in 1957 to St Catherine's School as classrooms and residential accommodation.</p> <p>St Catherine's School, originally known as Clergy Daughter's School, the oldest existing Anglican girls' school in Australia, open on March 5, 1856. One of their most prominent students was Dame Joan Sutherland. An underground sandstone water</p>
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tank of the 1860s is marked by a plaque in Macpherson Street, between Albion Street and Carrington Road.

## HISTORY

### Historical notes

#### Initial Land Grants

Following the establishment of the South Head Road (now Old South Head Road) in 1811, Bronte Road evolved as a route south to Coogee Bay and Governor Macquarie's watchtower at La Perouse. The Conservation Area comprises areas originally within purchase grants of William Manners Clarke (1837), Lewis Gordon, (1838), and Samuel Peak, (1839). Gordon's lands were substantially transferred to Joseph Vickery between 1839 and 1858. Subdivisions of these early grants provided the sites of a small service village on the road to Coogee and La Perouse.

The next block sold was one in Victoria Street, Charing Cross, adjoining Queen's Park. It was originally put up for sale in 1838 and purchased by Edward Lee. He failed to complete the purchase, so the 5 acres was resold to George Smith on August 12, 1846, for £25. Smith had been a Private in Her Majesty's 80th Regiment, for years, which entitled him to a remission of £9 on his purchase money.

Another portion, of 4a. 3r. 8p, at the corner of Carrington and Bronte roads and extending from the Robin Hood Hotel to about Albion Street and all the business section along Bronte Road, was bought by Lewis Gordon on October 15, 1846, for £24, with the grant issued on June 15, 1848.

In 1849, on the other side of Victoria Street where the Charing Cross Hotel now stands, a block of 4a. 3r. 35 2/3p was bought about this time by J. B. Jones, who by then had purchased several others at the "Junction" and along what is now Old South Head Road. Jones paid a high price of £5 per acre.

#### Charles. E. Langley

John, Edmund and Henry streets came into existence as part of the Canonbury Estate subdivision of these land grants about 1878. The estate land had been surveyed in 1857 by the noted colonial architect-surveyor Charles. E. Langley, two years before Waverley Council in 1859. Langley had many business connections in the Waverley area, including Robert Lowe at Bronte House and the Colonial Architect Mortimer Lewis.

Langley had until 1843 been in a civil engineering partnership with Mortimer Lewis, and had completed numerous prestigious residential and commercial works in Sydney. An advertisement in *The Colonial Observer* on 12 April 1843 advised that the civil engineering and land survey partnership between Lewis and Langley had been dissolved by mutual consent.

The early colonial flour mill (now known as Mill Pond Farm, at Jembaicumbene, near Braidwood) began life as a "cutting edge" steam-powered plant in 1859 and was designed by Langley, of George Street, Sydney. The 20hp state-of-the-art engine was ordered from P N Russell & Company in Sydney, who undertook all the engineering works for the mill, also supplying the milling equipment, chaff cutters, lift and the galvanised sheet tiles for the roof, imported from England. The company was one of Australia's oldest engineering foundries, established in the 1830s over the Tank Stream in Macquarie Place. By the mid-1850s Peter Nichol Russell was producing cast iron markers for the Government, veranda posts and architectural items, mining equipment and steam engine parts. The company became one of the most innovative and productive of the Industrial Revolution in Australia, but controversially closed suddenly in 1875 with a lock-out over staff hours and pay.

In 1841, when the grand colonial estate *Tusculum* at Potts Point was owned by the German immigrant Charles William Roemer, Langley was asked to survey the estate's 9 acres 33 roods and 3 perches into large villa allotments and be prepared for auction. Only one lot sold.

In 1850, Langley was secretary and surveyor to the Commissioners on the South Head Road. He advertised in the Government Gazette on January 4 that year what the tolls would be for using the road. "For every horse or other animal above four, drawing a wagon or other such with four wheels, the sum of 1d [was charged]."

Langley's responsibilities for maintenance of the significant early road, the South Head Road, connected him with many of the colony's most influential men. Robert Lowe was a Trustee for the South Head Road, as was William Charles Wentworth of Vaucluse, Daniel Cooper the Younger, William Dumaresq (of *Tivoli*, Rose Bay) and Thomas Ware Smart (of *Mons*, Darling Point).

The City of Sydney Archives contains a letter that Langley's services were used to survey the Lachlan Swamp (now in Centennial Park) in 1853.

In the 1870s, the area was known as "Hell Street" because of the lively characters who lived there. Sands Directory reveals that many of the early estate residents were tradesmen including quarrymen, carpenters, stonemasons and butchers.

### **Naming of the Village**

John Madden also purchased lands from Lewis Gordon at the intersection of what was Coogee Road and the later Carrington Road. Madden erected three stone cottages on the lands. Madden and his son John Madden Jnr. Were signatories to the establishment of Waverley Council in 1859. The village was originally referred to as *Maddens Corner* and retained its local identity until Madden's house was

purchased and demolished c.1919 as the site of the Post Office. In 1859, Maddens Corner was renamed by the inaugural Waverley Council as Charing Cross.

## **Expansion after 1859**

By 1854, the immediate area accommodated small stores, blacksmiths and hotels serving local market gardeners, dairymen and travellers to Coogee. The village expanded with the 1866 establishment of Vickery's Glenrock Tannery to the eastern side of Charing Cross. By 1868 the tannery and leather goods factory employed over 140 men producing 1200 pairs of boots a week. The Vickery family also constructed Glenrock Terrace, a row of sandstone workers' cottages, remaining in High Street, Charing Cross, south of the former tannery site. Vickery's tannery closed on 8 Nov 1881 with the land subdivided as the Tannery Estate.

In the 1890s, existing stone quarries expanded to supply city construction. Quarry workers had erected small stone cottages about streets to the eastern side of Charing Cross as early as the 1850s. During that time, two hotels, *Newlands* (1857) later the *Charing Cross* and the *Robin Hood* (1859) commenced trade in Vickery Street (now Carrington Road). Both were substantial premises erected in stone and served to further strengthen the focal point of Maddens Corner /Charing Cross by the 1860s. William Newland (1807-1883), builder, proprietor of *Newlands Hotel* and councillor from 1859 -1860, opened the hotel to the first meeting of Waverley Council on 16 June 1859. Newland encouraged the decision by council to rename Madden's Corner as Charing Cross. The name soon appeared on *Newlands Hotel*, which Newland continued to run until about 1863 when he became insolvent. About 1880 the *Robin Hood* moved to its current site, the former location continuing to trade as the *Oxford Hotel*. Community groups initially meeting in these and other hotels around Waverley included the Grand United Order of Odd Fellows – Sons of Independence Branch, established in 1861. The Order, after years of meeting in venues of convenience, erected The Odd Fellows Hall in Church Street. The hall was eventually acquired by St Anne's School after 1959.

## **A Centre for Schools and Churches**

Following donation of land by John Madden, a Catholic church and school house were erected in 1854 north of the Cowper Road and Vickery Street intersection. The weatherboard structure was twice replaced, in 1866 and 1901.

In September 1857 the foundation stone was laid for St Catherine's School, relocating from Ocean Street, Woollahra, to its current Albion Street site at the southern end of Charing Cross. Both locations, the opposite ends of the village, would progressively expand as school complexes, with St Charles primary school and St Clare's School and Convent (1884) developing between Maddens Corner and Church Street. In 1879 the Franciscan order received a donation of nearly 3 acres in Victoria Street on or about the former Vickery's Tannery site, gifted by Mrs C Logue. In March 1891, construction of a three-storey Norman-style Friary commenced on





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this land. Later population growth would see the erection of the Renaissance-style Mary Immaculate Catholic Church opened in 1913 on the east side of this land. Opposite Mary Immaculate Church, the Presbyterian Church – having conducted its first service in the Odd Fellows Hall in Church Street on Jan. 17, 1885 – proceeded to lay the foundation stone of a church in November 1885. The initial church was superseded in February 1898 by a much larger Gothic-style sandstone building, the Grahame Memorial Church named in honour of benefactor Mrs W. Grahame. These institutions defined the northern and southern limits of Charing Cross from the irregular strip of retail and residential undertakings extending along Cowper Street [now Bronte Road] to the Tea Gardens (now Bondi Junction) and along Macpherson Street to the south-east.

## **Consolidation of the Village**

The subdivision of Samuel Peak's Sea View Estate in 1863, bounded by Victoria, Henrietta and High Street established the current lot patterns to the eastern side of Charing Cross. Further substantial subdivision and development occurred from the 1870s onwards with horse-drawn omnibus services to the city and tram services linking Charing Cross with the Tea Gardens (Bondi Junction) in April 1881. The tram line was continued through to Randwick by 1887. This furthered growth and consolidation of the village, establishing a streetscape of two-storey retail frontages with living space above opening on to post-supported verandas. Initially of late Victorian style, these continued to be erected in Federation styles through the early 20<sup>th</sup> century. Electrification of the tramway between Bondi Junction and Waverley in October 1902 accelerated the development of Charing Cross. In the process, much of the early Victorian streetscape was replaced with Federation-styled shops, high-parapeted frontages replacing the hip-roofed veranda forms of the 19<sup>th</sup> century.

In 1889, Waverley Volunteer Fire Brigade first occupied a building in Carrington Road at Charing Cross. Following the September 1912 opening of an "unofficial" Post Office in Carrington Road, commitment was made to a formal post office. Prior or during World War One, the Commonwealth Government acquired the house of pioneer John Madden at the intersection of Carrington and Bronte Roads. The site, was cleared by 1919 and a new post office erected by 1923. The architect John Smith Murdoch was, at the same time, designing the "temporary" Parliament House in Canberra, Australia's new national capital. When opened, the post office was designated as "Charing Cross", but in 1940 it was altered to "Waverley".

The demands of commerce supported establishment of banks at Charing Cross. In 1888 the Bank of NSW opened at the corner of Victoria Street and Carrington Road. In 1919 the Australian Bank of Commerce opened at 240 Bronte Road, before merging with the Bank of NSW in 1931. In 1920 the Government Savings Bank purchased land from the Seaview Estate, erecting a bank and residence near the intersection of Bronte Road and Albion Streets. The building remained in use after merger with the Commonwealth Bank in 1931.



	<p><b>Between the Wars</b></p> <p>Inter-War development at Charing Cross included the Art Deco-styled Charing Cross Hotel and the Functionalism-style Robin Hood Hotel dramatically situated at the acute intersection of Carrington and Bronte Roads and completion of the prominent twin towers to Mary Immaculate Church in 1929-30.</p> <p>In 1910 omnibus operator John Bunyan built an open-air picture show on his former stables site at the corner of Bronte Road and High Street. After 1924, the theatre was converted to Bronte Stadium by promoter Pat O'Conner operating until 1936, reverting to a picture theatre The Bronte Hoyts by 1945 and closing in 1957.</p> <p>By the outbreak of World War 2, residential flat buildings had replaced earlier construction in peripheral sites about Charing Cross, including a distinctive setting of Inter-War planning that formed Santa Marina Avenue, south of Charing Cross.</p> <p>The 1940s saw substantial freestanding Victorian residences still extant in the main street of Charing Cross, including Minnamurra and another large residence with secondary shopfronts constructed to the eastern side of Bronte Road. Inter-War and earlier construction had substantially removed buildings from the formative 1840-50s. Those that remained included a small shop to the eastern side of Bronte Road (still standing in 2019) and a hip-roofed cottage in Carrington Road, north of the post office. This was the last of John Madden's 1840s stone cottages and was later used as a Catholic presbytery, then the home of "Granny" Cosgrove, a granddaughter of John Madden and herself a noted local. The house has since been demolished.</p>
--	--

THEMES	
<b>National historical theme</b>	<p>4 Building settlements, towns and cities.</p> <p>9 Marking the phases of life.</p>
<b>State historical theme</b>	<p>Towns, suburbs and villages-activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages; Land tenure-activities and processes for identifying forms of ownership and occupancy of land and water; Accommodation-activities associated with the provision of accommodation, and particular types of accommodation.</p> <p>Persons – activities of, and associations with, identifiable individuals, families and communal groups.</p>



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APPLICATION OF CRITERIA	
<b>Historical significance</b> SHR criteria (a)	<p>The area records the pattern of early 19<sup>th</sup> century purchase grants which provided the basis for the later grid street pattern of Charing Cross.</p> <p>The Conservation Area was an early small bustling town containing industry, cottages, small retail stores and hotels.</p>
<b>Historical association significance</b> SHR criteria (b)	<p>The area has historical association with initial speculative absentee land owners William Manners Clarke, a conveyancer, and Lewis Gordon, a government surveyor, and Samuel Peak, a Sydney retailer. Joseph Vickery, a land entrepreneur of the mid-19<sup>th</sup> century, established a tannery in the area and provided housing for workers during the 1860s. The area has close historic association with early 1840s resident John Madden, a stonemason and provider of the initial location name Maddens Corner. Madden's family were also associated with other Waverley pioneering families, including the Fitzgeralds and Teeveys.</p> <p>The area also has historical association with the survey-architect Charles E. Langley, who layout the subdivision of the streets to the west of Charing Cross forming the roads of Henry, John and Edmund Street. The streets retain their alignment and names from his 1857 survey and continue to display an array of architectural styles spanning the years since the initial subdivision. Langley's legacy is yet to be fully explored.</p>
<b>Aesthetic significance</b> SHR criteria €	<p>The area retains freestanding and attached residences demonstrating the aesthetic forms, fabric and detailing of Victorian Georgian Vernacular construction. The freestanding, semi-detached and attached examples of single- and two-storey housing provide a notable assemblage of built forms from the mid-19<sup>th</sup> century. Later Victorian, Federation and Inter-War residences and commercial properties include notable terrace groups and prominent corner buildings demonstrating the forms and aesthetic considerations of Waverley during consolidation, promoted by the growth of transport from the 1880s onwards.</p>
<b>Social significance</b> SHR criteria (d)	<p>The area retains significance as a demonstration of the forms, streetscapes and social relationship of industry, worker housing and commerce in the early years of Waverley municipality. The scale, forms and history of the remaining worker cottages, terraces, shops and hotels provide a notable demonstration of the municipality's social history.</p>
<b>Technical/Research significance</b> SHR criteria €	<p>The area records the forms of construction and detail employed in retail buildings within outer villages and later commuter suburbs of the Sydney region during the 19<sup>th</sup> and early 20<sup>th</sup> centuries.</p> <p>Former manufacturing sites retain archaeological potential, as does the site of John Madden's early cottages, school house and churches.</p>
<b>Rarity</b> SHR criteria (f)	<p>The area contains rare examples of village structures of the mid-19<sup>th</sup> century, together with rare examples of ecclesiastic architecture, notably the Renaissance-</p>



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	styled Mary Immaculate Church by the noted ecclesiastical architects Sheerin and Hennessy with its murals by Italian artist Professor Cesare Vagarini.
<b>Representativeness</b> SHR criteria (g)	The area has representative value as a cohesive example of the built form, styles and functions of structures comprising an early outer village of colonial Sydney, later consolidating as a transport-based suburban centre of Waverley municipality.
<b>Integrity</b>	Charing Cross retains integrity as a village centre incorporating a diversity of retail and service structures, principally of the Federation and Inter-War periods, with rare examples of earlier retail structures incorporated into the main streetscape.

## HERITAGE LISTINGS

<b>Heritage listing/s</b>	Waverley Local Environmental Plan 1996 (Amendment No. 33) item No. C.6
	Waverley Local Environmental Plan 2012, Schedule 5 item No. C.7

## INFORMATION SOURCES

Include conservation and/or management plans and other heritage studies.

Type	Author/Client	Title	Year	Repository
Heritage Study	Perumal Murphy	Waverley Heritage Study	1990	Waverley Council
Council research	Colin Brady	na	2012	Council files and Local History Library
Book	B T Dowd (ed.) for Council of the Municipality of Waverley	The History of the Waverley Municipality	1959	Waverley Council library
Internet	Mill Pond Traditional Working Farm	Living With a Colourful History		<a href="https://www.millpond.com">https://www.millpond.com</a> Downloaded July 2020
Book	Terry Cass	The History of Tusculum	1953	Historic Houses Trust

## RECOMMENDATIONS

<b>Recommendations</b>	<ol style="list-style-type: none"> <li>1. All existing construction prior to 1950 in the Conservation Area should be considered contributory to the Conservation Area.</li> <li>2. Contributory buildings and their original features should be retained. Any unsympathetic elements should be removed and original features restored.</li> <li>3. Neutral buildings may be replaced or altered, so that the property is made compatible with the significance of the area.</li> <li>4. Intrusive buildings should be replaced or altered so that the property is made compatible with the significance of the area.</li> <li>5. The pattern of two-store shopfronts with street awnings should be retained.</li> </ol>
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	<p>6. Where documentary evidence exists, first-floor post-supported or cantilevered balconies should be reinstated to street frontages.</p> <p>7. Historic building forms should remain clearly identifiable within any redevelopment and/or extension of existing structures.</p> <p>8. The original built form should remain as the dominant aspect of any new works to contributory buildings.</p> <p>9. Original shopfronts including openings and related detailing and signage locations should be retained and restored in any works to existing contributory buildings.</p> <p>10. The pattern of small service lanes and walkways should remain.</p> <p>11. Original external finishes should be retained and reinstated. Original face brick and sandstone walls and fences should not be rendered and/or painted. Slate and terra cotta tiling to roofs should be maintained and matched in new works to the core building.</p> <p>12. Sandstone retaining walls and boundary walls should be retained and repaired.</p> <p>13. A heritage impact statement should be prepared for proposed work to all contributory elements in the Conservation Area and to sites adjacent to or in the visual curtilage of contributory fabric.</p>
--	---

SOURCE OF THIS INFORMATION			
Name of study or report	NA	Year of study or report	
Item number in study or report	NA		
Author of study or report	See Information sources above		
Inspected by	Colin Brady		
NSW Heritage Manual guidelines used?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
This form completed by	Colin Brady & Anne McGoverne	Date	Feb 2021



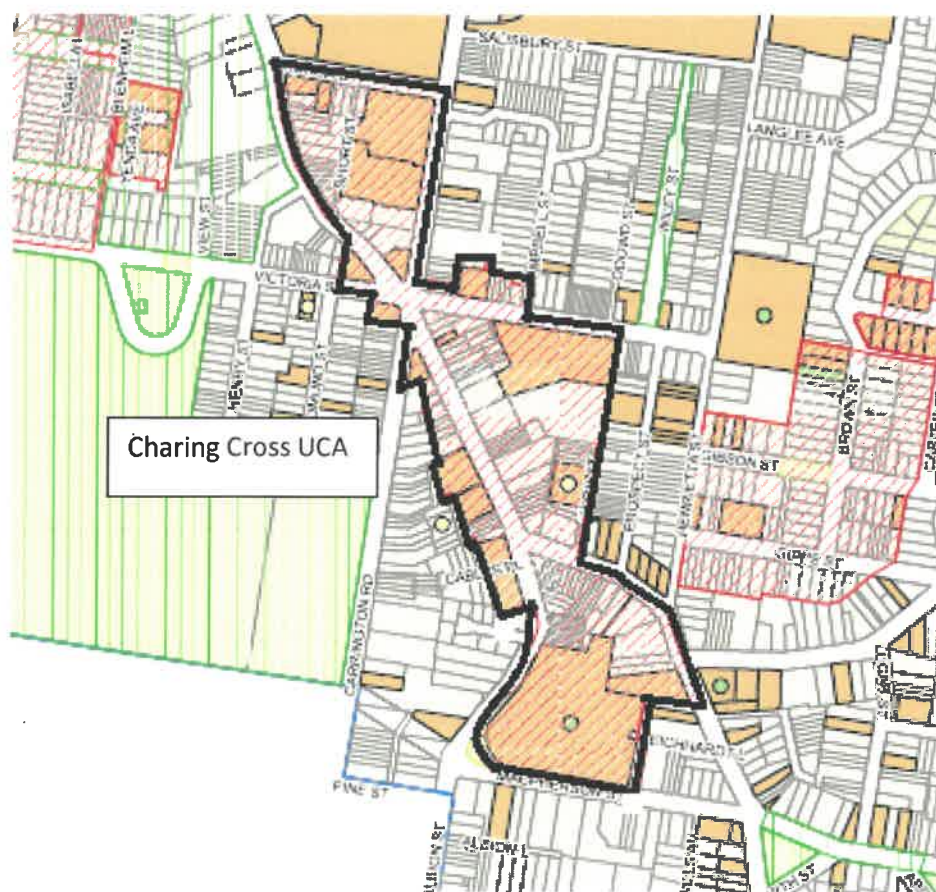


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## IMAGES

Image caption	Map of the original Charing Cross Urban Conservation Area, Waverley Local Environmental Plan 2012 Schedule 5, Item C7 <a href="http://www.legislation.nsw.gov.au/mapindex?type=epi&amp;year=2012&amp;no=540%27">http://www.legislation.nsw.gov.au/mapindex?type=epi&amp;year=2012&amp;no=540%27</a> The 2020 Heritage Assessment extends the conservation area.				
Image year	2012	Image by	Waverley Council	Image copyright holder	Waverley Council





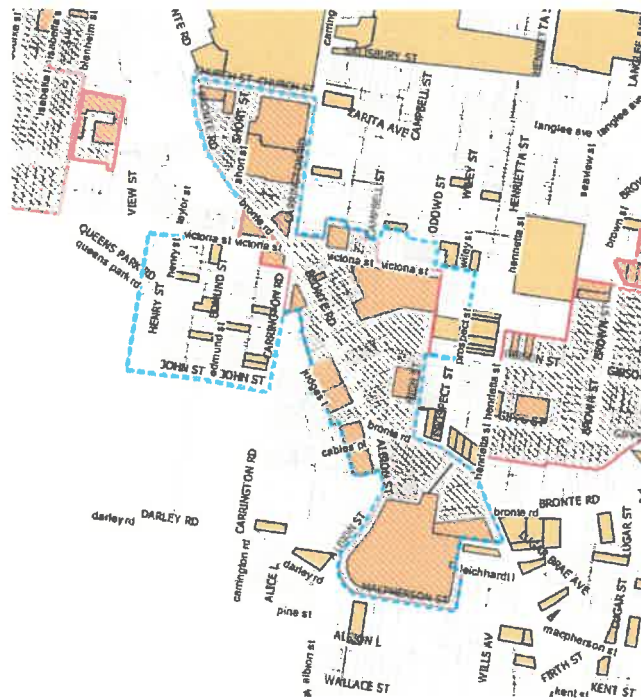


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## IMAGES

Image caption	The 2020 Heritage Assessment extends the conservation area.				
Image year	2020	Image by	Waverley Council	Image copyright holder	Waverley Council



### CHARING CROSS URBAN CONSERVATION AREA - EXTENSION



Existing Urban Conservation Area



Proposed Heritage Conservation Area - Extended



Existing Heritage Items



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## IMAGES

Image caption	Original land grants of the 1830s				
Image year	NA	Image by	Waverley Council	Image copyright holder	Waverley Council



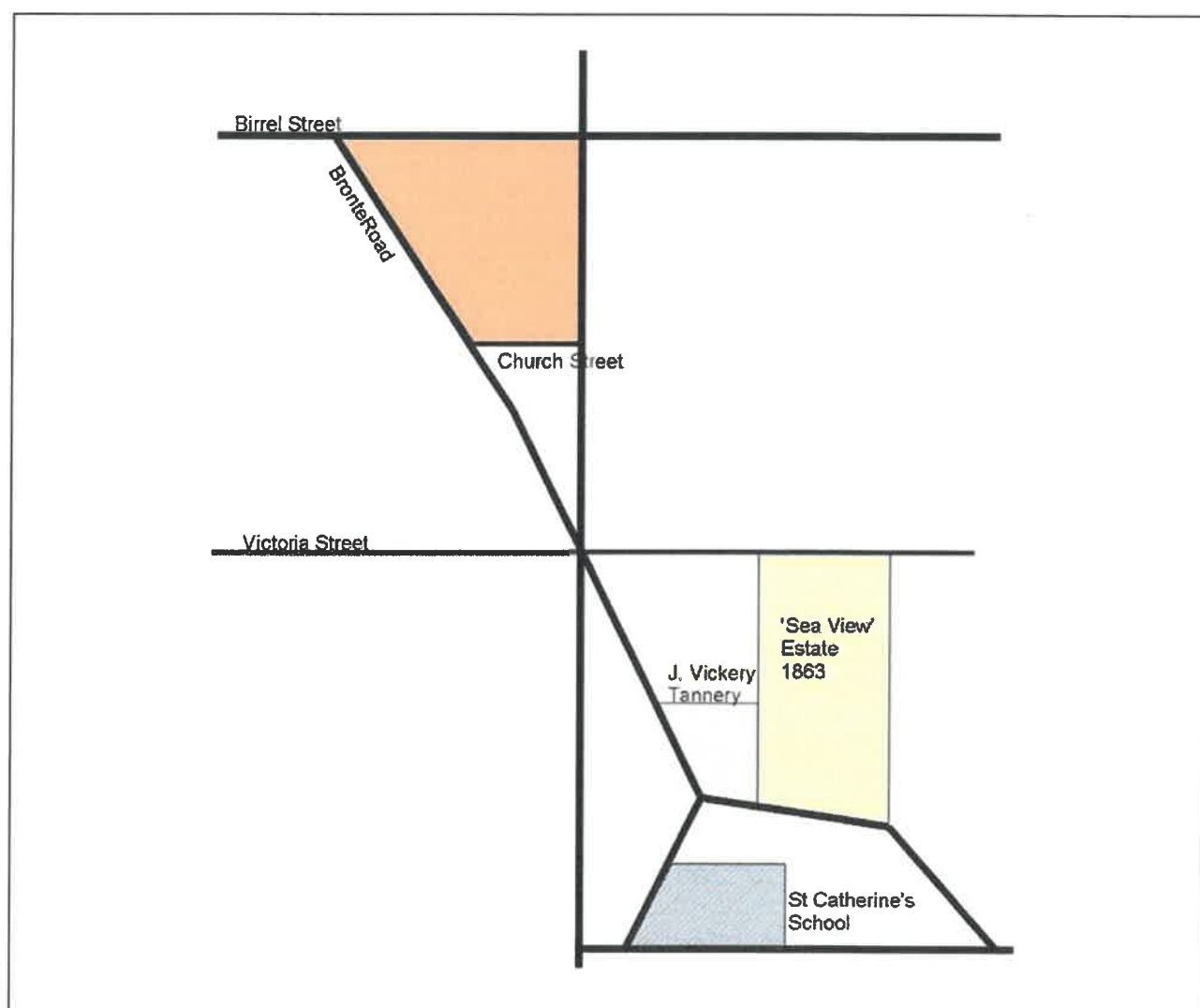


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## IMAGES

<b>Image caption</b>	Notable subdivisions in and near Charing Cross including the Vickery Estate which became the War Memorial Hospital bounded by Church St, Birrell St and Bronte Road; Joseph Vickery's tannery; and St Catherine's School (formerly Clergy Daughters School).				
<b>Image year</b>		<b>Image by</b>	Waverley Council	<b>Image copyright holder</b>	Waverley Council



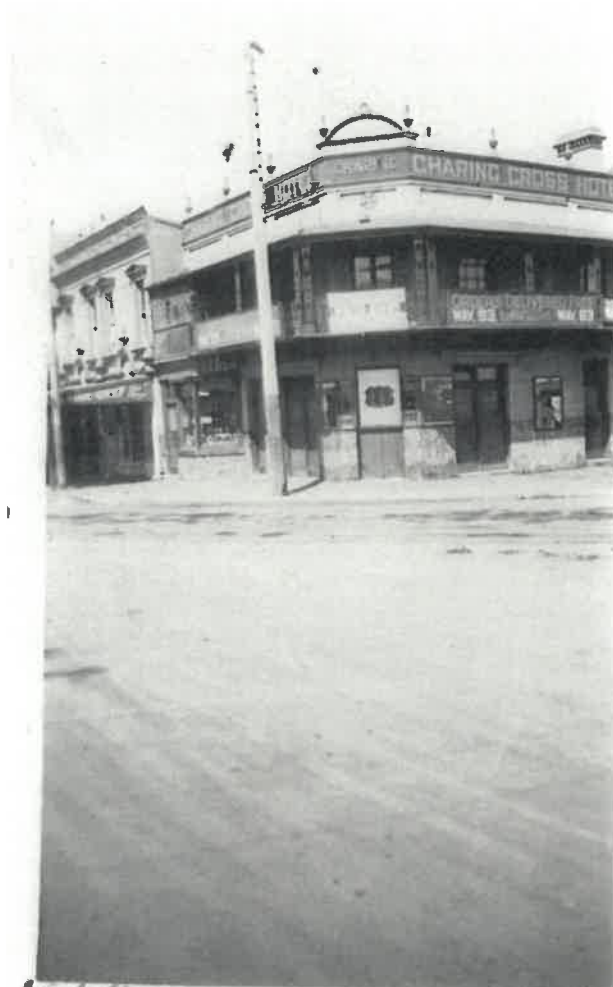


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## IMAGES

Image caption	Charing Cross Hotel 1925 viewed looking south-west				
Image year	1925	Image by	Unknown	Image copyright holder	Waverley Council
		n/a			



1925.

18



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<b>Image caption</b>	Mid 19 <sup>th</sup> Century Fabric Left to right: Glenrock Terrace 1866 – High Street Gablet detail at Glenrock Terrace 1866 – High Street. Shop with residence above – Bronte Road Stone gate post Carrington Road attributed to John Madden 1850s St Catherines School – original building.			
<b>Image year</b> 2014		<b>Image by</b> Colin Brady		<b>Image copyright holder</b> Colin Brady



<b>Image caption</b>	1880s shops with residence above.			
<b>Image year</b> 2014		<b>Image by</b> Colin Brady		<b>Image copyright holder</b> Colin Brady



<b>Image caption</b>	1880s residences.			
<b>Image year</b> 2014		<b>Image by</b> Colin Brady		<b>Image copyright holder</b> Colin Brady







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<b>Image caption</b>	1890- 1915 Federation-period shops with residences over.			
<b>Image year</b> 2014		<b>Image by</b> Colin Brady		<b>Image copyright holder</b> Colin Brady



<b>Image caption</b>	Ecclesiastic buildings			
<b>Image year</b> 2014		<b>Image by</b> Colin Brady		<b>Image copyright holder</b> Colin Brady



<b>Image caption</b>	Educational Buildings			
<b>Image year</b> 2014		<b>Image by</b> Colin Brady		<b>Image copyright holder</b> Colin Brady





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<b>Image caption</b>	Public Service and Entertainment			
<b>Image year</b> 2014		<b>Image by</b> Colin Brady		<b>Image copyright holder</b> Colin Brady



<b>Image caption</b>	Inter-War housing, shops and residential flat buildings.			
<b>Image year</b> 2014		<b>Image by</b> Colin Brady		<b>Image copyright holder</b> Colin Brady



<b>Image caption</b>	Streetscapes.			
<b>Image year</b> 2014		<b>Image by</b> Colin Brady		<b>Image copyright holder</b> Colin Brady





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Image caption	Top: Detail of a survey of the Lachlan Swamps water reserve (now Centennial Park) and surrounding suburbs dated November 1850 Bottom: 1863 land grants and ownership survey at Charing Cross. Bronte Road was Bay Road and Victoria Street was Government Road. The road to Bronte Beach was Nelson Bay Road.				
Image year	1850 1863	Image by		Image copyright holder	State Library

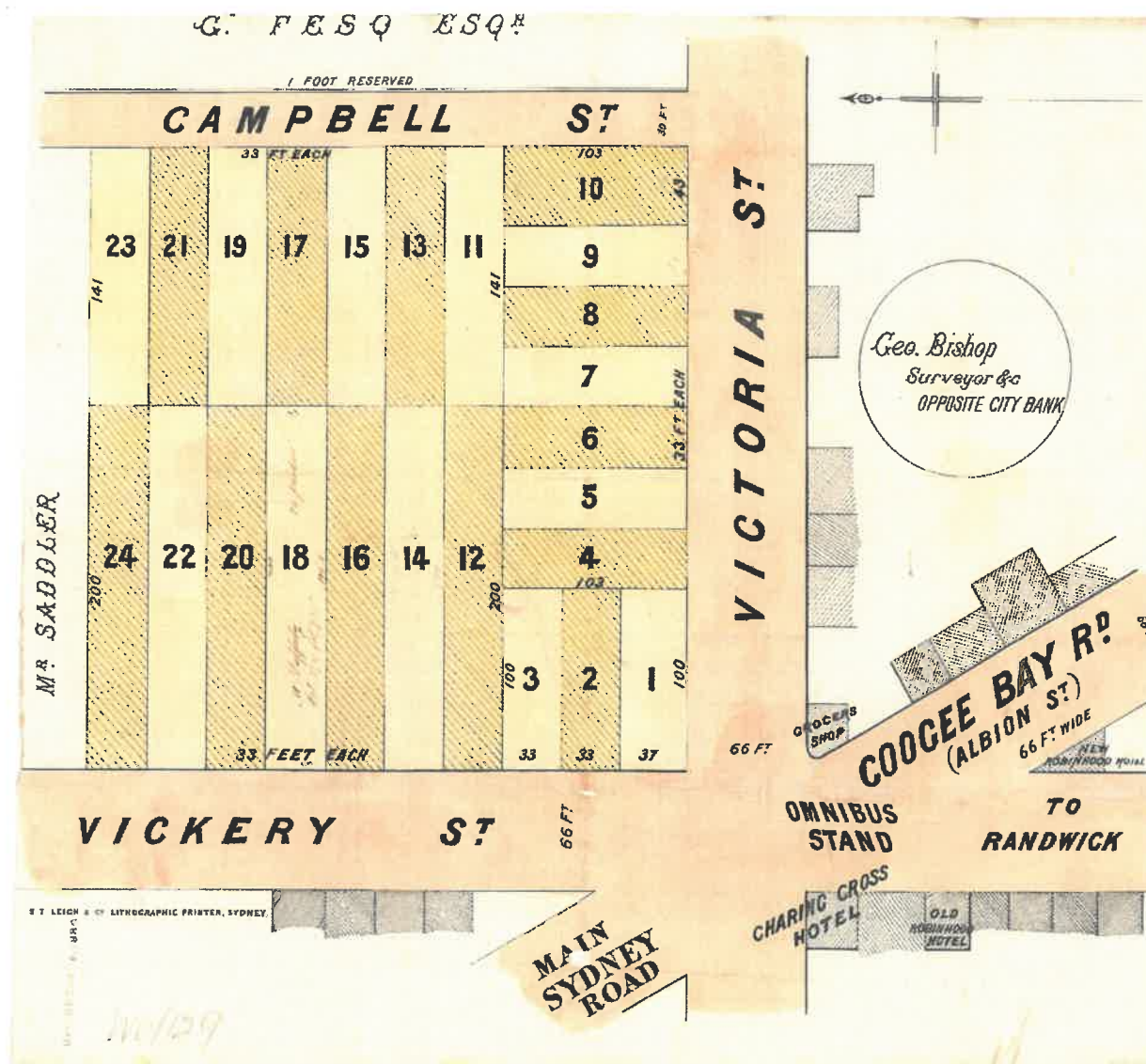




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Image caption	Charing Cross land sale subdivision poster. A horse-drawn omnibus stand is noted on the corner of Coogee Bay Rd (Bronte Road) and Vickery St (Carrington Road). The two locations of the Robin Hood Hotel are also marked.			
Image year	1876	Image by		Image copyright holder
1876				State Library







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Image caption	1887 Charing Cross area mapped in the Plan of the borough of Waverley compiled by S. Pollitzer. The 1878 Canonbury Estate (Henry, John and Edmund Streets) is mapped at the corner of Victoria and Carrington streets.			
Image year	1887 1878	Image by		Image copyright holder State Library



## CANONBURY ESTATE, WAVERLEY.

FOR SALE BY AUCTION

ON THE GROUND AT 3 O'CLOCK,

On **SATURDAY 23rd MARCH,**

**HARDIE AND GORMAN**



FERDINAND REISS, JUN.  
ARCHITECT AND SURVEYOR.  
OPPOSITE THE CITY HALL





<b>Image caption</b>	1887 Waverley Estate subdivision land sale poster. Note the Clergy Daughters School and the location of the Lugar Brae Estate and church. The early tramlines are also highlighted. The road to Bronte Beach (at that time called Nelson Bay) is still labelled Nelson Bay Road.				
<b>Image year</b>	1887	<b>Image by</b>		<b>Image copyright holder</b>	State Library





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Image caption	1910: Land in the Cannonbury Estate subdivision continues to be sold into the Federation period. The Bronte tramline and Centennial Park are a selling feature.			
Image year	1910	Image by		Image copyright holder
				State Library

**WAVERTLEY**  
**CANNONBURY ESTATE**

VILLA SITES & COTTAGES.  
*Situated close to the* CENTENNIAL PARK.

*For Auction Sale on the Ground at 3 o'clock.*  
**SATURDAY 29<sup>TH</sup> OCTOBER 1910.**

**RICHARDSON & WRENCH LTD**  
**ALLOIS & CO LTD.**  
*Auctioneers in conjunction.*

**VICTORIA ST**

**HENRY ST**

**EDMUND ST**

**OCEAN ST**

**ST THOMAS**

**BRONTE**  
RIGHT AT THE  
TRAM TERMINUS

**Local Sketch.**

**Terms of Sale.**  
**1/4 Cash.**  
*Balance by half-yearly payments  
extending over 3 years with  
interest at 5 per cent.*

**Philip W. Rygate.**  
Licensed Surveyor under R.P. Act.  
164 Pitt St, Sydney.



<b>Image caption</b>	1915: Building sites on John St are sold under instructions from the Metropolitan Board of Water Supply and Sewerage. The subdivision sales poster notes the proposed extension of Queen's Park. Centennial Park's proximity remains a selling feature. The land sale on the southern side of John Street did not proceed and the land became part of the extended Queen's Park.				
<b>Image year</b>	1915	<b>Image by</b>		<b>Image copyright holder</b>	State Library

# WAVERLEY

UNDER INSTRUCTIONS FROM THE METROPOLITAN  
BOARD OF WATER SUPPLY AND SEWERAGE

OVERLOOKING CENTENNIAL PARK

## AUCTION SALE

## ON THE GROUND

# SATURDAY 20<sup>TH</sup> NOV<sup>R</sup> 1915

AT 3 P.M.

## RAINE & HORNE

Auctioneers.  
70 Pitt St. Sydney.

**JOHN ST**

45	45	30	45	27 1/2	1
8	7	6	5	27 1/2	2
				27 1/2	3
32 1/2	32 1/2	23	32 1/2	26 1/2	4
<p style="font-style: italic;">Proposed Extension of Park.</p> <p style="font-size: small;">36 ft. 0 in. 42 ft.</p>					
9	1 1/2		1 1/2		10

**DARLEY RD**

EDWARD ST  
 R. P.  
 CARRINGTON



TERMS

10 PER CENT DEPOSIT.  
Balance in 12 quarterly  
payments at 5%

Freehold Title.

Solicitor  
H.S. WILLIAMS ESQ.  
109 Pitt St., Sydney.

William Beaks & Co Ltd 17 (C) 1948 & Sydney



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<b>Image caption</b>	Charing Cross facing Carrington Road with views to Queens Park, "Our Artist at Waverley", <i>Illustrated Sydney News</i> , August 2, 1884, p9. Bottom: 1890s Charing Cross. The original Robin Hood Hotel in the picture's centre.				
<b>Image year</b>	1884 1890s	<b>Image by</b>		<b>Image copyright holder</b>	Illustrated Sydney News, State Library



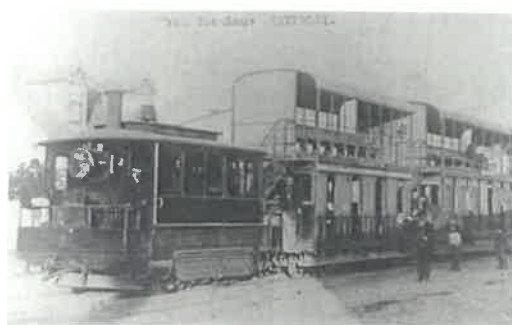




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<b>Image caption</b>	Main: Shopkeepers at Charing Cross 1895 Right: Steam tram boggie with coupled double decker passenger cars at the Waverley Tram Terminal at Charing Cross. Bottom right: Butchers shop at Charing Cross.				
<b>Image year</b>	c1880 1895 C1890s	<b>Image by</b>		<b>Image copyright holder</b>	Waverley Library







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<b>Image caption</b>	Top left: Old Charing Cross Hotel, 1925 Top right: Charing Cross, looking south, 1930s Bottom left: 1959 Mary Immaculate Catholic Church on Victoria St beside the Norman-style Friary, which burned down. Bottom right: the Friary in 1983, before it burned down in the 1986				
<b>Image year</b>	1925 C:1930s 1959 1983	<b>Image by</b>		<b>Image copyright holder</b>	Waverley Library

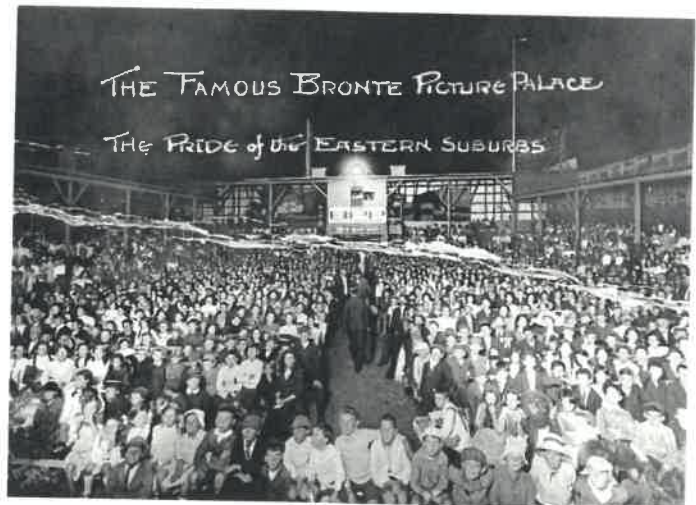




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<b>Image caption</b>	Left: Bronte Palace Pictures entrance at Charing Cross featured in The Wunderlich Manufactures Catalogue 1912 edition (June 12, p47). Right: the "Pride of the Eastern Suburbs", the Bronte picture palace c1910.				
<b>Image year</b>	1912 C1910	<b>Image by</b>		<b>Image copyright holder</b>	Wunderlich Manufactures Catalogue, Powerhouse Museum. Waverley Library





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## *NSW State Heritage Inventory form*

<b>Image caption</b>	Aerial views of Charing Cross taken as a study for the Eastern Suburbs Railways route by the Australian Gas Light Company. Mary Immaculate Church and Friary stand out towards the centre of the photograph. Queen's Park is top right.				
<b>Image year</b>	1968	<b>Image by</b>	Milton Kent/ Australian Gas Light Company	<b>Image copyright holder</b>	State Library



## Amended – Grafton Street UCA

# NSW State Heritage Inventory form

ITEM DETAILS							
<b>Name of Item</b>	Grafton Street Urban Conservation Area						
<b>Other Name/s Former Name/s</b>	The Grafton Estate						
<b>Item type</b>	Built Area.						
<b>Item group</b>	Residential and retail buildings						
<b>Item category</b>	Terraced, freestanding residences and retail buildings. Streetscape						
<b>Area, Group, or Collection Name</b>	Grafton Street Urban Conservation Area						
<b>Street number</b>	All addresses						
<b>Street name</b>	Grafton Street, Nelson Street, Oxford St, Leswell St						
<b>Suburb/town</b>	Bondi Junction				<b>Postcode</b>	2022	
<b>Local Government Area/s</b>	Waverley Council						
<b>Property description</b>	Various						
<b>Location - Lat/long</b>	<b>Latitude</b>	-33.890639			<b>Longitude</b>	151.247378	
<b>Location - AMG</b>	<b>Zone</b>	MGA Zone 56 (GDA 94)	<b>Easting</b>		<b>Northing</b>		
<b>Owner</b>	Multiple						
<b>Current use</b>	Mixed residential, offices, retail/commercial						
<b>Former Use</b>	Rural grazing. Residential, commercial.						





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<b>Statement of significance</b>	<p>The Grafton Street Urban Conservation Area has historical, aesthetic and social significance at a local level.</p> <p>The surviving built and natural fabric of the HCA has significance for its ability to demonstrate the important historical phases of the area's development, including late-19<sup>th</sup> and early 20<sup>th</sup> century speculative subdivisions and commercial development responding to growth of public transport (tramways) in mid-19<sup>th</sup> century Sydney. Residential and retail and other service buildings from the period 1880-1915 remain substantially intact within the conservation area.</p> <p>The HCA comprises streetscapes of residential and retail structures that record the aesthetic character and qualities of late 19<sup>th</sup> and early 20<sup>th</sup> Century consolidation of Bondi Junction as a commuter suburb, based on improvements in transport and the rapid expansion of suburban Sydney between 1880 and 1915.</p> <p>The street and subdivision patterns are derived from the subdivision of the land grants in the early colonial period. The grants have historic association with colonial society, including: Captain John Piper (1773-1851); Solomon Levey (1794-1833, brother of Barnett Levey, builder of <i>Waverley House</i>); Daniel Cooper; his nephew, Sir Daniel Cooper (1821-1902); and Randolph Nott, a local resident, timber merchant and former mayor of Woollahra. The gradual subdivision of the initial grant formed the existing pattern of residential and retail buildings and related outbuildings. The 19<sup>th</sup> Century subdivisions of the initial grants and the related construction provide significant examples of late 19<sup>th</sup> and early 20<sup>th</sup> Century residential streetscapes.</p> <p>In its surviving elements of built fabric, the HCA retains the potential to reveal evidence of ways of life, building and land uses that have changed or disappeared.</p> <p>The HCA has high aesthetic significance for its visual complexity derived from:</p> <ul style="list-style-type: none"><li>• The variety of private building types;</li><li>• The consistency of 19<sup>th</sup> century commercial streetscapes along Oxford St;</li><li>• The variety of significant architectural styles and scales within the range of building types.</li></ul> <p>The HCA contains aesthetically significant items of architectural excellence dating from the major period of its development. The differing architectural forms, styles and scale of the houses and shops, and the variety of groupings within the precinct, illustrate the gradual and erratic nature of development of the Grafton Estate.</p> <p>The area has social significance for its association with the growth of the heritage conservation movement in Sydney during the 1960s. It was an early example of an area that received recognition by the National Trust and the Australian Heritage Commission through the efforts of the local community.</p>
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<b>Level of Significance</b>	National <input type="checkbox"/>	State <input type="checkbox"/>	Local <input checked="" type="checkbox"/>
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DESCRIPTION					
<b>Designer</b>	Various				
<b>Builder/ maker</b>	Various				
<b>Physical Description</b>	<p>The significant characteristics of the Grafton Street Conservation Area have been formed by the evolution of roadways in the Bondi Junction through its history. The strong definition of its boundaries by the elevated structure to the north of Syd Einfeld Drive (built in the 1970s), Oxford St to the south and the high-rise forms lining Oxford Street to the east. The location remains a remnant of the historic Grafton Estate now bisected by Syd Einfeld Drive, and the late-Victorian and Federation commercial streetscape of Oxford St.</p> <p>The Victorian street pattern grid of the original Grafton Estate subdivision remains evident in the wide carriageway with long, narrow lots, which are laid out on an axis perpendicular to Grafton Street.</p> <p>The topography sloping from south to north created streetscapes with repetitive stepped roof forms. The residential architecture, dominated by a variety of housing types from the late-Victorian and Federation periods, with house types including single- and two-storey attached terraces and freestanding large residences of later Victorian and Federation styles.</p>				
<b>Construction years</b>	<b>Start year</b>	1885	<b>Finish year</b>	1915	<b>Circa</b>
<b>Modifications and dates</b>	Ongoing				
<b>Further comments</b>					



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# *NSW State Heritage Inventory form*

## HISTORY

### Historical notes

> 1788 Prior to European settlement of the Sydney Basin the region was home to a group of Aboriginal tribes, bound by loose family connections and speaking variations of a common language called Darug. Those to the southern side of Sydney Harbour and Parramatta River were identified as the Wangal Clan of which Bennelong is the best known member. Following European settlement, the clan retreated to lands about Rushcutters Bay including the hillside rising to the north-east from Trumper Park and to areas further to the east and south-east, including the lagoon then behind the sand dunes fronting Bondi Beach.

1788: The establishment of the settlement at Sydney Cove soon saw the development of lands to the east both by land grants to notable and influential citizens and the construction of roads and bridle paths along existing Aboriginal paths on the open ridge and down into the swampy bays of the southern harbour shores.

1805: A track is recorded as extending along the eastern ridgeline to the South Head.

1811: The route, which had been commissioned by Governor John Hunter, was developed as a road by the noted colonial road builder William Roberts, who received the first land grant at Bondi Beach in 1810, authorised by Governor Lachlan Macquarie. The road (now Oxford Street and Old South Head Road) connected the settlement at Sydney Cove with the South Head Signal Station. The east-west route followed the ridgeline separating the harbour slopes from the lands falling toward Botany Bay to the south.

1814: John Piper was recommended to Governor Macquarie for a grant of land. Piper, a military officer, had arrived in Sydney on the *Pitt* in February 1792, before being granted his request to go to the penal settlement on Norfolk Island. Piper's close friendship with John Macarthur involved him in the power struggle between the military and the early governors that resulted in the Rum Rebellion of 1808. In 1802 Piper was acquitted at his court martial for supporting Macarthur in a duel in 1801. Piper returned to Norfolk Island in 1804 and was appointed commandant when Lieutenant-Governor Joseph Foveaux left on sick leave. Piper oversaw the relocation of most of the settlement to New Norfolk in Tasmania during the Napoleonic wars. He returned to Sydney in 1810, then travelled to England with his companion, Mary Ann Shears (the daughter of a convict who Piper met on Norfolk Island), their 2 boys and his daughter from an earlier relationship. From England, he sought a new position in the colony and was appointed Naval Officer responsible for collecting customs duties, excise on spirits and harbour dues and control of lighthouses. He married Mary Anne by special licence in 1816.

1816: Piper laid the foundation stone for his new house at Point Piper, then known as Eliza Point. The stone was laid in front of a large gathering and performed by a newly established society of military masons.

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1819: Piper appointed a magistrate by Governor Macquarie. He was chairman of the Bank of NSW in 1825 and sat on committees including the Australian Agricultural Company and the Scots Church.

1820: Piper's promised grant of 190 acres was formalised on 10 February.

c1822: Colonial tracks has increased in number by this time, with secondary trails linking outposts of settlement to the South Head Road. Prominent among these were the Frenchman's Road leading to Governor Macquarie's watch house at distant La Perouse and Captain Piper's Road, leading down to Piper's Henrietta Villa at Point Piper and the winding trail across the slopes of the Rushcutters Valley, leading to Daniel Cooper's gin distillery deep in the valley.

1822: Captain Piper, Mary Ann and their children moved into *Henrietta Villa*, reported to have cost £10,000. The classically designed house in its picturesque setting was unrivalled in architectural style at the time. The architect is unknown but may have been Henry Kitchen. Piper led an extravagant lifestyle at Point Piper, which became the centre of Sydney's social scene. He entertained lavishly, hosting events in the domed ballroom, water parties and picnics in the grounds. A row of brass cannon stood on the lawn. Noted colonial artist Joseph Lycett was so impressed with the villa he described it in his *Views in Australia* published in 1824, as 'the most superb residence in the colony'.

1824: Piper's Estate had grown to 1500 acres by grant and purchase, encompassing much of the land from Rose Bay to the South Head Road.

1825: Piper is declared insolvency due to gambling debts.

1826: Mortgagors Daniel Cooper and Solomon Levey (convict, emancipist and merchant) assumed control of Piper's lands. Levey - who was briefly married to and had a son with Ann Roberts, the daughter of Bondi's first land owner William Roberts - then went to London to establish a buying office for Cooper & Levey and to raise money. In London he chartered several ships to send merchandise to Sydney and acted as an agent for Jewish emigration to NSW. He never remarried. Ann Roberts, who had taken a lover and run away, died of maltreatment in February 1824.

c1827: Solomon Levey's brother Barnett Levey began building *Waverley House* on South Head Road, the first house in the district that later took its name. Barnett was the colony's first Jewish free settler, arriving in December 1821. His business ventures were numerous, including windmill proprietor, developer, speculator, vegetable grower, jeweller and originator of Sydney's first lending library. He also founded Australia's first permanent theatre, the Theatre Royal in the Royal Hotel on George Street in 1829, and is described as the father of Australian theatre.



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1828: Cooper & Levey were by now among the colony's largest owners of stock. They later acquired, by grant or purchase, most of the land in Waterloo, Alexandria, Redfern, Randwick and Neutral Bay

1830: The Copper and Levey title was authenticated by a new grant of 1130 acres on 23 March.

1833: Solomon Levey died in London after a short illness after losing a fortune on a failed settlement venture on the Swan River in Western Australia.

1847: Daniel Cooper became sole owner of the former Point Piper estate, which covered 1130 acres across Woollahra, parts of Edgecliff, Double Bay, Point Piper, Bellevue Hill and Rose Bay. What then became the Cooper Estate remained largely leasehold land for much of the 19<sup>th</sup> century. Cooper returned to England from where he and his descendants progressively leased and subdivided the estate as the market for lands about the harbour slopes grew with the improvement of tram transport.

1854: Cooper died. Sales of his land ceased and the land was let on a number of 99-year leases offered in West Woollahra.

1857: Several leases were acquired for speculative purposes by Randolph Nott (a local resident, timber merchant and mayor of Woollahra in 1867). The leases covered an area of 52 acres and 3 roods between Edgecliff Road and Old South Head Road (now Oxford St), being shown as lots 94 to 100 on an 1844 survey of the estate. These were later subdivided as the Grafton estate. The lease agreement required Nott to invest £10,000 on buildings within 15 years and to charge any sub-leases at £11 per foot.

1859: Waverley municipality is established.

1861: Nott achieved some sub-letting prior to his leases being sequestered by the NSW Supreme Court on 30 April that year.

1862: Daniel Cooper's nephew (later Sir Daniel Cooper) repurchased the estate when auctioned by the court.

1870s: Settlement remained concentrated along Old South Head Road, now Oxford Street, driven by the establishment of regular horse-drawn omnibus services and, more significantly, horse and later steam-powered tram services from 1881 onwards.





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1874: Land to the eastern end of the estate leased as the Adelaide Brewery. The brewery, originally owned by Simms Chapman and Gleeson, was taken over by Burrows and Gleeson in 1876 and renamed the Waverley Brewery. The site was later sold and developed, initially as Fletchers Foundry then as Holy Cross College in 1908 and later sold to an education consortium operating as Reddam House School.

1880s: During the land boom of the 1880s Cooper subdivided the resecured lands, offering the land for sale as freehold allotments. Subdivision sales provided sites for construction of late Victorian two-storey speculative terraces over the former grant land. The change to electrification of tram services and the consolidation of the Tea Gardens as Bondi Junction provided further emphasis for infill of the remaining open sites by attached and freestanding residences during the Federation period.

1890: Economic depression created a complex pattern of development on the estate, ranging from large freestanding residences largely of later Victorian styles, interspersed with single and two-storey terrace rows and late-Federation style terraces and cottages. The estate, located within the Woollahra municipality, remained relatively static through the early and mid years of the 20<sup>th</sup> century.

1885: The sale advertised as the Grafton Estate was offered for sale on Saturday April 18, 1885. The estate subdivision was planned by noted Prussian architect and surveyor Ferdinand Reuss working as Reuss and Haddon. The subdivisions were progressively sold.

1887: The Centennial Park Celebration Act of 1887 provided land for sale near, at the outer areas of the park, which had once been a common. The land was sold for gentlemen's houses in order to finance construction and landscaping of the parklands.

1902: An extensive tram depot was constructed on part of Centennial Park at the western end of the former Grafton estates. The saw-tooth roofed structure detailed in Federation style was opened to service electric trams. Smaller Federation-style buildings fronted Oxford Street screening much of the depot from the street.

1913: Sir William Cooper agreed – after ongoing requests, from 1885, for the state government to buy a large area of native bushland within the Cooper estate for recreation - to give the whole of the gully from Victoria Road, Bellevue Hill to Manning Road, Double Bay to the Council as a park. The land, to be known as Cooper Park, was formally dedicated to Woollahra Council on 14 May 1917.

1960: Significant transport changes in the later 20<sup>th</sup> century, beginning with the cessation of tram services in 1960, badly affected fabric in the Grafton Estate. resulted in substantial demolition of residential fabric in the Grafton Estate.



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	<p>1976-79: Construction of the eastern suburbs railway, completed in 1979, and Syd Einfeld Drive in 1976-79 resulted in substantial demolition of residential buildings in the estate.</p> <p>2002: Transfer of lands south of Syd Einfeld Drive from Woollahra Council to Waverley Council. This removed the existing Grafton precinct from the West Woollahra Conservation Area, identified in the Woollahra Council LEP.</p> <p>2012: The section of the conservation area transferred to Waverley Council was identified as a conservation area in the Waverley LEP 2012.</p>
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THEMES	
<b>National historical theme</b>	<p>4 Building settlements, towns and cities.</p> <p>9 Marking the phases of life.</p>
<b>State historical theme</b>	<p>Towns, suburbs and villages-activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages.</p> <p>Land tenure-activities and processes for identifying forms of ownership and occupancy of land and water; Accommodation activities associated with the provision of accommodation, and particular types of accommodation.</p> <p>Persons-activities of, and associations with, identifiable individuals, families and communal groups.</p>

APPLICATION OF CRITERIA	
<b>Historical significance SHR criteria (a)</b>	<p>The area records the pattern of later 19<sup>th</sup> century subdivision of the Cooper Estate, an area initially within the vast Captain Piper Estate. It was acquired by Daniel Cooper around 1826 and, after short lease, in 1867 by Randolph Nott, a local resident, timber merchant and mayor of Woollahra. It was reacquired by the Cooper family and subsequently subdivided and sold as the Grafton Estate between 1885 and the early 1900.</p> <p>The Conservation Area demonstrates the process of town consolidation resulting from improved transport to Sydney associated with the land booms of the late 19<sup>th</sup> and early 20<sup>th</sup> centuries.</p>
<b>Historical association significance SHR criteria (b)</b>	<p>The area has general association with colonial identities Captain Piper, Daniel Cooper and Solomon Levey, the former mayor of Woollahra Randolph Nott and Sir Daniel Cooper and noted surveyor/architect Ferdinand Reuss. These associations are general and do not provide a high level of significance under this criterion of assessment.</p>



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<b>Aesthetic significance</b> SHR criteria (c)	<p>The Conservation Area demonstrates the aesthetic styles of late Victorian and Federation architecture applied to densely settled housing estates. The resulting streetscapes of close-set freestanding housing, speculative terrace-rows residences, shops with cantilevered awnings of the Victorian and Federation era contribute to the aesthetic significance.</p> <p>Subdivision and development as a residential location in the late 19<sup>th</sup> and early 20<sup>th</sup> century has established a group setting of notable freestanding and attached residences combining residences of late Victorian Italianate, Filigree and Gothic detailing with later Federation styled residences. Sandstone and cast iron palisade fencing and sandstone walls reinforce the quality of the residences and former streetscape now impacted by the raised carriageway of Syd Einfeld Drive.</p>
<b>Social significance</b> SHR criteria (d)	<p>The Conservation Area provides a significant demonstration of the building forms, setting, living conditions and variety of population of metropolitan Sydney of the late 19<sup>th</sup> and early 20<sup>th</sup> centuries.</p>
<b>Technical/Research significance</b> SHR criteria (e)	<p>The Conservation Area demonstrates the trade skills, material quality and construction techniques of residential housing of suburban Sydney in the later 19<sup>th</sup> and early 20<sup>th</sup> Centuries. It also demonstrates the evolving pattern of town planning and land subdivision in Waverley Municipality from the time of initial land grants (1830s) to the Inter-War period of the 20<sup>th</sup> century.</p>
<b>Rarity</b> SHR criteria (f)	<p>The form of construction and the remnant streetscape are representative of later 19<sup>th</sup> and early 20<sup>th</sup> century development of the Grafton Estate now impacted by expansion of the Bondi Junction commercial area. The area represents a setting increasingly rare in Waverley.</p> <p>The conservation area is rare in the Waverly municipality, combining a core area of late 19<sup>th</sup> century residential and commercial consolidation with subsequent Federation era residential construction that was to spread extensively into surrounding areas. Comparison may be made with other tram route suburbs of the later 19<sup>th</sup> century including nearby Paddington, central Newtown and Surry Hills.</p>
<b>Representativeness</b> SHR criteria (g)	<p>The pattern and variety of residential and commercial forms are representative of the complex pattern of residential construction resulting from improved transport, access to harbour views and the size of subdivided lots within the Grafton Estate. The resulting urban setting identifies the skills of noted surveyor/architect Ferdinand Reuss who with his associate Halloran planned the subdivisions of the Grafton Estate in 1885.</p>
<b>Integrity</b>	<p>The immediate and confined area retains a high degree of integrity although visually isolated from the greater extent of the Grafton Estate to the north and east.</p>



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## HERITAGE LISTINGS

Heritage listing/s	Waverley and Woollahra Joint Local Environmental Plan 1991 Bondi Junction Commercial Centre
	Waverley Local Environmental Plan (Bondi Junction Centre) 2010
	Waverley Local Environmental Plan 2012, Schedule 5, Conservation Area C10

## INFORMATION SOURCES

Include conservation and/or management plans and other heritage studies.

Type	Author/Client	Title	Year	Repository
Heritage Study	Perumal Murphy	Waverley Heritage Study	1990	Waverley Council
DCP	Woollahra Council	Woollahra Heritage Conservation Area DCP 2003	2003	Woollahra Local History Centre

## RECOMMENDATIONS

Recommendations	<p>A Heritage Impact Report is to accompany applications for works to all sites within the Conservation Area.</p> <p>All buildings erected prior to 1939 are to be considered contributory elements and are to be retained with limited and sympathetic additions maintaining the core form, materials, details, finishes and streetscape contribution of the building.</p> <p>Streetscape elements including fences, retaining walls and planting are to be retained in any works within the Conservation Area.</p> <p>All demolitions are to be accompanied by a photographic archival record.</p>
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## SOURCE OF THIS INFORMATION

Name of study or report	Woollahra Heritage Conservation Area DCP 2003		
Item number in study or report			
Author of study or report	Woollahra Council		



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# NSW State Heritage Inventory form

Inspected by	Colin Brady and Anne McGoverne
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NSW Heritage Manual guidelines used?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
This form completed by		Date Oct 2019

## IMAGES

Image caption	Grafton Street Conservation Area. [REDACTED]				
Image year	2015	Image by	Waverley Council	Image copyright holder	Waverley Council



Grafton Street Conservation Area Highlighted in black to upper left of Map.





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## IMAGES

<b>Image caption</b>	1943 aerial survey showing Grafton Street prior to construction of Syd Einfeld drive with terraced residences to opposing – northern side of street.				
<b>Image year</b>	1943	<b>Image by</b>	Mapping NSW Six Maps	<b>Image copyright holder</b>	Mapping NSW





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# *NSW State Heritage Inventory form*

## IMAGES

<b>Image caption</b>	1961 aerial survey showing Grafton Street prior to construction of Syd Einfeld drive with street trees firmly established.				
<b>Image year</b>	1961	<b>Image by</b>	Waverley Council	<b>Image copyright holder</b>	Waverley Council



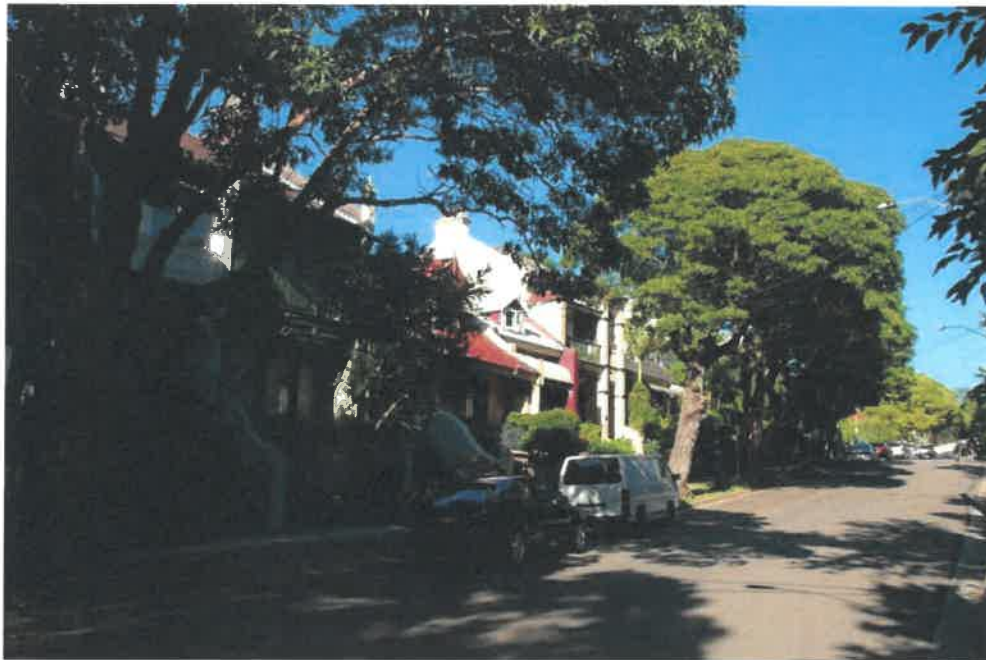


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# *NSW State Heritage Inventory form*

## IMAGES

<b>Image caption</b>	Grafton Street looking south-west. <span style="background-color: black; color: black;">[REDACTED]</span> <span style="background-color: black; color: black;">[REDACTED]</span> <span style="background-color: black; color: black;">[REDACTED]</span>				
<b>Image year</b>	2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady







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## IMAGES

<b>Image caption</b>	Federation period residence to south side of Grafton Street viewed looking south.				
<b>Image year</b>	2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady





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# *NSW State Heritage Inventory form*

## IMAGES

<b>Image caption</b>	Late Victorian-styled residence to south side of Grafton Street viewed looking south.				
<b>Image year</b>	2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady







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# *NSW State Heritage Inventory form*

## IMAGES

<b>Image caption</b>	Grafton Street viewed looking east from corner of Nelson Street.				
<b>Image year</b>	2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady





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# *NSW State Heritage Inventory form*

## IMAGES

<b>Image caption</b>	Victorian Filigree-style residence set above sandstone retaining wall to south side of Grafton Street viewed looking south-west.				
<b>Image year</b>	2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady





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# *NSW State Heritage Inventory form*

## IMAGES

<b>Image caption</b>	Victorian Italianate residence at corner of Grafton and Leswell Streets with Victorian Filigree terraces rising to Oxford Street.				
<b>Image year</b>	2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady





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# NSW State Heritage Inventory form

## IMAGES

<b>Image caption</b>	Last remnant of the Victorian streetscape along Oxford Street that grew along the tramline. It is an important remnant of the Visual presentation of Bondi Junction in the late 19 <sup>th</sup> and early 20 <sup>th</sup> century, now abutted by high-rise towers of the modern era.				
<b>Image year</b>	2019	<b>Image by</b>		<b>Image copyright holder</b>	Google





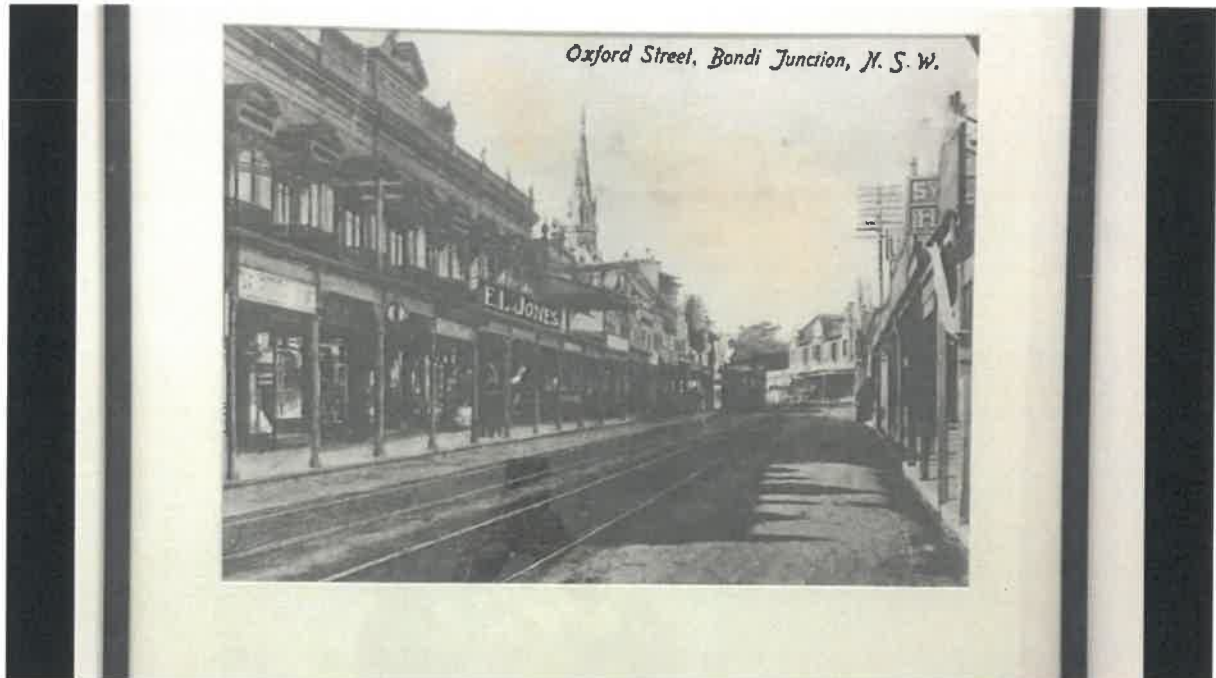


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# NSW State Heritage Inventory form

## IMAGES

Image caption	Oxford Street shopping strip photographed in the Victorian era.				
Image year	C1880	Image by	Colin Brady	Image copyright holder	Waverley Library





## Reduced – Palmerston HCA

# NSW State Heritage Inventory form

ITEM DETAILS						
Name of Item	Palmerston Avenue Urban Conservation Area					
Other Name/s Former Name/s						
Item type	Conservation Area					
Item group	Residential buildings					
Item category	Residential flat buildings, streetscape					
Area, Group, or Collection Name	Palmerston Avenue Urban Conservation Area					
Street number	All addresses					
Street name						
Suburb/town	Bronte				Postcode	2024
Local Government Area/s	Waverley Council					
Property description						
Location - Lat/long	Latitude				Longitude	
Location - AMG	Zone	MGA Zone 56 (GDA 94)	Easting		Northing	
Owner	Multiple					
Current use	Residential					
Former Use						
Statement of significance	The significant streetscape of residential flats buildings at the corner of Palmerston Avenue and Dickson Street in Bronte provide a benchmark for the beginnings of stylistic change of the residential flat building from Inter-War to Post-War periods. The buildings are of cohesive forms and massing. Most residences were built immediately post-WWII. The area is of local, historic and aesthetic significance.					
Level of Significance	National <input type="checkbox"/>		State <input type="checkbox"/>		Local <input checked="" type="checkbox"/>	

DESCRIPTION	
Designer	Various
Builder/ maker	Various
Physical Description	Consistent construction during the immediate Post-War years has provided a streetscape at the corner of Palmerston Avenue and Dickson Street of residential flat buildings of cohesive form alignments and massing. Most of the buildings are two or three storeys of height and a benchmark for the beginnings of stylistic change of the residential flat building from Inter-War to Post-War periods. These residences were built post-1945 and constructed in decorative, stepped face brick mostly with parapets. Residential flat building commenced in Sydney in the mid Federation period with the first recorded example being constructed in 1906 in

# NSW State Heritage Inventory form

	Windmill Street, Millers Point. Housing shortages of World War I saw many existing large Federation residences converted to flats. The process continued through the Inter-War period with new construction adapting revival forms and the newly evolved Art Deco and Functionalist styles. Stylistic influences were often combined with single and double fronted hip roofs common to all styles.					
<b>Physical condition and Archaeological potential</b>						
<b>Construction years</b>	<b>Start year</b>	1946	<b>Finish year</b>	C1956	<b>Circa</b>	<input type="checkbox"/>
<b>Modifications and dates</b>	Various					
<b>Further comments</b>						

## HISTORY

<b>Historical notes</b>	<p>1860s: The conservation area covers part of the original grounds of Palmerston House, erected for William Spain to the design of Edmund Blackett in the 1860s.</p> <p>1865: The Palmerston Estate of 15 acres was marketed as:</p> <p>Mansion and Grounds, Nelson Bay, near Waverley, For sale, by Private Contract, in consequence of the proprietor's projected visit to Europe, that beautifully situated first-class commodious Family Mansion, "Palmerson" Waverley, overlooking Bondi Bay and the ocean, together with the extensive highly ornamental grounds, containing an area of 15 acres 2 roods 34 perches. Palmerston is substantially built of stone from a design by Mr. E. T. Blackett, the well-known architect, who also superintended its erection. It contains large, lofty, well-proportioned drawing and dining rooms, library, seven bedrooms, bathroom (with hot and cold water), kitchen, laundry, butler's pantry and every desirable family convenience. At the rear is an enclosed paved yard, and detached (screened by luxuriant shrubbery from the house) is a well-appointed stable, coach-house, hayloft, groom's room, stable, yard, &amp;c. The whole of these premises are well drained; and, on an elevated part of the grounds, considerably above the house, is a large stone reservoir, into which flows a pure, and never-failing stream of good water, which is conveyed to the house by iron pipes, copiously supplying the bedrooms, bathroom, kitchen, laundry, &amp;c. Nothing can exceed the extreme beauty of the grounds, which at great expense have been artistically laid out with skilful judgment and tasteful pleasing effect. An extensive lawn of soft velvet turf, with handsome fountain and miniature lake in the centre fronts the house.</p> <p>The surrounding domain comprises sunny glades, opening into shrubberies of choice trees of varied hues and foliage, and a delightful valley bounded by rising undulating ground studded with clumps of evergreens and flowering shrubs, and through which a pretty brook winds its tortuous way. This rivulet takes its rise from the high land, and is a very pleasing feature in the landscape. It falls into the valley by a series of romantic waterfalls, near each of which crossing the stream are picturesque wooden bridges. The banks are turfed with a rich grass sward, and</p>
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# NSW State Heritage Inventory form

	<p>here and there are tastefully disposed grottoes and rockeries covered with ferns and water plants of every description. On one portion of the grounds are a fine orangery, a banana plantation, an orchard, and kitchen garden.</p> <p>For further particulars and inspection of plan, apply in Richardson and Wrench, Pitt Street</p> <p>1872: Palmerston purchased by the Sydney merchant John De Villiers Lamb for 6250 pounds. The estate was bounded to the south by Gipps Street and to the east by Dickens Street.</p> <p>Progressive subdivision of the estate saw the establishment of Palmerston Avenue from Murray Street to Dickson Street, enabling residential construction and the southern side of Bronte Public School.</p> <p>Vacant land to the west was utilized as a quarry until the 1940s.</p> <p>The Post-War extension of Palmerston Avenue to the west provided land for subdivision and construction of residential flat buildings in the immediate post-WWII period.</p>
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THEMES	
<b>National historical theme</b>	4. Building settlements and towns
<b>State historical theme</b>	Towns, suburbs and villages: activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages; Land tenure: activities and processes for identifying forms of ownership and occupancy of land and water.

APPLICATION OF CRITERIA	
<b>Historical significance</b> SHR criteria (a)	The residential flat buildings at the corner of Palmerston Avenue and Dickson Street benchmark for the beginnings of stylistic change of the residential flat building from Inter-War to Post-War periods.
<b>Historical association significance</b> SHR criteria (b)	The conservation area is associated with the original grounds of Palmerston House, erected for William Spain to the design of Edmund Blackett in the 1860s. The Palmerston Estate of 15 acres was marketed in 1865 and in 1872 was purchased by the Sydney merchant John De Villiers Lamb for 6250 pounds.
<b>Aesthetic significance</b> SHR criteria (c)	Consistent construction during the immediate Post-War years provided a streetscape of cohesive form alignments and massing. Most of the buildings are two or three storeys of height. They were built post-1945 and constructed in decorative, stepped face brick mostly with parapets. Residential flat building commenced in Sydney in the mid Federation period with the first recorded example being constructed in 1906 in Windmill Street, Millers Point. The process continued through the Inter-War period with new construction adapting revival forms and the newly evolved Art Deco and Functionalist styles. Stylistic influences were often combined with single and double fronted hip roofs common to all styles.

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<b>Social significance</b> SHR criteria (d)	The residential flat buildings are reflective of and emerged because of the population boom and housing shortages after World War I and World War II, which resulted in enormous social change.
<b>Technical/Research significance</b> SHR criteria (e)	
<b>Rarity</b> SHR criteria (f)	
<b>Representativeness</b> SHR criteria (g)	
<b>Integrity</b>	Mostly intact

## HERITAGE LISTINGS

<b>Heritage listing/s</b>	Waverley Local Environmental Plan 1996 (Amendment No. 33)
	Waverley Local Environmental Plan 2012, Schedule 5 Conservation Area C6

## INFORMATION SOURCES

Include conservation and/or management plans and other heritage studies.

Type	Author/Client	Title	Year	Repository
Heritage Study	Perumal Murphy	Waverley Heritage Study	1990	Waverley Council
Heritage Study	Ines Meyer and Colin Brady	Waverley Heritage Assessment	2007	Waverley Council

## RECOMMENDATIONS

<b>Recommendations</b>	<p>A Statement of heritage impacts is to be prepared for proposed development in the conservation area.</p> <ul style="list-style-type: none"> <li>To conserve the character of the proposed Palmerston Avenue heritage urban conservation area, it is recommended that all items contributing to the conservation area be retained.</li> <li>All additional works should be consistent to the scale, detail and alignment of existing built forms.</li> <li>New construction should retain and enhance the relationship of built form to the topography and street frontage.</li> <li>New construction should also respond to the topography and hard and soft landscape.</li> <li>It should adopt the established face brick and tile character of the setting with decks, balconies and verandas set into the building and not cantilevered over open space.</li> <li>New works should also maintain existing open space around residential flat buildings and associated tree planting.</li> </ul>
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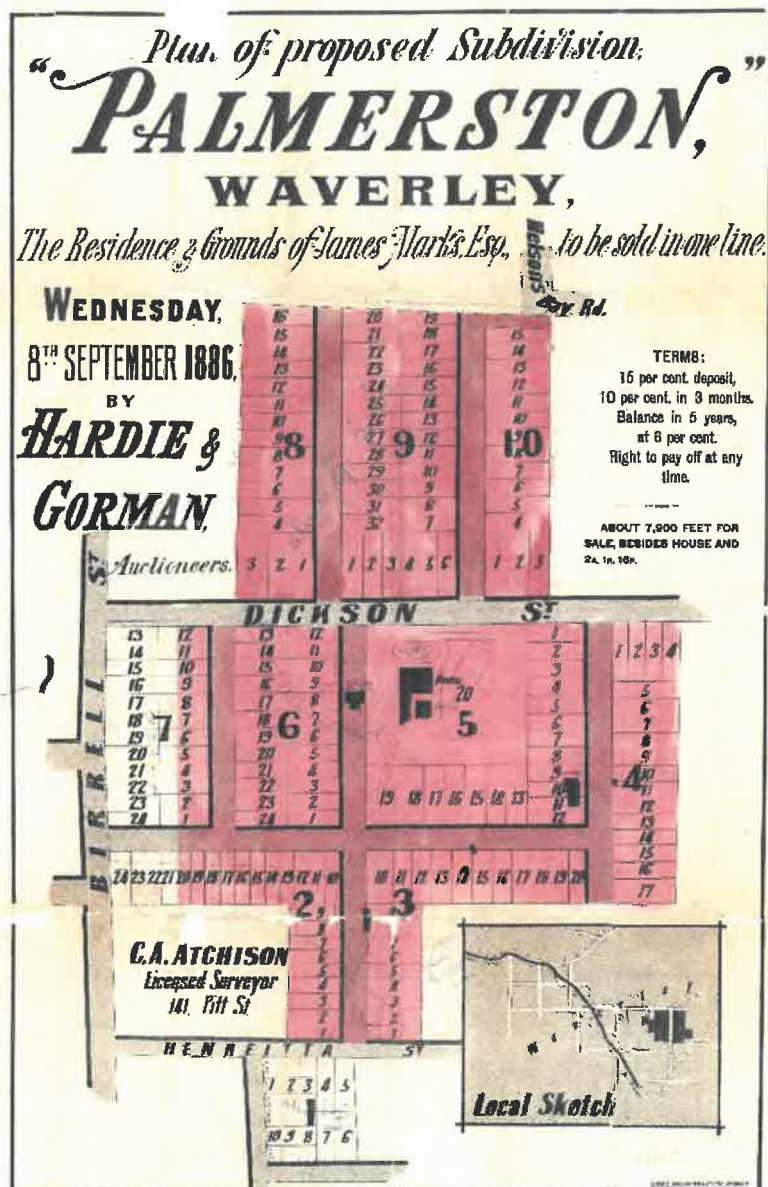
# NSW State Heritage Inventory form

	<ul style="list-style-type: none"> <li>• Additional construction should only be of secondary nature to the established building forms and landscape features.</li> <li>• New vehicle entries should be limited and of single vehicle width, constructed in close response to the established topography.</li> <li>• In case of balcony additions or alteration, metal or face brick balustrades should be preferred to glazed balustrading.</li> <li>• Preference should also be given to pitched roof forms, while all new roofs should respond to and defer to the established terra cotta tile roof-scape.</li> <li>• Any upward addition to existing buildings should be provided within existing roof voids and related localised projections of roof forms.</li> <li>• Exposure of 'in roof' additions to the street is to be minimal.</li> <li>• All roof additions are to retain and enhance existing traditional roof detailing in particular lined eaves, ridge hip and barge detailing.</li> <li>• Traditional finishes and detailing of existing Post-War flats is to be retained and enhanced. External face brick should not be rendered while roof tiles are only to be replaced with terra cotta tiles of like colour finish and profile.</li> <li>• Painted timber window frames and sashes should be retained in existing patterns including secondary horizontal glazing bars.</li> <li>• Lobbies stairways and entry doors are significant elements of original design in Inter War flats.</li> <li>• Detailing to these areas should be maintained and enhanced by appropriate lighting, colour finishes and floor coverings.</li> <li>• Original finishes including etched or leadlight glazing, floor tiling, architectural terra cotta (faience) mouldings, timber panelling and moulded plaster ceilings should be maintained and conserved.</li> <li>• Externally sandstone paving and planter beds, low rendered or stone fence lines, wrought metal railings and established planting should be maintained.</li> <li>• No vehicle parking or garage/carport structures should be constructed forward of the established building lines.</li> </ul>
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SOURCE OF THIS INFORMATION			
Name of study or report	Waverley Heritage Assessment	Year of study or report	2007
Item number in study or report	8		
Author of study or report	Colin Brady		
Inspected by			
NSW Heritage Manual guidelines used?		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
This form completed by	Colin Brady and Anne McGoverne	Date	2012 to 2013 Updated 2020
IMAGES			

Image caption	Palmerston Estate proposed subdivision land sale 1886				
Image year	1886	Image by		Image copyright holder	State Library of NSW

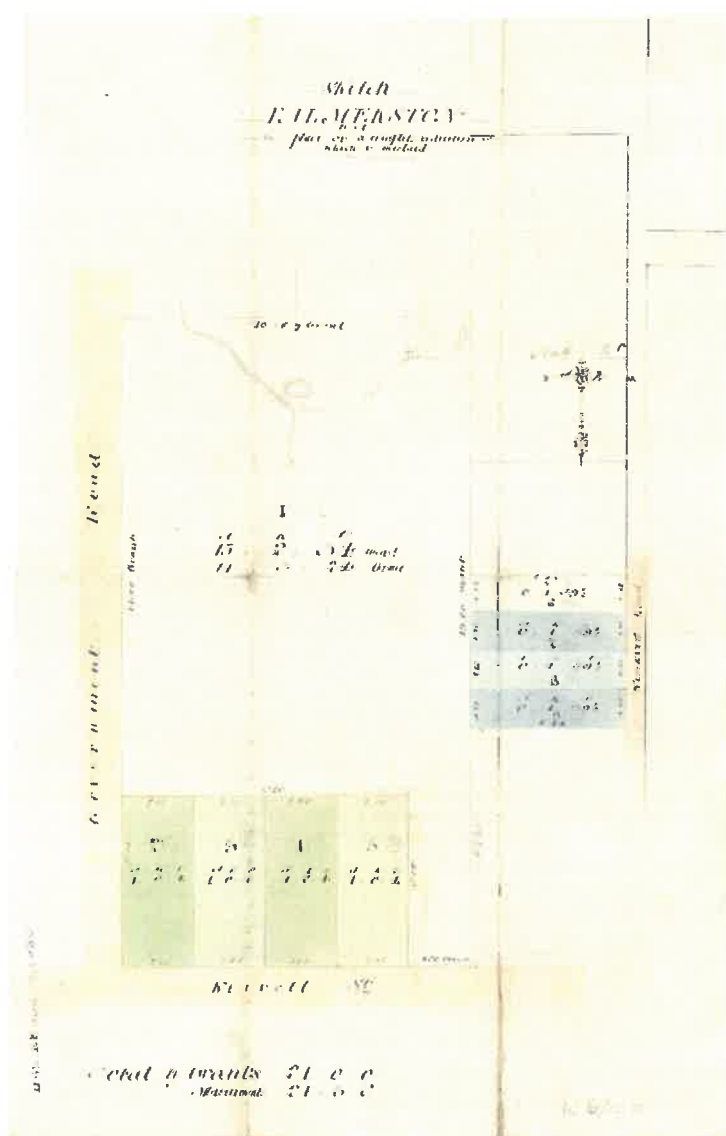
# NSW State Heritage Inventory form



## IMAGES

Image caption	Undated early survey for land that became the Palmerston Estate				
Image year	Undated	Image by		Image copyright holder	State Library of NSW

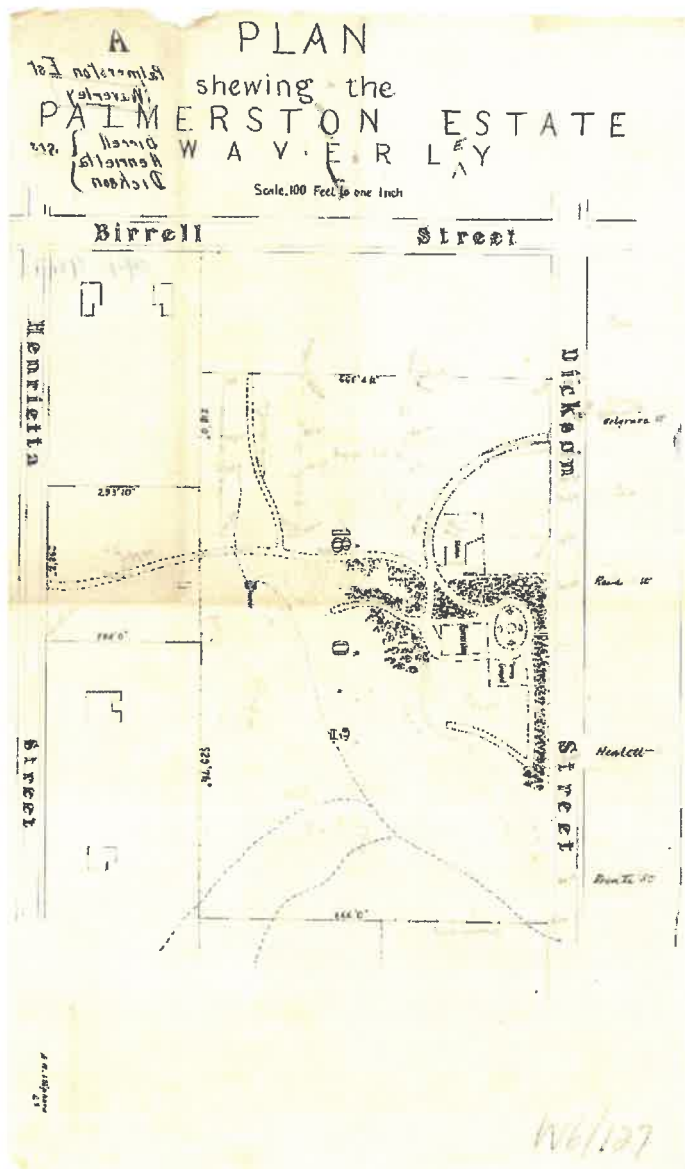
# NSW State Heritage Inventory form



## IMAGES -

<b>Image caption</b>	Palmerston Estate plan including house location				
<b>Image year</b>	Undated	<b>Image by</b>		<b>Image copyright holder</b>	State Library of NSW

# NSW State Heritage Inventory form



# NSW State Heritage Inventory form

## IMAGES

Image caption	1926 land sale subdivision poster for Palmerston House and Grounds				
Image year	1926	Image by		Image copyright holder	State Library of NSW

**WAVERLEY**

DICKSON ST OFF BIRRELL ST

BIRRELL ST  
From City BUS ROUTE

Blandford Av

**PALMERSTON HOUSE AND GROUNDS**

FOR AUCTION SALE  
ON THE GROUND  
AT **SATURDAY 4<sup>TH</sup> DECEMBER**  
3 P.M. — 1926 —

**HARDIE & CORMAN**

— Proprietary Ltd —  
— Auctioneers Martin Place Sydney —

NEWLETT ST 15 Magnificent Allotments and  
"PALMERSTON" 8 Self-contained  
Flats

**TERMS**  
DEPOSIT 25%  
BALANCE in 36 equal  
monthly instalments  
INTEREST 6%

**TORRENS TITLE**

Victor Cornfield.  
Licensed Surveyor - R.P.A.  
3 Martin Place, Sydney.

BLANDFORD AV

DICKSON STREET

PALMERSTON AV

BRONTE R.

LANE 20' N 18'

NOTE: All dimensions subject to R.P.A. file.

Copyright © C.M.L. 11170



# *NSW State Heritage Inventory form*

## IMAGES

Image caption	Grounds of Palmerston House				
Image year	Undated	Image by		Image copyright holder	State Library of NSW



# *NSW State Heritage Inventory form*

## IMAGES

Image caption	Post-World War II residential flat buildings conserved in the Palmerston Urban Conservation area. The apartments mark the stylistic transition from Inter-War to Post-War design.				
Image year	2020	Image by		Image copyright holder	Google



## Amended – South Bronte Headland-Calga LCA

## *Heritage Data Form*

ITEM DETAILS						
<b>Name of Item</b>	South Bronte-Calga Headland Landscape Conservation Area					
<b>Other Name/s</b>	Calga Reserve					
<b>Former Name/s</b>						
<b>Item type</b> (if known)	Landscape					
<b>Item group</b> (if known)	Landscape					
<b>Item category</b> (if known)	Bronte Cutting					
<b>Area, Group, or Collection Name</b>						
<b>Street number</b>						
<b>Street name</b>						
<b>Suburb/town</b>	Bronte				<b>Postcode</b>	2024
<b>Local Government Area/s</b>	Waverley					
<b>Property description</b>	The LCA includes the Bronte Cutting, the former tram corridor that connected Macpherson Street to Bronte Beach. It forms part of a much larger cliff-scape along the esteemed Coastal Walk from Bronte to Bondi with dramatic topography and geological attributes combined with sweeping ocean views.					
<b>Location - Lat/long</b>	<b>Latitude</b>	-33.907390			<b>Longitude</b>	151.269205
<b>Location - AMG (if no street address)</b>	<b>Zone</b>		<b>Easting</b>		<b>Northing</b>	

<b>Owner</b>	Waverley Council					
<b>Current use</b>	Public reserve					
<b>Former Use</b>	Public Reserve, tramway cutting					
<b>Statement of significance</b>	<p>South Bronte Headland Landscape Conservation Area (LCA) has significant natural heritage values and its history and attributes as a cultural landscape. The location is significant for its long history of seaside bathing for women and men and for its association with the beginnings of the surf lifesaving movement. It supports the heritage-listed Bronte Ocean Pool (and its former array of dressing sheds) and the c.1911 Bronte tram cutting. It also has historic associational value with Bronte Park.</p> <p>The headland has significant aesthetic value based in its dramatic sandstone cliff-scape and the expansive views north toward Bondi Beach available from the southern side of Bronte. It is associated with civic consciousness and the municipal development of modern conveniences and amenity for locals. The area's scenic features are held in high esteem by locals and tourists who utilise Calga Cutting and the adjoining Calga Reserve to traverse the coastal walkway from Bronte to Coogee. The headland, including the Calga Cutting, is well-known and esteemed as a prominent corridor of coastal public land, with dramatic topographical and geological attributes combined with sweeping ocean views.</p> <p>The headland also has local historic value as part of the Bronte arrival experience for tram travellers from the early 1910s. The Calga Cutting, carved from the sandstone for the former tram track, has technical value as an engineering exemplar of early 20th-century municipal council coastal landscape civic works that improved access to the city's beaches. Similar projects occurred at Tamarama Marine Drive and the development of the Havelock Avenue tram cutting at South Coogee (c.1901).</p>					
<b>Level of Significance</b>	State <input type="checkbox"/>		Local <input checked="" type="checkbox"/>			

DESCRIPTION	
Designer	N/A
Builder/ maker	Waverley Council



<b>Physical Description</b>	<p>South Bronte Headland is an aesthetically significant natural reserve that is part of and contributes to a much longer cliff-scape between Bronte Beach and Clovelly Beach. The area stretches from a line to the west of the Bronte Ocean Baths south to the line of Trafalgar Street.</p> <p>Approximately three-quarters of the existing LCA includes Calga Cutting, the former tram corridor that connected Macpherson Street to Bronte Beach. The LCA is to be extended to include Calga Reserve, which lies between the LCA and Calga Avenue. The western edge of the LCA is defined by the property boundaries of a grouping of houses which lie along the eastern side of the most southerly portion of Bronte Road.</p> <p>Since the cessation of the tram service to Bronte, Calga Cutting has been used as a vehicular parking area and pedestrian corridor.</p>					
<b>Physical condition and Archaeological potential</b>	<p>The LCA is in reasonable overall condition.</p> <p>The landscape has potential to contain Aboriginal archaeological remains. This would occur where there are intact, undisturbed natural soil profiles or sandstone platforms and outcrops which have previously been disturbed. Little colonial archaeological potential exists for this site, other than in the exploration of the construction and explosive techniques used to establish Calga Cutting.</p>					
<b>Construction years (re cultural landscape)</b>	<b>Start year</b>	c.1910	<b>Finish year</b>	Ongoing	<b>Circa</b>	<input type="checkbox"/>
<b>Modifications and dates</b>						
<b>Further comments</b>	<p>Three key documents relating to the development of the tramline to Bronte are held at the State Archives Office of NSW. These are:</p> <ul style="list-style-type: none"> <li>• The Government Transport correspondence files 1902–1937 Box 8/1414, <i>Extension Waverley Terminus to Bronte Beach</i>. This is an extensive file that gives a detailed description of the development of the line from the perspective of the tramway bureaucracy.</li> <li>• A 1909 NSW Parliamentary Standing Committee on Public Works Inquiry (NSWLAVP) into the expediency of extending the tramway to Bronte Beach. This is another extensive document that contains detailed submissions by several local residents and includes descriptions of the suburb at the time.</li> <li>• A document titled <i>Railway and Tramway Construction Specification 1909–1910 No 28 Public Works Dept.</i>, which outlines the costs and works to be done in the construction of the tramway extension. The construction period for the works was approximately 36 weeks and the accepted tender for the project was approximately 12,595 pounds. The successful tenderer was Wilmot and Morgan Pty Ltd, who were commissioned on 31 April 1910. It was estimated</li> </ul>					

	<p>that 26,000 cubic yards of rock and sand would have to be moved for the creation of the tram line extension.</p> <p>The Lands Department also holds a Crown Plan, Misc Sydney 3000/?, which shows the extension.</p>
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HISTORY	
Historical notes	<p>(This information is extracted from the 2003 Bronte Park CMP by Mayne-Wilson &amp; Associates.)</p> <p>1886: (October), the NSW Government resumed 14 acres of the former Bronte Estate for the purpose of a public park. Facilities for the public were constructed the following year, including the construction of the Bronte baths and the women's dressing shed located alongside.</p> <p>1880s: Other improvements to the park, such as landscaping and construction of sandstone walls to the northern gully slopes, were made over the next several years with commercial endeavours such as a refreshment booth opening in the early 1890s.</p> <p>1899-1902: Council received many complaints regarding the neglected state of Bronte Park.</p> <p>1903: Bronte's Surf Life Saving Club (SLSC) was formed in 1903. The first swimming club was built in 1904 on the cliffs over the baths, but the SLSC had to wait seven years before its club house was constructed in the beachfront park, with a correlating dressing shed built on the northern cliffs in the same year.</p> <p>c1910: The Men's Bogey Hole was cleared and the male visitors were provided with their own dressing sheds, located above the baths.</p> <p>1911: Tramline extended to Bronte Beach from its previous terminus at Waverley Cemetery. This led to a big increase in tourist numbers at Bronte Park and beach. This was accommodated with the provision of new shelter sheds in the park's north-east and construction of the main curved path, which remains today leading away from the tram passenger shelter shed. The cultural fabric of the tram line and the Calga Cutting corridor has remained virtually intact since its construction, with the exception of the removal of tram infrastructure in the current bus terminus area.</p> <p>1914 and 1916: A beach improvement scheme supplied a seawall, bandstand, kiosk and shelter sheds.</p> <p>1917: An amount of £400 was set aside in council's budget for the filling and levelling the park (presumably the area immediately behind the beach), possibly for the first time. Public access ways into the Cutting and from the LCA have remained largely unchanged since the early 20th century, with the exception of the recent cantilevered coastal walk across the front of Waverley Cemetery.</p>

	c1970: Development of dressing shed structures above the Bronte Ocean Baths occurred from the 1880s and some remained in place until c.1970. The development of these structures involved the establishment of concrete paths and foundations across the sandstone benches of the headland cliff-scape, above the pool.
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THEMES	
<b>National historical theme</b>	<p>2.1 Living as Australia's earliest inhabitants;</p> <p>2.5 Promoting settlement;</p> <p>3.11 Altering the environment;</p> <p>3.23 Catering for tourists;</p> <p>3.26.3 Developing alternative approaches to good health;</p> <p>8.1.4 Enjoying the natural environment;</p> <p>8.2 Going to the beach;</p> <p>8.5.3 Associating for mutual aid;</p> <p>8.5.4 Pursuing common leisure interests;</p> <p>8.13 Developing public parks &amp; gardens</p>
<b>State historical theme</b>	<p>Creating, planning &amp; managing urban functions, landscapes and lifestyles;</p> <p>Development of cultural landscapes, shaping the physical surroundings;</p> <p>Activities &amp; events that mark the consequences of natural &amp; cultural occurrences;</p> <p>Leisure activities associated with recreation &amp; relaxation;</p> <p>Social institutions – activities and organisational arrangements for provision of social activities;</p> <p>Environment – cultural landscapes, shaping physical surroundings</p>
APPLICATION OF CRITERIA	
<b>Historical significance</b> SHR criteria (a)	The South Bronte-Calga Headland LCA demonstrates the development of coastal public lands and civic improvement as an integral part of the local municipal history. It demonstrates the emergence of beach culture as an element of national identity that it capacity to shape landscapes into a significant cultural and recreational facilities. It contributes to the historical and aesthetical significance of elements of the abutting Bronte Park and Bronte Ocean Baths and the incised Calga Tram Cutting, which collectively demonstrate the role public recreation and improved public transportation had on the development of Sydney and of Bronte bay as a tourism and residential destination from the late 19th century.
<b>Historical association</b>	The fashioning of the headland's geological formation to support public access, via a tramway, is associated with the development of beachside suburbs in Sydney in the decade leading up to Federation in the wake of the sale and subsequent sub-division of the area's original marine

<b>significance</b> SHR criteria (b)	<p>villa estates. Other suburbs, including Bondi and Coogee experienced similar large-scale topographical “ameliorations” and interventions to provide suitable grades for tram corridors.</p> <p>Whilst no individuals are directly associated with the creation of the Calga Cutting, the infrastructure works demonstrate the ongoing significance placed by Waverley Council on the development of coastal infrastructure to support recreation destinations and beach culture as it emerged in Sydney.</p>
<b>Aesthetic significance</b> SHR criteria (c)	<p>The aesthetic significance of the site lies with its geological formations, sandstone cliffscapes, and expansive views toward Tamarama and Bondi, which together have helped create the world- renowned Coastal Path Walk. The dramatic Calga Cutting demonstrates the impact of the construction of transport infrastructure that supported the rapid development of the eastern suburbs and Sydney in the time of Federation.</p>
<b>Social significance</b> SHR criteria (d)	<p>With the extension of the coastal walk from Bondi to Bronte and further to Maroubra, the South Bronte Headland has gained greater prominence as a part of this lengthened cultural corridor. The headland is one of a series of popular vantage points along the coastal walk, principally due to its elevation compared to the headlands to its immediate north. The southern end of the LCA especially, at the base of Calga Reserve LCA, is a popular point of rest for walkers between Bronte and Waverley Cemetery. Professional and recreational photographers use the vantage points on the sandstone outcrops along the cliff-edge on the eastern side of Calga Cutting. The area is also supports rock climbers who utilise the faces of the cutting, although this use has been decreasing.</p> <p>The area is held in high esteem by the community as a natural landscape setting and passive and active recreational venue. It enjoys and supports high visitation, courtesy of its beachscape frontage and its spatial contribution to an established coastal walking trail.</p>
<b>Technical/Research significance</b> SHR criteria (e)	<p>The site is unlikely to have any particular scientific value, other than possibly geological investigations of the nature of the sandstone bedrock and outcrops within the conservation area and in further assessment and recording of endemic vegetation across the South Bronte Headland to Shark Point cliff-scape.</p> <p>The coastal cliffs and Calga reserve were previously assessed as having potential to contain Aboriginal archaeological deposits and/or rock engravings or grinding grooves. Any previously unrecorded Aboriginal archaeological deposits or features in the area would have the potential to contribute information to our understanding of Aboriginal use of the area not available through other documentary sources.</p>
<b>Rarity</b> SHR criteria (f)	<p>The Calga Cutting corridor, through the centre of the LCA, has rarity value for its formation as a historic tramway route. Further research and mapping could be conducted on similar landform modifications across the LGA and Sydney to establish a schedule of places where natural topographical conditions were changed to service public amenity and thoroughfares.</p>
<b>Representative/ness</b>	<p>South Bronte Headland LCA is representative of other cliff-scapes within the City beaches area where cultural modifications (sometimes extensive) occurred to establish vehicular and pedestrian thoroughfares which serviced the boom in popularity of seaside bathing and oceanfront recreation during the early 1900s.</p>

SHR criteria (g)	
<b>Integrity</b>	<p>The LCA retains much of its overall integrity as a transport corridor and the proportions and layout of the c.1910 tram cutting, which punctured the headland, and the dimensions and fabric of the ocean baths that lie at its base. The integrity of the natural landscape was compromised by the development of the cutting, but the phases of coastal transport development remain.</p> <p>Incremental impacts could also continue to occur through the intensity of use by the coastal walk community and Bronte Beach goers.</p>

#### HERITAGE LISTINGS

<b>Heritage listing/s</b>	The South Bronte Headland landscape conservation area is listed on the <i>Waverley Local Environmental Plan 2012</i> .
	Bronte Park landscape conservation area is listed on the Waverley 2012 LEP.
	Bronte Ocean Baths (within the headland LCA) is listed as a heritage item on the Waverley 2012 LEP.

#### INFORMATION SOURCES

Include conservation and/or management plans and other heritage studies.

Type	Author/Client	Title	Year	Repository
Heritage Study	Mayne-Wilson & Associates	Bronte Beach	2003	Waverley Council
Report	Dominic Steele Consulting / Waverley Council	Indigenous Heritage Assessment Report: Waverley Cemetery, St Thomas Street Bronte NSW	September 2003	Waverley Council

#### RECOMMENDATIONS



<b>Recommendations</b>	<p>Manage impacts to ensure natural, cultural and historic significance is retained and maintained.</p> <p>Manage the landscape to ensure the area's geodiversity and biodiversity are protected, in accordance with the Australian Natural Heritage Charter.</p> <p>Further research should be undertaken into the history of tramway cuttings across the LGA, adjoining LGAs and more broadly within Sydney. Investigations should also be undertaken into the methodology of early 20th-century excavation or explosives used for the creation of such corridors.</p> <p>Calga Cutting should be heritage listed within a broader listing for the full length of the former tram corridor, from its former terminus site at Bronte to Calga Cutting's junction with Macpherson Street. A comprehensive heritage interpretation strategy for the Bronte bay cultural landscape should be prepared including Bronte Park, Bronte Beach, Bronte Ocean Baths and Calga Cutting, in discussion with the local Aboriginal community.</p> <p>Future works in the area should be undertaken with consideration of the site's archaeological potential. This should be done in consultation with the local Aboriginal community and qualified archaeologists.</p> <p>Continuing remedial work could be undertaken to remove weed overgrowth and garden-escape plants within the area.</p>
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SOURCE OF THIS INFORMATION			
Name of study or report		Year of study or report	
Item number in study or report			
Author of study or report			
Inspected by	GML Heritage Pty Ltd		
NSW Heritage Manual guidelines used?		Yes <input type="checkbox"/>	No <input type="checkbox"/>
This form completed by	GML Heritage Pty Ltd	Date	November 2019

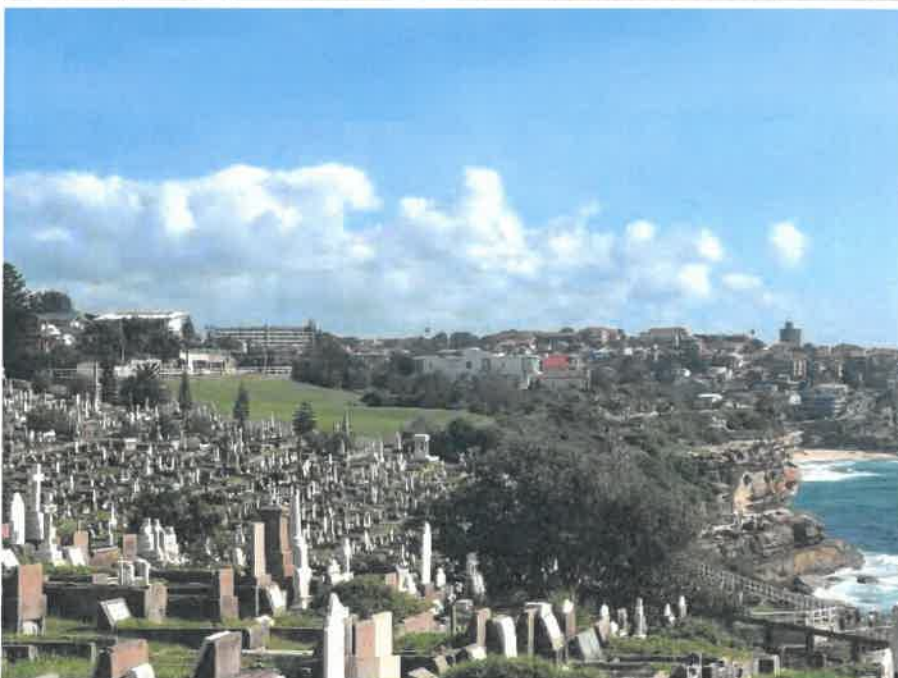
## IMAGES

<b>Image caption</b>	View east c.1909 along the southern sector of Bronte Park, the area which now contains the café strip on the right. Whilst the tram line had not yet been extended to Bronte, power poles had already been provided to the beachfront zone. Note the first baths buildings at centre left, with the first women's dressing sheds arrowed. The house at the centre right is where SLSC member R. McKenzie lived. The adjoining open shed is where the SLSC stored its equipment until 1910. Image courtesy of Mr. Robert Mills.				
<b>Image year</b>	c.1909	<b>Image by</b>	Unknown	<b>Image copyright holder</b>	Land and Property Information



## IMAGES

<b>Image caption</b>	Calga Reserve, which is proposed for inclusion in the extended South Bronte-Calga Headland Landscape Conservation Area.				
<b>Image year</b>	2020	<b>Image by</b>		<b>Image copyright holder</b>	Waverley Council



## IMAGES

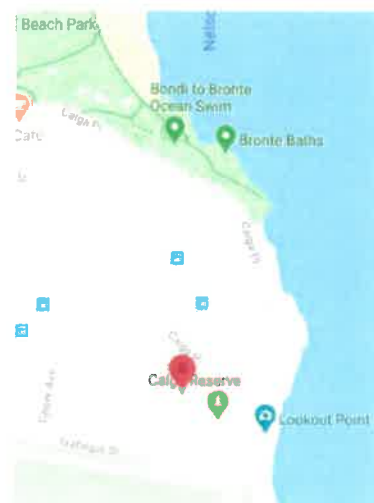
<b>Image caption</b>	Bronte Tram Cutting forms part of the LCA. It was part of the Bronte Beach arrival experience from the early 1900s when the tramway was extended to the beach.				
<b>Image year</b>	C1960	<b>Image by</b>		<b>Image copyright holder</b>	Waverley Council





## IMAGES

<b>Image caption</b>	Boundaries of the extended South Bronte Calga Headland Landscape Conservation Area with area map				
<b>Image year</b>	2020	<b>Image by</b>		<b>Image copyright holder</b>	Waverley Council, Google





## APPENDIX 3: WAVERLEY HERITAGE POLICY 2012

# WAVERLEY COUNCIL

## **WAVERLEY HERITAGE POLICY**

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## **1. Introduction**

In December 2007 Council resolved to change the name of the Waverley Heritage Assessment to Waverley Heritage Policy.

The past twenty years have seen a significant increase in the effort to conserve buildings, heritage conservation groups and areas of cultural and heritage significance in New South Wales (NSW). Built heritage can include privately owned residences and society relies on home owners to preserve these houses for enjoyment of both present and future generations.

Waverley Council manages built heritage by promoting conservation through mechanisms such as identifying potential heritage sites, groups and areas, raising community awareness about heritage, and offering free heritage advisory services to home owners. A more fundamental initiative which assists with the protection of heritage items comes from the State government framework in the form of regulation. This framework allows heritage houses within the Waverley local government area to be protected by 'listing' them in the Waverley Local Environmental Plan (LEP) 1996. This means that proposed renovations or demolitions to listed houses require approval.

The Bondi Junction Heritage Assessment formed a part of the Bondi Junction Strategic Plan, which was adopted by Council in October 2004. The Heritage Assessment for the Bondi Junction commercial centre was prepared and exhibited in 2004. The proposed heritage items and heritage conservation areas included in the Bondi Junction Heritage Assessment will be implemented in the future Bondi Junction Centre LEP 2007. As a follow-on from the Bondi Junction Strategic Plan, a Strategic Plan for Waverley has been prepared and emerging from this will be the Waverley LEP 2011. Two proposed heritage items, namely numbers 22 and 24 Birrell Street, Queens Park, were identified in the Draft Waverley Heritage Assessment but are in fact located in the Bondi Junction Centre area. These two items have therefore been removed from this study and will be implemented into the Bondi Junction Centre LEP 2007. All proposed heritage items, groups and conservation areas included in this Waverley Heritage Assessment will be implemented by an amendment to the Waverley LEP 1996.

This heritage assessment has involved historical research, field investigation and documentation of the significance and character of proposed heritage items, groups and potential conservation areas.

### **1.1 Structure of this Report**

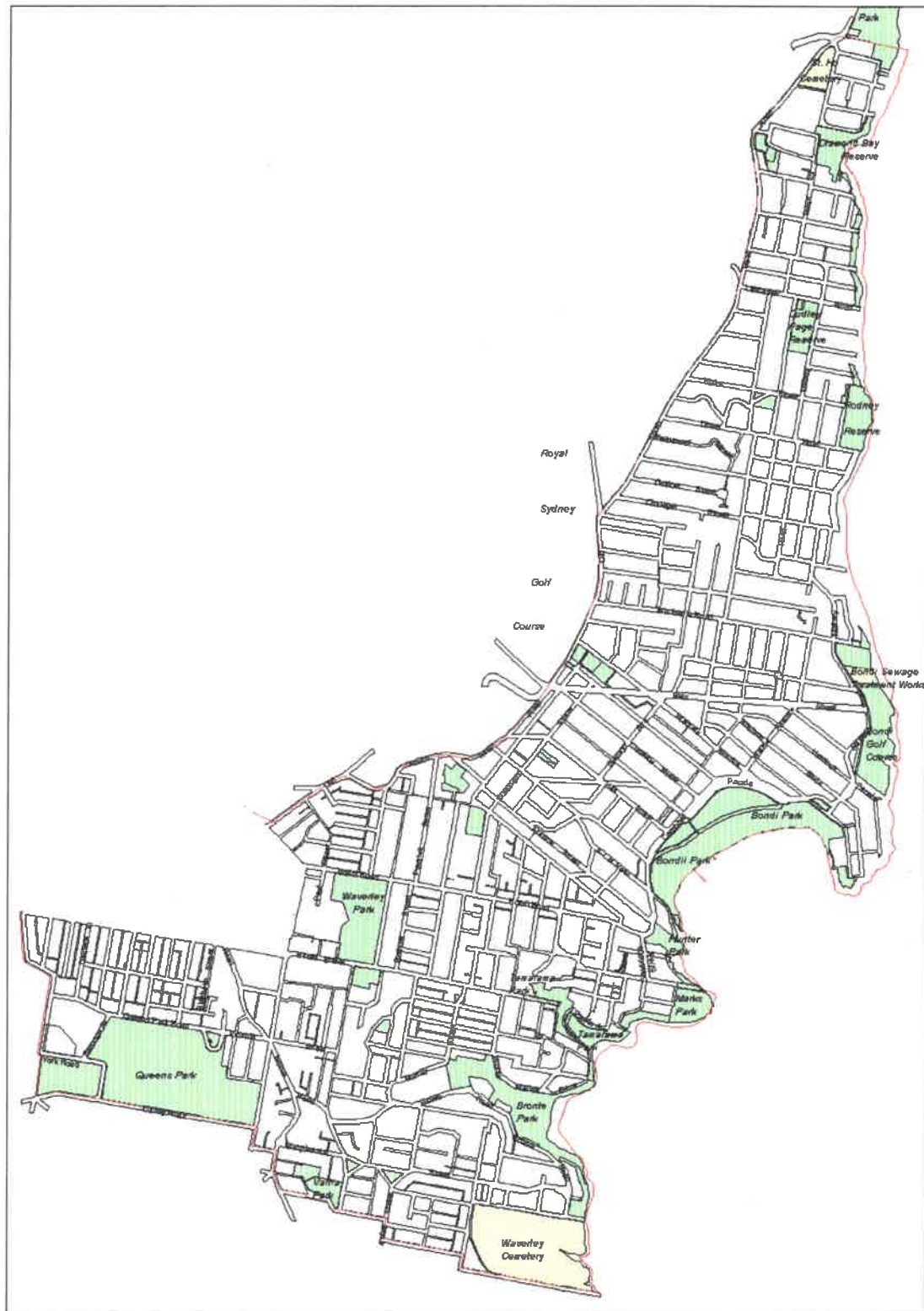
The Waverley Heritage Assessment has identified and analysed the environmental heritage of the Waverley local government area (LGA), excluding the Bondi Junction centre. The document is made up of seven sections. Section 1 provides an introduction; establishes the aims; sets the limitations; and explains the consultation process for the study. Section 2 discusses the historical context of the Waverley local government area from pre-European settlement to the late 20<sup>th</sup> century. Section 3 lists all proposed heritage items, heritage groups and heritage conservation areas identified in this study. Sections 4 and 5 highlight recommendations how Council can preserve its heritage, how to educate and inform its residents. These sections also list detailed recommendations for the proposed heritage conservation groups and areas. Section 6 provides a conclusion, while Section 7 establishes an action plan.

The appendices (Appendix I to Appendix IV) are provided from page 74 onwards. Appendix I comprises the identification sheets for all proposed heritage items identified in Section 3, while Appendix II lists proposed heritage conservation groups and areas. Appendix III lists all nominated items that are of insufficient heritage significance. This document concludes with Appendix IV 'Bibliography'.

## 1.2 Study Area

The following map shows the study area of the Waverley Heritage Assessment, excluding Bondi Junction commercial centre area.

Figure 1: Waverley local government area (excluding the Bondi Junction centre)



### 1.3 Study Aims

The aims of the Waverley Heritage Assessment are to:

- identify, analyse and assess the environmental heritage of the Waverley local government area;
- make practical recommendations for its conservation;
- recommend existing and ongoing heritage promotions; and
- educate and inform Waverley's residents about heritage protection.

This study identifies and assesses individual items, heritage conservation groups and conservation areas that are of notable heritage significance and value. This study also encourages the sympathetic retention of original (and perhaps, at times, less intact) buildings and attempts to improve the streetscape context of surviving pre-war elements.

### 1.4 Methodology

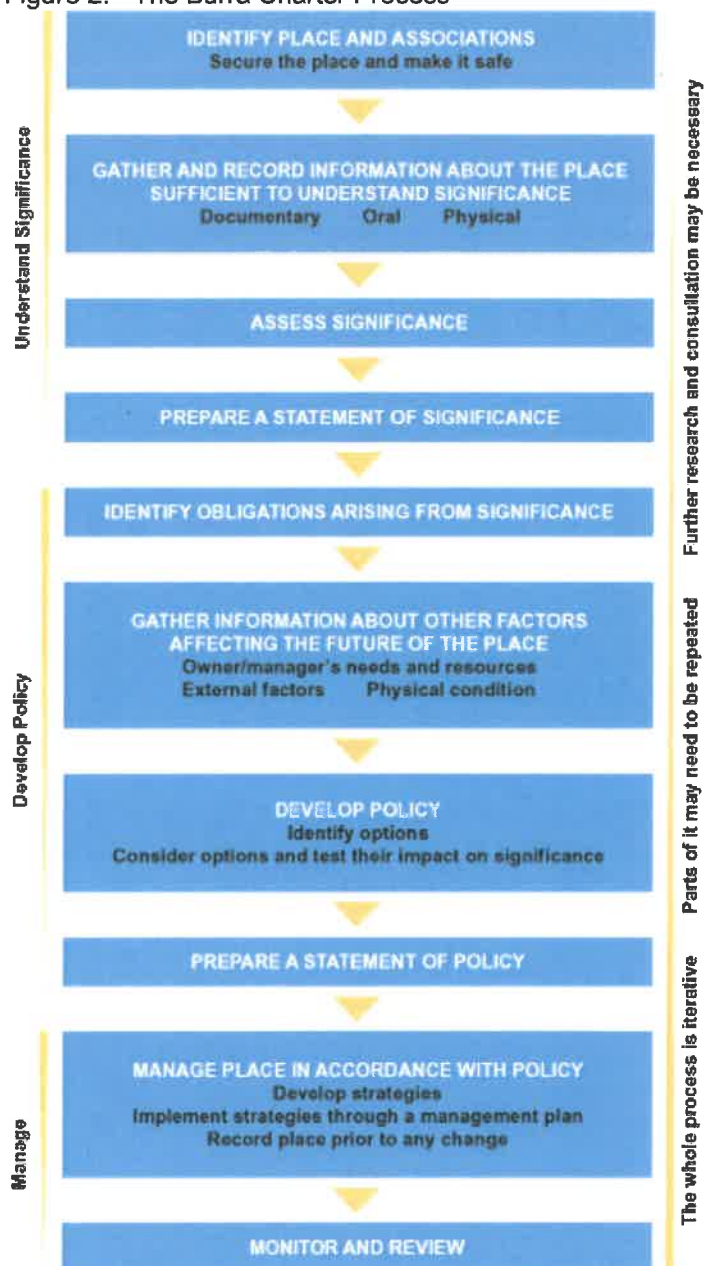
The Waverley Heritage Assessment commenced in 2001 by formally inviting community, precinct and interest groups; and State Agencies to nominate items, sites or places of heritage significance. In October 2001 an advertisement was placed in the Wentworth Courier to inform and encourage the public to participate in the nomination process. The consultation process led to a nomination of 156 items. In 2005, a further 23 items were nominated by Councillors and residents and a further 15 were nominated by Waverley Council's Heritage Advisor and Heritage Planner. All were considered as part of this Waverley Heritage Assessment.

An inventory sheet has been prepared for each item and all items have been inspected, photographed and assessed. The NSW Department of Lands, the Australian Heritage Council, the Department of Planning - NSW Heritage Office and Sand's Directory were the main sources of information for this analysis.

The heritage significance of potential heritage items, groups and conservation areas was confirmed having regard to the assessment methods and criteria set out in the Heritage Manual prepared by the Department of Planning - NSW Heritage Office. The philosophical basis behind the Waverley Heritage Assessment has been the Australian International Council on Monuments and Sites (ICOMOS) Charter for the Conservation of Places of Cultural Significance (the Burra Charter 1999) and its guidelines. The Burra Charter is the nationally accepted standard for heritage conservation practice in Australia and provides guidance for the conservation and management of places of cultural significance. The Burra Charter is based on the knowledge and experience of Australia ICOMOS members and its process is illustrated in Figure 2. The Charter embodies seven basic tenets, namely:

- "The place is important;
- Understand the significance of the place;
- Understand the fabric;
- Significance should guide decisions;
- Do as much as possible and as little as necessary;
- Keep records; and
- Do everything in a logical order" (<http://www.icomos.org/australia/burra.html>).

Figure 2: The Burra Charter Process



Source: <http://www.icomos.org/australia/burra.html>

The Waverley Heritage Assessment was exhibited from October 2005 to February 2006. A recommendation at this time proposed Council should establish an independent Heritage Review Panel to deal with submissions objecting to proposed heritage listings. Since the first exhibition, this recommendation has been implemented. Therefore, detailed information about the Heritage Review Panel can be found under Section 4.4 'Heritage Review Panel'.

However, in summary, during six meetings, the Heritage Review Panel discussed over 30 proposed heritage items, heritage conservation groups and areas. After considering the Panel's comments, it was concluded that 20 proposed heritage items be removed as well as one proposed heritage conservation area from the Waverley Heritage Assessment. Details and background information regarding why these items have been recommended to be removed, are also included in Appendix III 'Nominated Items of insufficient Heritage Significance'.



However, a further 17 proposed heritage items, one proposed extensions to a heritage urban conservation area and a further proposed extension to a landscape conservation area have been added to the Waverley Heritage Assessment. These were recommended by the Heritage Review Panel, Councillors, Council's Heritage Planner/Urban Designer as well as local residents. The inventory sheets for these additional items are included in Appendix I 'Potential Heritage Items'.

## **1.5 Limitations**

Some limitations were recognised during the preparation of the Waverley Heritage Assessment. This study primarily assesses proposed heritage items as well as some potential archaeological items and proposed landscape items. However, this study does not include an assessment of aboriginal archaeological heritage. It is therefore recommended that Council will undertake a detailed aboriginal archaeological heritage study. However, Council has consulted with two Aboriginal Groups, namely the La Perouse Local Aboriginal Land Council and the Darug Tribal Aboriginal Corporation as part of the community consultation process. These groups were also informed about the public exhibition and invited to make a submission.

Due to further limitations, moveable heritage items have only been identified as the Battery Site at Ben Buckler (Inventory Sheet No. 6) and the interior of the Waverley Bowling Club (Inventory Sheet No. 7), including an Art Deco notice board, a War Memorial (Bronze), a Boer War rifle and crockery. The Battery Site at Ben Buckler, including a 9.2 inch gun, is located below ground and covered with soil and grass. In December 2006, the Minister for Planning, the Hon. Frank Sartor, has, on recommendation of the Heritage Council of NSW, listed the Battery Site on the State Heritage Register. Details of the item and its heritage significance are available from the NSW Heritage Office or can be viewed from the website [www.heritage.nsw.gov.au](http://www.heritage.nsw.gov.au).

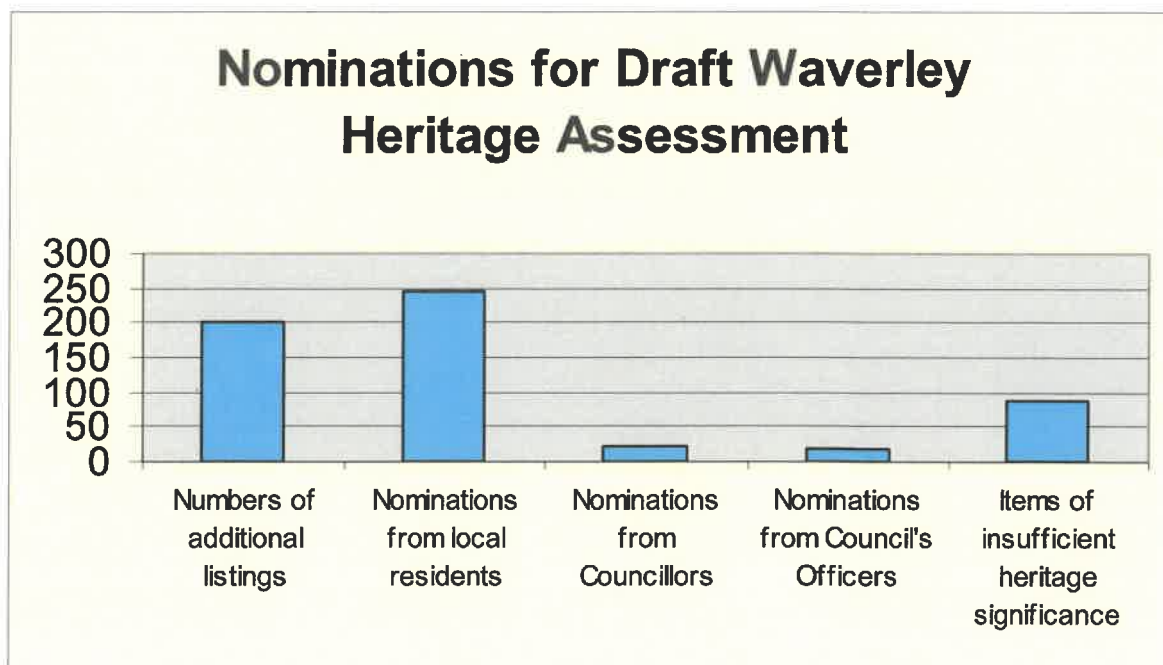
Moveable items like the archaeological remnants of the former Bondi Tram Service, including sections of the track exposed in construction of the Bondi Junction Mall are not included in this study. They have been permanently removed and are now located at the Sydney Tramway Museum.

## **1.6 Public Consultation**

In 2001 Council resolved to undertake a heritage assessment of the Waverley local government area which would have a strong emphasis on community consultation. The heritage assessment commenced the same year with the notification to community, precinct and interest groups as well as State Agencies so as to nominate items, sites or places of potential heritage significance.

In October 2001 an advertisement was placed in the Wentworth Courier encouraging public participation in the nomination process. The community nominated some 165 items and areas of potential heritage significance and a further 23 items were nominated by Councillors, while 15 additional items have been added by Waverley Council's Heritage Advisor and Heritage Planner. All items have been identified, inspected, photographed and assessed.

Figure 4: Nominations for the draft Waverley Heritage Assessment



During the post exhibition assessment period some 88 nominated items did not qualify for heritage listing under the assessment criteria. Details are available in Appendix III 'Nominated Items of insufficient Heritage Significance'.

The property owners of proposed heritage items were notified in February 2005 that their property will be assessed and included in the Waverley Heritage Assessment provided all relevant criteria was met, and they were again notified in October 2005 prior to the public exhibition. After the exhibition had finished, Council established an independent Heritage Review Panel as recommended in the Waverley Heritage Assessment. The panel was established to deal with submissions which objected to a proposed heritage listing and which were considered controversial. The Heritage Review Panel consisted of three members, namely:

- one lawyer who chaired the meeting;
- one heritage professional; and
- one community representative.

More information is provided under Section 4.2 'Heritage Review Panel'. The Heritage Review Panel discussed 31 proposed heritage items and 3 proposed heritage conservation areas during six meetings. The panel has also recommended to remove five proposed heritage items and one proposed heritage conservation area from the draft Waverley Heritage Assessment, namely:

- 190 Bondi Road;
- 80 Alt Street,
- 28 Edmund Street;
- 61a-63 Macpherson Street;
- 16a Queens Park Road; and
- The Gardyne Street conservation area.

These proposed heritage items and heritage conservation area have been removed from the Waverley Heritage Assessment. More details are provided in Section 4.2 'Heritage Review Panel'.

In total, the Waverley Heritage Assessment includes 182 items of proposed heritage significance and 11 proposed heritage conservation groups and areas.

## 2. THEMATICAL HISTORY OF THE WAVERLEY LOCAL GOVERNMENT AREA

### 2.1 Pre-European Settlement

The Aborigines who lived in the Waverley local government area are likely to have been members of the Cardigal family, which was part of the Guringai tribe. Aborigines in the Sydney area lived in relative harmony with each other and with their natural environment, an environment which provided them with spiritual meaning and sustenance. On the basis of rock engravings located on the cliffs adjacent to the Bondi Golf Course, it has been suggested that Waverley may form part of a story of a possible Spanish discovery of Australia.

Photo 1. Aboriginal Rock Carvings in Bondi.



Source: [http://www.heritage.nsw.gov.au/07\\_subnav\\_01\\_2.cfm?itemid=2620403](http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=2620403).

British invasion of the continent began in 1788 bringing the gradual destruction of traditional Aboriginal society. Social dislocation and disease were subsequently brought to the Aboriginal coastal dwellers in the Sydney region. In 1789, approximately 50% of the Aboriginal population was wiped out by disease. European transformation of the area is the reason that only a single group of Aboriginal carvings survives as the immediately discernible physical evidence of Aboriginal occupancy in the Waverley local government area.

### 2.2 Dispossession

The beaches, swamps and low growing sandy scrub of Waverley's coastal area were interpreted by early explorers to have 'something of peculiar loneliness'. Given that there was no distinct geographic feature to impede exploration to the east of the Sydney Cove settlement, the completion of the road to South Head lighthouse was finalised in 1811, allowing the colonists a view of the area and its possibilities.

In January 1810, the farmer William Roberts received an early grant of 200 acres (82 hectares) of land, including Bondi Beach, in recognition of his services in supervising construction of South Head Road (later Oxford Street and Old South Head Road). Roberts, in common with later land holders, resided in Sydney, and used his land only for the purpose of a cattle farm. He died in 1819, passing the land through family connections and the land was sold undeveloped for 200 Pounds in 1851 to Edward Smith Hall. The new owner's associate, Francis O'Brien, subdivided the property in 1852. O'Brien's proposed subdivision did, however, draw the attention of Surveyor General Mitchell to the private ownership of Bondi Beach.

Photo 2: 'The Homestead' at Bondi, originally called Bondi Lodge, Francis O'Brien's home, 1919



Source: The Centenary of the Municipality of Waverley, 1859-1959

In September 1854, Mitchell declared that 'access to this [beach] is indispensable and on behalf of the public that portion of the adjacent shore above the highwater mark ... shall be resumed'. Therefore, O'Brien had to surrender almost 21 acres (8.55 hectares) of beach-front for the amount of 4,500 pounds. Some years later, the Crown resumed part of the north-east boundary of his land and at this time no roads had been developed to give access to the beach.

Two other early grants within the Waverley local government area were made to John Hurd and Barnett Levy. Hurd was an ex-convict and an employee of William Roberts. In 1809, thirty acres (12.2 hectares) were granted to him in the area around and including Ben Buckler. However, the grant was not confirmed and legal confusion over the claim for ownership (under a promissory grant by a possible relative, Richard Hurd) resulted in the land remaining undeveloped. A lease was finally regranted in 1841 to Parry Long, a businessman, who retained the land as an investment and neither developed nor lived on it.

In 1826, Barnett Levy, the third grantee, received confirmation of his 60 acres (24.4 hectares) grant on South Head Road and later the site in the vicinity of Bondi Junction, paying 130 pounds. Levy, a businessman, developer and an entrepreneur planned to reside on his grant and build a 'grand house' named Waverley House. He also developed an estate of cottages with a school. These were intended to be leased on a contract for a 50 year ground rent with the properties subsequently reverting to his estate. However, Levy could not finance the project which led to the sale of Waverley House in 1830 for 750 Pounds.

In 1831, new regulations for the disposal of Crown Land were introduced, establishing a system of acquisition through purchasing rather than through grants. But some promissory grants of small areas within the Waverley local government area were still honoured by the colonial authorities. All businesses in the area relied upon space, access to water and a good prevailing breeze. The Church of England also received a grant of 11 acres (4.5 hectares) in the vicinity of Ruthven Street.



Private land owners were less enthusiastic about owning land in the Waverley area until the land speculation boom started in the late 1830s. While a few land sales occurred prior to 1835, these were mainly desirable sites at either South Head Road or at the beaches. William Mortimer Lewis was the Colonial Architect at this time and purchased 42 acres (17.1 hectares) at Bronte, while John Roby Hatfield bought 10 acres (4.1 hectares) at Tamarama in 1839. In the same year, land agent, William Barton purchased what was considered a desirable site of 17 acres (6.9 hectares) for 53 pounds. At this time, permanent settlement was confined to the area around Charing Cross and Tea Gardens, Bondi Junction and while some smaller parcels of land (between three and ten acres) were sold, the rest of the land remained vacant.

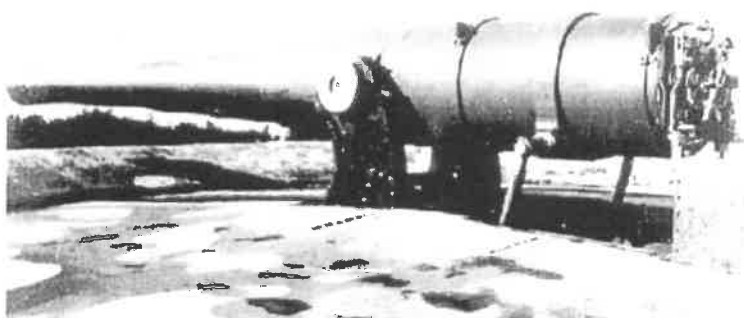
The early economic depression began in the early 1840s and temporarily halted the “feverish speculation”, indulged by all classes (Sydney Morning Herald, 2 January 1843). Despite the appeals of advertising, no additional land sales took place in the area until 1846, and any proposed development existed only in forms of drawings on paper. However, as the economy revived, the prosperous citizens of an expanding and increasingly crowded Sydney began to appreciate the possibilities of the area.

### 2.3 Defence in Waverley

The community who lived in the Waverley local government area in the mid 19<sup>th</sup> Century were isolated from the established settlement at Sydney Cove, resulting in local loyalties and local rights having a more immediate impact and importance in the area. In 1868, the then citizens fought physically with the representatives of the Sydney Municipality over local rights of access through a water reserve at Queens Park.

A military detachment was located at South Head from 1793, however, early government policy concentrated mostly on protecting Sydney Cove from naval attacks. By mid century, defence facilities had been expanded to cover the entrance to Port Jackson, but the coastal settlements still remained excluded from the colony’s system of protection.

Photo 3: The battery site at Ben Buckler



Source: [http://wavweb/library/about/historical/big\\_gun.htm](http://wavweb/library/about/historical/big_gun.htm)

It was not until the 1880s that the government decided to build three forts for coastal defence. These were located at Vaucluse, Clovelly and Ben Buckler. In 1892, a 250mm breech loading gun representing the latest gun technology was hauled from Victoria Barracks and installed at a newly built fort at North Bondi. (The battery site at Ben Buckler is detailed in Appendix I as Inventory item No. 6 of heritage and archaeological significance). Bondi’s gun was never fired during the war, however, it formed part of Australia’s system of coastal defence until after World War II.

In terms of communication technological advances in 1912, the Sydney – Auckland undersea communications cable was brought ashore at Bondi and was a further step linking Australia with the outside world.

## 2.4 Farmland in Waverley

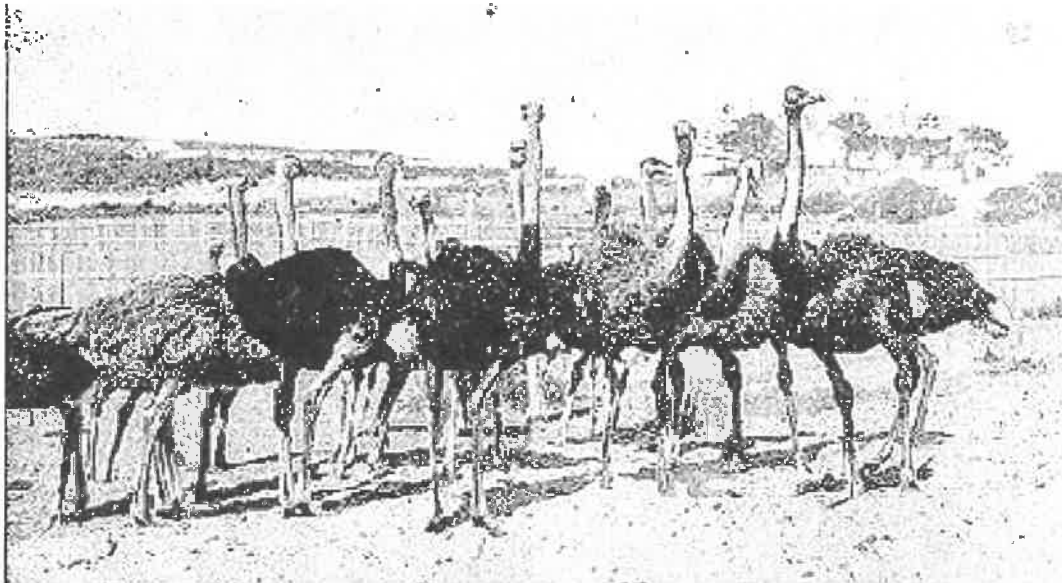
Although the sandy soil of the Waverley district is not well suited for agriculture, some rural activities were established during the 19<sup>th</sup> Century. The Flagstaff farm (now Waverley Park) was operating prior to 1850. The farm combined agriculture (on its flat land) and cattle grazing on nearby hills and sand dunes. The farm was only in operation until 1879.

The local Chinese were the most successful community in developing agriculture in the area. A large market was established in Farrelly's Avenue, Tamarama, which was cultivated until 1909. The land was then sold for the stables, belonging to a Kensington racehorse trainer. The Chinese community also established a flourishing market on the northern corner of the former Flagstaff farm until the 1890s. Council, without success, tried to remove the community from Waverley Park land.

Farmers from the Waverley area supplied the city markets with mostly pigs and poultry products. However, in the 1880's Waverley Council had to prohibit pig farming in the area due to associated water pollution impacts. Some pig farms remained in the area until the end of the century.

In 1889, the local leather dealer Joseph Barracluff established an ostrich farm on his 7.5 acre farm located near South Head. He established a successful farming business and the initiative lead to a boost in livestock farming from the period between 1889 and the end of World War I. The death of Joseph Barracluff 1918, lead to a decline in the ostrich farming practices and in 1925, the land was subdivided for housing.

Photo 4: Barracluff's Ostrich Farm



Source: <http://www.waverley.nsw.gov.au/library/localstudies/historical/ostrich.htm>

The dairy market established in the Waverley area and diverse farms subsequently began supplying Sydney with milk and dairy products. The *Dairies Supervision Act* came into force in 1886 and was the first legislative control for milk production in NSW. Mackenzie Dairy was founded in the 1860s and became the largest and oldest local dairies in the area. By 1910, it was one of the largest dairies in the Sydney Metropolitan areas. Mackenzie Dairy was later called Waverley Dairy and was located between Bondi Road and Tasman Street.

Photo 5: Group of milking Shorthorns at F.A. Mackenzie's Waverley Dairy, Bondi 1903



Source: The Centenary of the Municipality of Waverley, 1859-1959

From 1887, competition among the 20 smaller dairies in the Waverley LGA increased and by 1900 the number of registered dairies grew to 34. As land subdivisions decreased, hand feeding of stock began to replace open grazing. By the 1930s, higher suburban land prices resulted in the end of smaller operators.

### **Tanneries**

A range of industries also established themselves early in the Waverley local government area. Land grants to establish tanning yards were given to Henry Bond, Hercules Watts and Francis Knight prior to 1830 and despite complaints from residents, tanneries operated in the area for over 50 years. Joseph Vickery, another local leather manufacturer, established a tone of the many tanneries in 1866. At the same time, he built Glenn Rock Terrace in High Street to house his employees. In 1881, the tannery was subsequently subdivided and the tannery was forced to close due to concerns over public health issues.

### **Soap Factories**

A soap factory was established between Tea Gardens and Birrell Street and operated into the 1920's. Similarly, a boiling down establishment operated at Old South Head Road, south of Hough's mill, and Joseph Dickson's soap and boiling down business was set up at Bondi Road in the 1840s. Joseph Dickson's business was later closed by Council as a result of public protest and the site was converted to a timber yard in the 1860s.

### **Metal Factories**

In the 1870s, other industries were established within the Waverley LGA, possibly attracted by the availability of land. In 1868, George Fletcher established a Stove Works and Ornamental Iron Foundry near Bondi Junction and employed some 45 people. Another foundry, specialised in making 'chilled' cast iron plough shares, was set up by the local Turner family.

### **Breweries**

Gleanons' brewery, first established in 1874, took advantage of the local water supply and was built near a spring in Cooper Park. This brewery was taken over and became Resch's Waverley Brewery in the 1890's. By this time, its buildings covered three quarters of its site from Adelaide Street to Grafton Street, Bondi Junction, and the remaining land was used as a grazing paddock for brewery horses.

Some of these industries continued operating after World War II, however, most were displaced by expanding suburbia. Public transport gave people the opportunity to work in Sydney and live in the Waverley LGA. However, the industry in this area stimulated the need for construction of workers housing and commercial development in the area which serviced local worker's needs.

### Hotels

The Tea Gardens Hotel in Bondi Junction and the Robin Hood Hotel in Charing Cross were established to service the local settlements. The settlements at Bondi Junction and Charing Cross expanded in the 1880s due to increasing commercial developments and the Tea Gardens Hotel established itself as a focus in the area.

## 2.5 Villas and Mansions

By the 1820s, successful businessmen and aspiring civil servants were permanently settling in the Waverley local government area. The associated high status held by the military in the early days of settlement (defined by rank) grew less important as the emancipist and emigrant proportions of the population enlarged. Emancipists who had grown prosperous through trade and business activities and emigrants who held civil posts or had professional practices, needed to be close to town to be in constant contact with their business life. However, these business people also found it desirable to have a villa outside the city. The villa became a good example of local domestic architecture where simple elegance and usefulness were combined.

The earliest villa within Waverley LGA was Barnett Levy's Waverley House which was completed in the late 1820s. Levy never resided at this property. With the economic revival of the 1840s, the demand for villas grew in the Waverley area. A further example is Bronte House which was originally built for barrister Robert Lowe and designed by architect Mortimer Lewis. Other villas constructed before 1860 included the following: 'Ellerslie' from businessman John Birrell, 'Palmerston' from William Spain on Dickson Street and 'Lugar Brae' on Leichhardt Street. The site and the land around the house were an important part of the outdoor pleasures of villa life. Gardens were an integral part of these villas and were designed with waterfalls, grottos, summerhouses, orchards as well as vegetable and flower beds.

Photo 6: Waverley House, built in 1827 by Barnett Levy



Source: The Centenary of the Municipality of Waverley, 1859-1959

Villas and mansions were built through the second half of the 19<sup>th</sup> Century. Other grand houses included 'Chesterfield Estate' for parliamentarian R.G. Massies, on land which extended to Arden Street; 'Yanko House' with its distinctive tower overlooking Bronte; and 'Eastcourt' built for James Marshall of the Paddington Brewery on the site of Waltham Cottage.

Although in 1895 Bondi could still be described as being 'devoted to gentlemen's residences, the predominance the villa as a popular style of home for the well-to-do came to an end. The reasons were namely: economic pressures, the death of owners, and acquisitions leading to the subdivision of gardens of older properties. These houses were then either neglected and demolished, or used for other purposes.

## 2.6 Traffic and Transport

Residential development within the Waverley LGA was mainly influenced by transport routes. The road to Coogee (now Bronte Road) was constructed by 1832 and provided access to the area around Charing Cross with a link to the emerging settlement at Tea Gardens.

From 1848, South Head Road was controlled by the Commissioners of Road Trusts and maintenance costs came out of the proceeds of a toll gate near the corner of Ebley and Cowper Street (Bronte Road). During the 19<sup>th</sup> Century, the main traffic modes were horses, buggies or carts and foot. In 1849, Mr Ward of the Waverley Hotel at Tea gardens offered a trip in a spaciouly constructed omnibus. Horse-bus services were established on a regular commercial basis in the 1850s. Tickets for bus trips from Wynard to Paddington were six pence. Regular services to Tea Gardens and Charing Cross followed soon, due to increasing local competition.

In 1864, Council established a stand for licensed buses in Waverley Street (now Bondi Road). The trip to the Sydney Central Business District (CBD) took about 50 minutes, starting at the city terminal in Macquarie Place, travelling down Bathurst and Liverpool streets to Old South Head Road and on to the terminus at Charing Cross. Each bus carried newspapers, milk and other goods as well as passengers.

The horse buses competed successfully with the early steam trams but had relatively high operating costs. But by 1889, horse buses were no longer economically viable. The tramways were seen as a less expensive alternative to rail and a more attractive proposition for private investors in terms of capital return.

Sydney's tramway system remained government owned and controlled throughout its life. Over its time, the overall length of tram line grew from 2.4 kilometres in 1879 to 70 kilometres in 1889. The Waverley local government area was one of the first LGA's with an operating tram service system. The first track in the area followed the bus route from Darlinghurst to Charing Cross and was constructed in 1881.

Photo 7: Trams in Bondi Junction



1910



1930's

Source: Local Studies Collection, Waverley Library



The steam tramways proved to be expensive to build and costly to run but they had effectively created a suburban public transport system for the eastern suburbs. By 1882, the Waverley tramlines were estimated to have carried 4,700 passengers a month on some 86 journeys.

In 1884, the steam tramline to Tea Gardens was extended along Bondi Road and by 1887 the Waverley and Coogee lines were linked by a cross-country service from Bondi Junction to Randwick Junction. The tracks to the Aquarium at Tamarama were constructed in 1887 and by 1890 an extension to Waverley Cemetery was completed.

Waverley beaches were poorly served by trams until a more robust beach culture emerged, increasing the need for a service for day trippers. However, in 1894 a tramline to Bondi was opened and a Bronte tram extension to the beach was completed by 1911. There was also no service to North Bondi until 1929. In 1902, steam tramlines were changed to electric tramlines and passengers viewed this as a significant improvement. The new tram technology was quieter, better lit and less likely to raise roadway dust. Trams in the Waverley LGA continued to provide a reliable, moderately priced commuter service for over 50 years.

After World War I, the tram system was placed under increasing pressure. Waverley was trying to cope with growing problems in motor traffic along beach routes and cars and trams were competing on narrow roads. Over 87,000 vehicles used the Council parking area at Bondi between 1928 and 1929 and the number of private vehicles on Waverley roads continued to increase as society became more committed to private motor transport.

The establishment of a government-owned bus service in 1933 also generated problems in maintaining an ageing tramway system. The NSW Government finally decided to concentrate on the motor bus for public transport as the predominant form of transport in the area. The Waverley tram depot was finally converted to a bus depot in June 1959. Importantly, the tramway system had been the main reason for growth in medium and high density housing in the Waverley LGA and Sydney metropolitan areas.

## **2.7 Leisure and Recreation**

Improvements in transport infrastructure resulted in Waverley's rise as a destination for leisure and recreational activities. From the 1830s, many hotels established in the Waverley LGA to accommodate excursionists and holiday-makers.

In the late 19<sup>th</sup> Century, one entrepreneur chose Waverley as a seaside location for an amusement facility. The Aquarium at Tamarama was opened in 1887 and was a destination for dancing, bowling, skating and a shooting gallery. But the venue was closed in 1889 due to competing aquariums at Coogee and Manly. Wonderland City, an antipodean Coney Island later opened on the abandoned aquarium site in 1906. However, it closed in 1911 due to economic failure. Furthermore, the popularity of the beaches continued to increase owing to the liberalisation of bathing regulations in the first decade of the 20<sup>th</sup> century.

Photo 8: Tamarama Beach and Wonderland City about 1906/07



Source: The Centenary of the Municipality of Waverley, 1859-1959

In 1883, rate payers petitioned Council for the construction of public baths at Bondi. These were subsequently built in 1890 and opened in Bronte in 1887.

Daytime bathing at resorts and public beaches had been prohibited by an 1838 Act of Parliament, and these restrictions had been incorporated into the former municipality's By-laws. It changed after William Gocher's public acts of civil disobedience at Manly beach in 1902, providing a catalyst to the liberalisation of beach regulations. In 1903, Bondi Beach was provided with its first daytime bathing facilities and in 1911 the first bathing shed opened on the same beach and both the Bondi and North Bondi Surf Clubs were formally established in 1906.

By 1912, surf bathing became the most important growth industry in seaside suburbs and resorts. Bondi and Bronte beaches began to compete with Coogee and Manly beaches for bathers, bodysurfers and surfboard riders. Developments such as the 1914 Bronte Beach improvement scheme; the reconstruction of the Bondi baths in 1911 and 1931; and the erection of the now famous Bondi Surf Pavilion; reflected and reinforced the new industry and culture as well as local identity. An adjoining park was located at all beaches within the Waverley LGA. As with most other parks in the area, these were dedicated in the second half of the 19<sup>th</sup> Century in line with more passive habits of recreation and leisure.

## 2.8 Public Health

In the mid 19<sup>th</sup> Century, European health authorities persisted with the notion that diseases were primarily transmitted by unhealthy vapours arising from unsavoury environments. The association of disease with 'miasmas' emanating from still water, swamps, slums and industrial undertakings persisted despite the growing knowledge of bacteria and microbiology. Measures to improve environmental quality were based upon the eradication of unpleasant smells and obvious water pollution rather than disease prevention. During Governor Macquarie's rule, consistent locations of clean water supplies were ensured. The establishment of noxious industries were subsequently prevented within the immediate catchments of the Lachlan Swamps and Botany Marshes. These bans remained in place until an alternate water supply to Sydney was provided in the 1880s.

Alongside the concept of miasmas was the notion that linked good health and clean air. In the 1850s, the prevailing attitude gave rise to the establishment of coastal villas as well as the relocation of noxious industries (such as tanneries) to the eastern water shed, remote from the already crowded centre of Sydney. Local protest was not avoidable and forced Joseph Dickson to close his soap factory and boiling down works, (in Waverley Street) in 1859.

Similarly, Joseph Vickery's Glenrock Tannery, established in 1866 at Charing Cross was closed due to ongoing complaints of odours from tanning pits. The site was subdivided for residential use in 1881(Dowd, op cit p.38).

Despite ocean bathing being illegal, access to the ocean and beachfront was considered a necessary part of public well being. During a debate over public access to the Bondi beachfront, in 1854 Surveyor General Mitchell reported that "access to this [the beach] is indispensable .... for the health and recreation of the inhabitants of New South Wales" ,(ibid, p.5). And later, a recommendation of the New South Wales Sewerage and Health Board was that sewer and stormwater outfalls be built at Ben Buckler and Botany Bay, to dispose Sydney's refuse (M.Kelly, Nineteenth Century Sydney, Sydney University Press Sydney, 1978, p. 63). Beginning constructions in 1880, the Bondi Tunnel comprised a brick-lined oviform tube of 2.1 meters height, running some 7.25 kilometres from Hyde Park to Blair Street (then known as Sewer Road), North Bondi.

With sea bathing still illegal until the early 1900s, and Bondi remaining remote and difficult to access, the effects of the sewage outfall were not acknowledged until well into the new century. By the 1930s, complaints about water pollution at Bondi led to a Water Board investigation. The report published in 1936, recommended an underground treatment plant at Ben Buckler and the first stage was not put into commission until 1953. The system for the primary treatment of sewage was modified in succeeding years and an automatic screening system was installed in 1975. However, the increased volumes of discharge saw pollution increase dramatically at Waverley's beaches in the late 1970's and 1980's.

Tunnelling four kilometres out from the cliff line at Ben Buckler, the board constructed a discharge point on the ocean floor ostensibly beyond inshore coastal currents. In 2002, work commenced on a \$300 million upgrade and maintenance of the Ben Buckler treatment plant. Council also undertook improvements to its ocean outfalls for stormwater in the 1970s onwards. In the 1990s outlets were extended to the projecting rock ledges about Bondi and Tamarama beaches and the outlet at Bondi fitted with trash racks.

Council was involved early in agitation for a local hospital. In 1893, Waverley joined Paddington Council to petition the Colonial Secretary to establish a cottage hospital for the district. It was not until 1924, when public subscription had raised 5300 pounds towards the hospital's cost that the Government responded. A foundation stone was laid in April 1934 and buildings to the design, of NSW Government Architect Edwin Evan Smith completed in the middle of 1935. In 1984, a portion of the site was leased to Moriah College as a senior campus with the remaining buildings continuing as the Eastern Sydney Development Disability Community Services Centre for the South Sydney Area. The later facility was closed to provide a site for the expanded Moriah College Campus.

Photo 9: War Memorial Hospital Waverley



Source: The Centenary of the Municipality of Waverley, 1859-1959

The War Memorial Hospital established on the corner of Birrell Street and Bronte Road in 1921, was a private initiative of the Methodist Church as well as the philanthropic activities of local families, particularly the Vickery's. Now part of the wider metropolitan health service, the War Memorial Hospital remains as the only operating hospital in the Waverley LGA (Dowd, op cit, p. 224).

Two sites were established in the Waverley LGA to provide for the community's dead. Prior to the establishment of the LGA in 1845, Governor Gipps, granted a site of one acre (4.070 square metres) at South Head as a burial ground. Despite efforts by Council to establish control of the cemetery at around 1868, the site was administered by a Cemetery trust until 1941.

The development of Waverley Cemetery as a grand metropolitan cemetery in high Victorian style indicates the prosperity of the Waverley community as well as its particular public sense of social and family obligation (Kerr, J.S. 'Cemeteries Their Value, Abuse and Conservation', in *Heritage Australia*, Winter 1983, pp.50-57). Due to the extensive use of white Carrara marble for headstones and monuments, Waverley Cemetery emerged over the next 100 years as a distinctive landscape feature on the Waverley Coastline. Later, having survived Council proposals in the 1970s to clear the headstones for a 'pioneers park', the Cemetery now, continues to serve the community as a heritage feature. A sinking fund established in 1892, has ensured maintenance of the site. In 2003, Council commissioned a Conservation Master Plan to investigate means of extending the life of the site as an 'active' cemetery. The two cemeteries contain the symbols of public recognition of the passing of life and reflect aspects of Victorian and Edwardian attitudes towards life, health and death.

## **2.9 Amenity and Infrastructure**

The district of Waverley, held in part of the South Riding Electoral District of Cumberland, was one of the 35 municipalities created by the Cowper Ministry under the *Municipalities Act of 1858*. Proposals to incorporate Waverley within the boundaries of the Municipality of Randwick led to a petition demanding separate incorporation. This was subsequently granted on 14 June 1858 (Dowd, op.cit, p.50-55).

Having no finances, the Municipality had to fund its early activities via bank loans. Residential development increased the rateable capital value in the Municipality which rose from approximately 20,000 pounds in 1859 to 660,468 pounds in 1900 and to 2,330,695 pounds in 1920 (Sydney Morning Herald, 13 December 1887 and Dowd, op cit, pp.73-81).

## **Roads**

The main municipal expenditure was initially for road construction and maintenance. In June 1861 the Council proclaimed a by law placing 'all public roads..... exceeding 20 feet in width' under its control, but essentially no Council had the power until 1919 to control the quality of roads and drainage on private subdivisions (Dowd, op.cit, p.86).

Constraints in providing road in infrastructure lay in the topography, sand drifts and coastal scrub hindering road construction. By 1861 the council had completed nearly four miles of new streets. By 1873, over 700 pounds of the Municipality's expected receipts of 1,374 pounds were allocated to roads, and this emphasis on road building continued.

## **Drinking Water**

From the outset Waverley's drinking water came from wells, springs and tanks. Complaints about inadequate supply and pollution were common from the 1850's. A report to Council of 1876 recommending linking of a spring in Flood street to a reservoir was not adopted and residents urged extension of the City water from the Botany Swamps to their district. Evidence of wells and cisterns remain in areas of 19th Century development. As late as 2002 a cistern associated with the storage of spring water was found at Imperial Avenue. Originally constructed for the residence Glendarrah/Castlefield in the 1870's, the cistern or tank was hewn from natural rock having a chamber of 6 metres depth and a plan form of seven metres by ten metres with a brick vaulted roof.

Waverley Storage Reservoir No.1 on Flagstaff Hill was built in 1887 in anticipation of connection to the Nepean water supply. When it came into service it was used to distribute reticulated water pumped from Woollahra's reservoir in later Centennial Park. Eventually in 1894 elevated tanks were built to serve the hilly parts of Waverley. Supplies from Reservoir No.2, built in 1917 and No.3 built just prior to World War II, finally allowed completion of a mains water supply to the district. All three reservoirs remain in service.

Despite complaints about run-off from buried nightsoil beginning in 1865, domestic sewage connection to the Bondi outlet occurred in 1892. By 1920, large areas within the municipality, particularly around Northcote Street and Strickland Avenue, remained unsewered. Other areas had pan services operating until the early 1960's. At the beginning of the 21st Century areas of Dover Heights and Vaucluse still remain serviced by a direct ocean outfall. Plans to connect these areas to the Bondi sewer works are still in place.

## **Street Lighting**

The provision of street lighting also posed problems. Local residents petitioned for gas street lighting in August 1872. A sign of prosperity amongst the rate paying inhabitants, the petitioners had agreed to pay a separate rate of four pence in the pound to cover the cost of installation of 23 gas street lamps. These were installed in conjunction with 220 domestic connections in 1873. Limited funds prevented the expansion of the service and led to discontinuation of a number of lamps in 1898. Although proposals to convert to electric lighting were first made in 1883, the contract with the Gas Company was continually renewed. Lighting costs in 1910 were in the order of 1800 to 1900 pounds annually. Over the 1914 to 1919 period, 11 expensive high powered lamps were installed in extensions to the sea wall at Bondi and six one thousand candle power lamps were placed in Bronte Park. While conversion to electric power supplied from the City Council did not occur until 1921, Waverley's first electric street lamps were lit on 1 February 1922.

## **Beach Facilities**

Facilities at the beaches – baths, pavilions, shelter sheds and parks – grew in importance as sea bathing increased in popularity. Whilst Government subsidies did not increase to cover these items the *Municipalities Act of 1897* gave Council the right to lease sea baths and buildings as they were constructed. Waverley's first beach pavilion, the 'Castle Pavilion', was opened at Bondi Beach in 1911 providing change facilities and some commercial services until 1928.



It was demolished after completion of the current Bondi Pavilion – part of the Bondi Beach Improvement Scheme of the 1920's. Public facilities at Tamarama and Bronte developed in parallel to those at Bondi.

Much of the beach infrastructure constructed during the Inter War period continues to serve the dual requirements of tourist and residents to this day. With the exception of the Bronte Surf Club, facilities have been augmented over time rather than replaced. Extensive additions to the Bondi Beach Pavilion occurred from the 1980's onwards whilst lifeguard lookouts were constructed at Bondi in the 1970's and relocated in 2002. A similar lookout was constructed more recently at Tamarama in 2000.

### **Other Facilities**

Religious bodies began building Churches from 1844 and in January 1858 the municipalities first (unofficial) post office was opened. Postal and telegraphic services grew inline with technological development and in response to an increasing population: the telephone was for example available in Waverley from 1886 (having been introduced to Sydney in 1881) and by the turn of the century there were around two hundred subscribers to this service. Other post office branches were opened in the area, such as those at Charring Cross and Bondi Beach (both starting in 1912). Until the close of World War I, these amenities reflected the 19th century village atmosphere, which pervaded the municipality's business areas. By the close of the 20th Century, Post offices were being relocated within shopping development such as the Westfield complex at Bondi Junction. An early example remained at Bondi and an agency at Charing Cross replacing the service provided in the prominent structure remains at the intersection of Bronte and Carrington Roads.

Educational facilities were limited to denominational institutions prior to the public Education Act which led to establishment of the Waverley Public School in 1879. Prior to this, Roman Catholic, Church of England and Presbyterian Churches established schools. Small house schools traditional to the early 19th Century also persisted throughout the eastern suburbs after passing of the Public Education Act. Other schools were opened in response to demographic developments and in 1883 the Bondi Central Junior Technical School (Wellington Street Bondi) opened. Secondary schools established in the late 19th and early 20th Century reflected the strong Irish catholic make up of the municipality prior to World War II. With increased affluence in the post war period and successive waves of immigration many of these schools closed or amalgamated. New schools catering for the Municipalities Jewish and South African population were established and expanded from the 1980's. Additional education amenities established and expanded from the 1990's were English Language Colleges catering for expanded immigration from non English Speaking countries. The colleges are located within commercial office space particularly about Bondi Junction and whilst of little visual presence provided expanded demand for commercial space in the Junction.

## **2.10 Speculation and Subdivision**

In the later 19<sup>th</sup> Century, Waverley - as with other Municipalities located away from the City but well served by transport, such as Randwick, Strathfield, Hunters Hill and Manly - acquired a small middle class and bourgeois residential elite who built villas and in a few instances mansions on substantial parcels of land.

Land sales and subdivisions were at the base of settlement from the time of the First Fleet. Officers and notable public servants and later emancipated convicts were offered grants, initially free and later at generous cost in return for undertaking to construct a residence or farm the land. Concurrent with erection of the Waverley House on his lands at the centre of Waverley Barnett Levy's 'Waverley Crescent Subdivision' was advertised on 30 January 1828 in *The Australian*, comprising sixty-eight allotments (Dowd, op.cit, p.45).

As with Levy's acquisition of an earlier grant, so were other grants traded and progressively subdivided particularly in the periodic property booms notably those of the late 1830s and from the period from 1875 to 1890. Subdivision focused on locations accessed by improved transport. The Tramway Bill of 1873 which led to construction of a tram line to Charing Cross in April 1881 saw close subdivision about Charing Cross and Tea Gardens. Larger established residences remained beyond these focal points of transport and were the subject of later subdivision.

Edward Christopher Merewether (1820-1830) a former senior public servant, superintendent of the Australian Agricultural Company and President of both the Australian Club and the Sydney Lawn Tennis Club moved from Newcastle to Bondi in 1876. He moved into a new residence, namely the Castlefield Estate which was located east of Bondi Road. The imposing residence was noted for its magnificent garden and views over Bondi Bay. Merewether died on October 30th 1893, leaving an estate of around two hundred and thirty thousand pounds. The Castlefield Estate was subsequently subdivided and was sold in February 1907. The subdivision and a second sale in 1909, created the following residential streets, namely the Edward, Denham, Castlefield and Henry streets and Imperial Avenue. As with the estates of other colonist about Bronte, the sale of Merewether's Estate typifies the later 19<sup>th</sup> Century process where large holdings were broken up as the 'self made' capitalists died off. Though largely subdivided by the late 1880s, most of these estates were not fully exploited until after World War I.

Waverley's population increased from 1,377 in 1871 to 2,365 in 1881 and leapt to 8,842 by 1891. By the turn of the century, Waverley Council's population of 12,300 people was concentrated in pockets around public transport stations. Most of the area remained sparsely settled and sand dunes, swamp and scrub interspersed with the landscaped grounds of large residences. The built character was to change rapidly in the decade, which followed.

## **2.11 Flats and Bungalows**

In 1929, growth in the Waverley LGA reflected the economic expansion of Sydney after the restrictions of World War I years. The popularity of the LGA is adequately evidenced by the increase in population from 39,000 in 1919 to 62,000 in 1929. Land values have risen from 1.75 million to 6.25 million in the same period.

Building activities during that decade are represented by approximately 6000 new buildings, comprising residential flats, bungalows, etc. The effects of population increase, improved public transport and increased ownership of private vehicles during the Inter War period.

Residential flat buildings were first introduced to Sydney with a building constructed in Windmill Street, Millers Point in 1905. During the war, shortage of construction saw many large residences subdivided into 'flats' with an increasing demand. The semi-detached residence had arisen in the Federation period as a means of increasing lighting and ventilation to the traditional row house. Both, residential flat buildings, as well as Federation residences proved ideally suited to speculative development of land to Sydney's inner LGAs of the Inter War period.

Despite popularity with developers, from an early date conservative house owners in Woollahra, Randwick, Vaucluse, Waverley and Mosman councils grew increasingly militant and began to form pressure groups to stem the tide of flat development.

The Bronte and Waverley Progress and Ratepayers Association, formed in 1915, was one of the groups which 'demanded the end of unsightly blocks of flats, as they obliterated views and caused property prices to plummet' (R. Thompson, 'Sydney's Flats: A Social and Political History', PhD Thesis Macquarie University, 1986, p.45). Restrictions on the location of residential flat buildings were slow to arise, Council was powerless to restrict flat development until an amendment to the *Local Government Act* was gazetted in 1928. The prime control of flat construction in the Inter War period was the availability of regular public transport. Hence residential flat development focused on locations combining transport and high yield from available land. Beach, harbour and parkside lands were prime candidates for developers who frequently constructed the generally two and three storey developments in groups, sometimes about landscaped courts but more often assuming an air of spaciousness through location opposite open public space. Flat developments soon dominated headlands about Waverley's beaches and lined broad streets such as Blair Street, Bondi (the former Sewer Road), and the long avenues leading down to the beach-front at Bondi.

Semi-detached and freestanding residences expanded on the residential spaces between the sporadic pattern of Victorian and Federation settlements, particularly along ridgelines leading down to the beaches. When these areas were fully utilised, subdivision and residential construction ventured into less desirable tracts of open lands. Aerial photographs of Waverley from the 1930's show the large dune drifts north of Blair Street penetrated by tentative street layouts. Areas further north and east of Military Road remain largely coastal heath until the immediate years before and after World War II.

In this residential expansion much of the traditional mixed usage of land in Waverley was removed. Council had taken advantage of an amendment of the *Local Government Act* in 1919 to protect local amenities and advantages, those features that attracted both residents and visitors to the area. In February 1920, Council proclaimed one of the first residential districts in metropolitan Sydney under the 1919 amendment (in the area bounded by Salisbury, Henrietta and Victoria streets and Carrington Road) which prohibited industries, manufactures, places of public amusement, shops, trades and hoardings for advertisement. By the end of 1928, the year councils were first empowered to control flat development, flats had become a characteristic feature of the LGA. The number of flats in the Waverley area grew from 647 in 1921 to 4,380 in 1933 and to 9,277 in 1947. The number of semi detached developments in the Waverley LGA had reached 7,500 by the late 1940s. The spread of residential development was largely serving a lower middle income population and brought new prosperity to the Waverley area.

Service stations, such as Hughie O'Sullivan's garage in Denison Street, Bondi Junction, which opened in 1926, began catering for motor vehicles owned by locals and excursionists. Council was also active in providing development for tourist and residents. The improvements to Bondi Beach detailed in a prize-winning design by Architects Robertson and Marks included the erection of the Bondi Surf Pavilion, seawall, groins, promenade and carpark. Government activities continued as employment relief in the depression years included works to parks and beachfronts.

The built character of the Waverley LGA was largely influenced by the Inter War period.

## 2.12 Community

During the 1930s, a population boom was reached in Sydney's suburban harbourside and seaside suburbs. The population in the Waverley local government area peaked at 75,030 in 1951, however, declined slowly to 59,847 by 1986 before a gradual revival again in the 1990s. During these years, residents favoured larger residences and automobiles. Increased economic aspirations of the post war baby boomers saw a significant move out of the Waverley local government area. Immigrants, initially from Europe in the immediate post war years, from New Zealand in the 1960s and 70s and later from Russia, England, Ireland and South Africa did little to stabilise population or to maintain established institutions. Existing schools merged or closed, membership numbers at surf clubs and bowling clubs began to decline, and picture theatres closed under the impact of declining population, especially with the introduction of television. In 1960, the tram service was removed, leaving automobiles and buses to compete for a road system designed for low volume vehicle usage.

Revival of the Waverley local government area began with improvements to Campbell Parade at Bondi Beach during the 1970s. At the same time, real estate entrepreneurs, in particular the Hayson Group, commenced purchasing and low cost refitting of residential flat buildings in the Bondi area. These residential flat buildings were sold as Strata titled units and provided first home buyers opportunities to own a unit, especially since the cost of terrace houses in Paddington, Balmain and related suburbs were rising.

In 1979, Bondi Junction was linked to the city by a train service which was first mooted in 1873. Related infrastructure improvements included opening of the Bondi Junction Mall in 1979 and the Bondi Junction road bypass and bus rail interchange. Two major retail developments followed in Bondi Junction. Construction of the Eastgate shopping centre and apartment complex in Spring Street in 1986 provided the basis for a suburban retail, commercial and residential focus. The former joint planning controls for the Bondi Junction commercial centre prepared by Waverley and Woollahra councils were subsequently identified as contributing to the relatively slow commercial expansion of the Junction. The change of boundary and the consolidation of planning controls under Waverley Council in the early 21<sup>st</sup> Century accompanied redevelopment of the Westfield Centre, incorporating the northern side of Oxford Street with the former Grace Brothers site on the southern side.

The renewed growth of the late 20<sup>th</sup> Century was accompanied by concerns of affordable housing. As low cost rental properties in Bondi were progressively refurbished or rented out at increased rates to travelling backpackers, lower income groups progressively relocated or stopped moving into the Waverley LGA. This aspect of population change accelerated in the 1990s with increased migration from Eastern Europe combined with expansion of the backpacker tourist industry and the gentrification of the beach side suburbs, attracting settlement by wealthy expatriates. While tourists were particularly attracted to the areas of Bronte and Tamarama, the suburbs of Dover Heights and Vaucluse became preferred locations for residents, originally from South Africa who preferred large residential lots. In 1983, Waverley Council faced protest from the Eastern Suburbs Housing Group over its low cost housing policy. Council has since persisted with a policy providing incentives for provision and retention of low cost housing and is reviewing its policy regularly.

The population in the Waverley local government area showed a slight increase and reached 61,000 in the 2001 Census. A reason for the rise in population from the 1951 Census has been the increasing cultural diversity and income range of residents. 45,000 residents of those listed in the 2001 Census are Australian citizens, which highlights the influx of foreign nationals. Recent trends in property ownership show a high incident of migration and returning expatriates as driving forces in new development. Schools and social clubs have been established to serve the Jewish and South African residents, including the Jewish Hakoah Club and Russian Odessa Club.

### 3 CHANGES TO THE DRAFT WAVERLEY HERITAGE ASSESSMENT

Section 3 'Changes to the first Draft Waverley Heritage Assessment' of the draft Waverley Heritage Assessment includes the advice that the independent Heritage Review Panel provided to Council. This section also lists some 182 proposed heritage items and 11 proposed heritage conservation groups and areas by postal address and item name or period of development. More detailed information about these individual items, groups and areas are provided in Appendix I and II of this study.

#### 3.1 Heritage Review Panel

The first draft Waverley Heritage Assessment was publicly exhibited from October 2005 to February 2006. In order to deal with submissions, which objected to a proposed heritage listing or which were considered controversial, an independent Heritage Review Panel (HRP) was established. This panel consisted of three members, namely:

- one lawyer who chaired the meeting;
- one heritage professional; and
- one community representative.

Up to four community representatives were engaged to avoid a conflict of interest with representatives making recommendations or influencing decisions in the area they live in. During six meetings, the Heritage Review Panel discussed the following proposed heritage items and areas and came to the decision listed in the following table:

Table 1: Comments from the Heritage Review Panel

Address of proposed heritage item/area	Decision of the Heritage Review Panel
<b>80 Alt Street</b>	The HRP recommended that the item located at 80 Alt Street should be removed due to re-roofing of the original, removal of the old chimneys and the infilled verandah.
<b>473 Bronte Road</b>	The HRP recommended that 473 Bronte Road should remain on the DWHA for the same reasons listed in this document.
<b>91 Bondi Road</b>	The HRP recommended that 91 Bondi Road should remain on the DWHA because it is a good example of architecture and aesthetics, it shows integrity and consistency, is a good example of style and an important contribution to the streetscape.
<b>158 Bondi Road</b>	The HRP recommended that number 158 Bondi Road should remain on the DWHA for its high local significance and high local architecture significance and its landmark corner tower.
<b>190 Bondi Road</b>	The HRP recommended that the building at 190 Bondi Road should be removed from the DWHA as it is not part of a cohesive group.
<b>207 Bondi Road</b>	The HRP recommended that the building at 207 Bondi Road should remain on the DWHA because it is of high local and moderate to high architectural significance, rarity and good contribution to the streetscape.
<b>283 Bondi Road</b>	The HRP recommended that the item at 283 Bondi Road should remain on the DWHA as it is a good landmark, a good example of that time, of high architectural significance and a good contribution to the streetscape.
<b>11 Brown Street</b>	The HRP recommended that 11 Brown Street remain on the DWHA as it is of good local significance and a good contribution to the streetscape.
<b>13 Brown Street</b>	The HRP recommended that 13 Brown Street should remain on the DWHA as it is of good local significance and a good contribution to the streetscape.



Address of proposed heritage item/area	Decision of the Heritage Review Panel
<b>18 Brown Street</b>	The HRP recommended that 18 Brown Street should remain on the DWHA as it is of good local significance and a good contribution to the streetscape.
<b>19a Brown Street</b>	The HRP recommended that 19a Brown Street should remain on the DWHA as it is of good local significance and a good contribution to the streetscape.
<b>21 Brown Street</b>	The HRP recommended that number 21 Brown Street should remain on the DWHA as it is of good local significance and a good contribution to the streetscape.
<b>23 Brown Street</b>	The HRP recommended that 23 Brown Street should remain on the DWHA as it is of good local significance and a good contribution to the streetscape.
<b>24 Brown Street</b>	The HRP recommended that number 24 Brown Street should remain on the DWHA as it is of good local significance and a good contribution to the streetscape.
<b>163 Birrell Street</b>	The HRP recommended that 163 Birrell Street should remain on the DWHA because it is a rare example and a good example of architecture and curtilage.
<b>Collingwood Street Conservation Area</b>	The HRP recommended that the proposed Collingwood Street Heritage Urban Conservation Area should remain for the same reasons as listed in this document.
<b>28 Edmund Street</b>	The HRP recommends that 28 Edmund Street should be removed as it no longer contributes to the streetscape.
<b>2a Fitzgerald Lane</b>	The HRP recommended that number 2a Fitzgerald Lane should remain for the reasons given in this document.
<b>32 Fletcher Street</b>	The HRP recommended that 32 Fletcher Street should remain on the DWHA as it is a landmark of local significant architecture and has a high significance of aesthetics.
<b>Gardyne Street Conservation Area</b>	The HRP came to a split decision regarding the proposed Gardyne Street Heritage Urban Conservation Area; two panel members recommended that it should remain and that the eastern boundary should be adjusted. The other panel member recommended that it should be removed because of insufficient heritage significance.
<b>49 Gardyne Street</b>	The HRP came to a split decision regarding 49 Gardyne Street; two panel members recommended that it should be retained because the building is increasingly rare and uncommon and is a good contribution to the streetscape. The other panel member recommended that it should be removed because of economic burden to the owner and its current dilapidated condition.
<b>75 Gardyne Street</b>	The HRP recommended that 75 Gardyne Street should remain because of its high local significance and its high integrity.
<b>43 Hall Street</b>	The HRP recommended that 43 Hall Street should remain because it is rare and uncommon and a good contribution to the streetscape.
<b>45 Imperial Avenue</b>	The HRP recommended that 45 Imperial Avenue should remain for aesthetic and streetscape reasons.
<b>61a-63 Macpherson Street</b>	The HRP agreed to remove 61a-63 Macpherson Street as there are not enough compelling reasons for keeping it.
<b>15 Palmerston Avenue</b>	The HRP recommended that 15 Palmerston Avenue should remain for the same reasons listed in this document.
<b>Queens Park Conservation Area</b>	The HRP recommended that the proposed Queens Park Heritage Urban Conservation Area should remain due to its high integrity and huge diversity in building types and character.
<b>16a Queens Park Road</b>	The HRP recommended that 16a Queens Park Road should be removed as the renovation has diminished its heritage significance.

Address of proposed heritage item/area	Decision of the Heritage Review Panel
<b>44 Simpson Street</b>	The HRP recommended that 44 Simpson Street should remain as the weatherboard cottage is rare and uncommon and a good contribution to the streetscape.
<b>9 Tipper Avenue</b>	The HRP recommended that 9 Tipper Avenue should remain because of its high local significance, its integrity and originality.
<b>33 Wiley Street</b>	The HRP recommended that number 33 Wiley Street should remain for the reasons listed in this document.
<b>2 Yanko Avenue</b>	The HRP decided that 2 Yanko Avenue should remain for its high architectural and aesthetic reasons.
<b>22 Yanko Avenue</b>	The HRP came to a split decision regarding 22 Yanko Avenue; one panel member wanted to remove it from the draft list, while two others recommended that it should remain for its strong streetscape character, refined details, consistency and intactness.
<b>44 Yanko Avenue</b>	The HRP recommended that 44 Yanko Avenue should remain for the reasons of high local significance and its integrity.

### 3.2 Items that have been removed from the Draft Waverley Heritage Assessment

In addition, the following proposed heritage residences have been removed from the Waverley Heritage Assessment, namely:

- No's 1, 3, 5, 7, 10, 11, 12, 15, 18, 19, 19a, 24, 28 Brown Street - at its meeting in August 2006, the Heritage Review Panel recommended to keep the weatherboard cottages at 7, 11, 13, 15, 18, 19, 22, 24 and 28 Brown Street and the Californian Bungalows at 1, 3 and 5 Brown Street on the draft Waverley Heritage Assessment. However, the Director of Planning and Environmental Services together with the Divisional Manager Strategic Planning, Council's Heritage Advisor and Heritage Planner/Urban Designer agreed that these weatherboard cottages, and Californian Bungalows, as well as the Federation Bungalows at 12 and 32 Brown Street and the Inter War Art Deco residence at 19a Brown Street be removed from the draft study. The reasons for removing these proposed heritage items from the draft Waverley Heritage Assessment are as follows:
  - The weatherboard cottages in Brown Street have been substantially altered,
  - The Brown Street community considers individual listing is inappropriate and unnecessary due to the contemporary dual occupancy development at 26 Brown Street;
  - The decisions from the Land and Environment Court of NSW for No's 7 and 11 Brown Street were against Council's decision to keep the weatherboard cottages; and
  - The economic viability of sites (the weatherboard cottages are located on large blocks of land).
- 80 Alt Street, Queens Park - on recommendation of the Heritage Review Panel;
- 22-24 Birrell Street – it will be incorporated in the Bondi Junction Centre LEP 2007;
- 223 Birrell Street – the item is already listed under Waverley LEP 1996;

- ❑ 188-192 Bondi Road - on recommendation of the Heritage Review Panel
- ❑ 501 Bronte Road, Bronte - Council has approved a development application for demolition;
- ❑ 284 Campbell Parade - Council has approved a development application for demolition;
- ❑ 28-30 Edmund Street, Queens Park - on recommendation of the Heritage Review Panel;
- ❑ 61a-63 Macpherson Street, Bronte on recommendation of the Heritage Review Panel;
- ❑ 16a Queens Park Road, Queens Park - on recommendation of the Heritage Review Panel;
- ❑ 33 and 41 Albion Street, Waverley - both items have been removed from the proposed Santa Marina Avenue heritage urban conservation area due to a mistake in the first draft Waverley Heritage Assessment;
- ❑ 2 Violet Street, Bronte – the item has been removed from the proposed Evans Street heritage urban conservation area due to a mistake in the map included in the original draft Waverley Heritage Assessment;
- ❑ 132 Wellington Street - the item is already listed under Waverley LEP 1996;
- ❑ Gardyne Street heritage urban conservation area - The Director of Planning and Environmental Services together with the Divisional Manager Strategic Planning, and Council's Heritage Advisor and Heritage Planner/Urban Designer reviewed the current status of the proposed Gardyne Street heritage urban conservation area. This review concluded that the proposed conservation area was unlikely to be justifiable in any challenge based upon established criteria of assessment. This does not apply to the existing landscape conservation item comprising the stone retaining walls within Gardyne Street. These are considered to comply with listing criteria and are recommended to remain in the existing Waverley LEP 1996 with increased accuracy of identification. However, the overall character, form and scale of the existing construction was not considered to fulfill the NSW Heritage Office criteria for listing. On this basis, it is recommended that the proposed Gardyne Street heritage urban conservation area be deleted from the draft Waverley Heritage Assessment.

### **3.3 Items that have been added to the Draft Waverley Heritage Assessment**

The following items have been inspected, assessed and subsequently added to the Waverley Heritage Assessment, namely:

- ❑ 118 Murrivier Road, North Bondi – The Quarry Master's cottage;
- ❑ 27 Paul Street, Bondi Junction;
- ❑ Extension of the Landscape Conservation Area of Tamarama Park, identified in Schedule 5c of Waverley LEP 1996 by including the waterfall and sandstone boulders;
- ❑ Bronte Ocean Pool;

- ❑ Extension of the Bondi Beach Conservation Area by including the block bounded by Wairoa Avenue/Warners Avenue/Campbell Parade/Ramsgate Avenue and Hastings Parade – due to an April 2006 Council motion;
- ❑ 28 Evans Street, Bronte;
- ❑ 47 and 49 Imperial Avenue, Bondi;
- ❑ 226, 228, 230, 238, 246-248, 250-258, 270, 274, 282 Campbell Parade, Bondi Beach;
- ❑ 92-96 Brighton Boulevard, Bondi Beach;
- ❑ 34a Yanko Avenue; and
- ❑ 40 Yanko Avenue.

### 3.4 Updated List of Proposed Heritage Items, Conservation Groups and Areas

Tables 1 and 2 list all proposed heritage items and potential heritage conservation groups and areas.

Table 2: Proposed Heritage Items

Inventory Item	Address	Item Name / Period of Development
1.	14 Aboukir Street, Dover Heights	Inter War Art Deco style
2.	36 Anglesea Street, Bondi	Inter War Mediterranean/Spanish style substation
3.	4a Arden Street, Bronte	Victorian Italianate villa
4.	4 Arden Street, Bronte	Federation Bungalow style residence
5.	10a Arden Street, Bronte	Victorian Italianate style villa
6.	Ben Buckler, Bondi Beach	Ben Buckler Battery site
7.	163 Birrell Street, Waverley	Post War Modernist style Waverley Bowling Club
8.	217 Birrell Street, Bronte	Victorian Italianate style bungalow
9.	219 Birrell Street, Bronte	Victorian Italianate style dwelling
10.	225 Birrell Street, Bronte	Victorian Italianate style villa
11.	229 Birrell Street, Bronte	Victorian Italianate style villa
12.	231 Birrell Street, Bronte	Victorian Italianate style villa
13.	233 Birrell Street, Bronte	Victorian Italianate style bungalow
14.	237 Birrell Street, Bronte	Late Federation/early Inter War Bungalow style residence
15.	239 Birrell Street, Bronte	Late Federation/early Inter War Bungalow style residence
16.	241 Birrell Street, Bronte	Federation Bungalow style residence
17.	247 Birrell Street, Bronte	Federation Arts and Crafts style residence
18.	36 Blair Street, Bondi Beach	Inter War Art Deco style residential flat building
19.	38 Blair Street, Bondi Beach	Inter War Georgian Revival style residential flat building

<b>Inventory Item</b>	<b>Address</b>	<b>Item Name / Period of Development</b>
20.	60b Blair Street, Bondi Beach	St Anne's Primary School, Inter War Georgian Revival style
21.	168 Blair Street, North Bondi	Inter War California Bungalow
22.	172 Blair Street, North Bondi	Inter War California Bungalow
23.	7 Bon Accord Avenue, 7Bondi Junction	Federation Queen Anne/Federation Carpenter Gothic style cottage
24.	85-101 Bondi Road, Bondi	Federation Queen Anne style mixed development
25.	100-102 Bondi Road, Bondi Junction	Federation Filigree style terrace houses
26.	108-116 Bondi Road (known as 55 Flood St), Bondi	Federation Arts and Crafts style residential flat building
27.	128 Bondi Road, Bondi	Late Federation Free Classical Revival style mechanic building
28.	134b Bondi Road (known as 134 Bondi Rd), Bondi	Inter War Art Deco style residential flat building,
29.	140 Bondi Road, Bondi	Masonic Centre, Monumental Style
30.	151-153 Bondi Road, Bondi	Inter War Free Classical style mixed development
31.	185 Bondi Road, Bondi	Federation Arts and Crafts style mixed development
32.	207 Bondi Road, Bondi	Inter War Georgian Revival style mechanic building
33.	283 Bondi Road, Bondi	Royal Hotel Inter War Mediterranean style
34.	303 Bondi Road, Bondi	'Roddymoor', Federation Arts and Crafts style bungalow
35.	6-24 Brae Street, Bronte	Victorian Classical style terrace houses
36.	92-96 Brighton Boulevard, Bondi Beach	Inter War Art Deco style residential flat building
37.	Bronte Ocean Pool, Bronte	Bronte Ocean Pool
38.	254 Bronte Road, Waverley	Victorian style commercial terrace houses
39.	280 Bronte Road, Waverley	Victorian Italianate style building
40.	282a Bronte Road, Waverley	Victorian style cottage
41.	333 Bronte Road, Bronte	Federation style villa
42.	335 Bronte Road, Bronte	Victorian Italianate / Federation Bungalow style villa
43.	345-347 Bronte Road, Bronte	Victorian Boom style semi detached residences
44.	350 Bronte Road, Waverley	Victorian style residence
45.	352 Bronte Road, Waverley	Inter War California Bungalow
46.	353 Bronte Road, Bronte	Federation Bungalow style residence
47.	354 Bronte Road, Bronte	Inter War California Bungalow
48.	355 Bronte Road, Bronte	Victorian Italianate style villa
49.	356 Bronte Road, Waverley	Inter War California Bungalow
50.	358 Bronte Road, Waverley	Inter War California Bungalow
51.	473 Bronte Road, Bronte	Bogey Hole Café, Inter war style
52.	21 Brown Street, Bronte	Inter War style dual occupancy development



<b>Inventory Item</b>	<b>Address</b>	<b>Item Name / Period of Development</b>
53.	23 Brown Street, Bronte	Inter War style dual occupancy development
54.	32 Brown Street, Bronte	Federation Queen Anne style bungalow
55.	24-26 Campbell Parade, Bondi Beach	Inter War style residential flat building
56.	70 Campbell Parade, Bondi Beach	Inter War style mixed development
57.	92 Campbell Parade, Bondi Beach	Inter War Free Classical style residential flat building
58.	118-120 Campbell Parade, Bondi Beach	Inter War style residential flat building
59.	218-224 Campbell Parade (known as 1 Beach Road), Bondi Beach	Inter War Palazzo style residential flat building
60.	226 Campbell Parade, Bondi Beach	Inter War Art Deco style residential flat building
61.	228 Campbell Parade, Bondi Beach	Inter War Art Deco style residential flat building
62.	230 Campbell Parade, Bondi Beach	Inter War Art Deco style residential flat building
63.	238 Campbell Parade, Bondi Beach	Inter War Art Deco style residential flat building
64.	246-248 Campbell Parade, Bondi Beach	Inter War Art Deco style residential flat building
65.	250-258 Campbell Parade, Bondi Beach	Inter War Art Deco style residential flat building
66.	264-268 Campbell Parade	Inter war Art Deco style residential flat building
67.	270 Campbell Parade, Bondi Beach	Inter War Art Deco style residential flat building
68.	274 Campbell Parade, Bondi Beach	Inter War Art Deco style residential flat building
69.	282 Campbell Parade, Bondi Beach	Inter War Art Deco style residential flat building
70.	20 Castlefield Street, Bondi	Federation style cottage
71.	25 Castlefield Street, Bondi	Federation style bungalow
72.	27-29 Chesterfield Parade, Bronte	Victorian style terrace pair
73.	17-19 Edmund Street, Queens Park	Victorian/Georgian style semi detached residences
74.	24 Edmund Street, Queens Park	Victorian Georgian style cottage
75.	27 Edmund Street, Queens Park	Victorian Georgian style sandstone cottage
76.	75 Edward Street, Bondi	Federation Queen Anne style bungalow
77.	26 Evans Street, Bronte	Victorian style villa
78.	28 Evans Street, Bronte	Victorian style villa
79.	30 Evans Street, Bronte	Victorian style cottage
80.	32 Evans Street, Bronte	Victorian style cottage
81.	34 Evans Street, Bronte	Victorian style cottage
82.	36 Evans Street, Bronte	Victorian style cottage

<b>Inventory Item</b>	<b>Address</b>	<b>Item Name / Period of Development</b>
83.	38 Evans Street, Bronte	Victorian style cottage
84.	40 Evans Street, Bronte	Victorian style cottage
85.	42 Evans Street, Bronte	Victorian style cottage
86.	2a Fitzgerald Lane (known as 2a Fitzgerald Street), Queens Park	Sandstone Wall
87.	2-4 Fitzgerald Street, Queens Park	Victorian Italianate style semi detached dwelling
88.	6-8 Fitzgerald Street, Queens Park	Victorian Italianate style semi detached dwelling
89.	32 Fletcher Street, Bondi	Inter War style mixed development
90.	346 Frances Street, substation, Bondi Beach	Inter War Mediterranean style substation
91.	49 Gardyne Street, Bronte	Inter War California Bungalow
92.	73 Gardyne Street, Bronte	Inter War style residential flat building
93.	75 Gardyne Street, Bronte	Federation style bungalow
94.	9 Glasgow Avenue, Bondi Beach	Inter War California Bungalow
95.	339 Glenayr Avenue, substation, Bondi Beach	Inter War Mediterranean style substation
96.	177 Glenayr Avenue, Bondi Beach	Post War Modern style residential flat building
97.	80 Gould Street, substation, Bondi Beach	Inter War Mediterranean style substation
98.	43 Hall Street, Bondi Beach	Federation style sandstone cottage
99.	163 Hall Street, Bondi Beach	Late Federation style dwelling
100.	1 Hastings Parade, substation, Bondi Beach	Inter War Mediterranean style substation
101.	107 Henrietta Street, Waverley	Victorian style terrace
102.	109 Henrietta Street, Waverley	Victorian style dwelling
103.	111 Henrietta Street, Waverley	Victorian style villa
104.	113 Henrietta Street, Waverley	Victorian Italianate style villa
105.	115 Henrietta Street, Waverley	Victorian style dwelling
106.	117 Henrietta Street, Waverley	Victorian style dwelling
107.	99 Hewlett Street, Bronte	Inter War style residential flat building
108.	10 Imperial Avenue, Bondi	Federation style bungalow
109.	20-22 Imperial Avenue, Bondi	Federation Queen Anne style semi detached residences
110.	25-35 Imperial Avenue, Bondi	Federation Arts and Crafts style semi detached residences
111.	43 Imperial Avenue, Bondi	Inter War California Bungalow
112.	45 Imperial Avenue, Bondi	Inter War California Bungalow
113.	47 Imperial Avenue, Bondi	Inter War residential flat building
114.	49 Imperial Avenue, Bondi	Inter War residential flat building
115.	1 Kent Street, Waverley	Inter War California Bungalow
116.	9 King Street, Bondi	Federation style cottage
117.	1 Kippara Road, Dover Heights	Inter War Art Deco style bungalow
118.	14-16 Leichhardt Street, Bronte	Federation Queen Anne style semi detached residences
119.	22 Leichhardt Street, Waverley	Federation Free style mixed development

<b>Inventory Item</b>	<b>Address</b>	<b>Item Name / Period of Development</b>
120.	Leichhardt Street, Waverley	Victorian Academic Gothic style Lugar Brae Church
121.	2 Lord Howe Street, Dover Heights	Inter War Art Deco style bungalow
122.	344 Lucius Street, substation, Bondi Beach	Inter War Georgian Revival style substation
123.	48 Macpherson Street, Bronte	Federation Free style mixed development
124.	62 Macpherson Street, Bronte	Inter war Classical Revival style car repair shop
125.	118-118a Macpherson Street, Bronte	Inter War Classical Revival style mixed development
126.	129-131 Macpherson Street, Bronte	Victorian Classical mixed development
127.	141-143 Macpherson Street, Bronte	Inter War Free Classical style mixed development
128.	145a-e Macpherson Street, Bronte	Inter War Mediterranean and Art Deco style mixed development
129.	3 Marroo Street, Bronte	Federation Bungalow style semi detached residences
130.	4 Mitchell Street, Bondi Beach	Inter War Spanish Mission style residence
131.	6 Mitchell Street, Bondi Beach	Inter War Spanish Mission style residence
132.	47 Mitchell Street, Bondi Beach	Inter War style St Anne's Presbytery
133.	118 Murrivier Road, North Bondi	Inter War Bungalow style Quarry Master's cottage
134.	345 Murrivier Road, substation, North Bondi	Inter War Mediterranean style substation
135.	34 Ocean Street, Bondi	Federation Filigree style residence, 'Beatrice', 'The Rectory'
136.	34 Ocean Street, Bondi	Federation Gothic style, St Matthew's Church
137.	65 Ocean Street, Bondi	Federation Queen Anne style dwelling, 'Melrose'
138.	67 Ocean Street, Bondi	Federation Bungalow style dwelling
139.	129 Old South Head Road, Bondi Junction	Victorian Italianate style residence
140.	137 Old South Head Road, Bondi Junction	Inter War Art Deco style residential flat building
141.	1 Palmerston Avenue, Bronte	Inter War style residential flat building
142.	3 Palmerston Avenue, Bronte	Inter War style residential flat building
143.	5 Palmerston Avenue, Bronte	Inter War style residential flat building
144.	6 Palmerston Avenue, Bronte	Inter War style residential flat building
145.	7 Palmerston Avenue, Bronte	Inter War style residential flat building
146.	8 Palmerston Avenue, Bronte	Inter War style residential flat building
147.	9 Palmerston Avenue, Bronte	Inter War style residential flat building
148.	10 Palmerston Avenue, Bronte	Inter War style residential flat building

<b>Inven- tory Item</b>	<b>Address</b>	<b>Item Name / Period of Development</b>
149.	10a Palmerston Avenue, known as 32 Blandford Avenue, Bronte	Inter War style residential flat building
150.	11 Palmerston Avenue, Bronte	Inter War style residential flat building
151.	12 Palmerston Avenue, Bronte	Inter War style residential flat building
152.	13 Palmerston Avenue, Bronte	Inter War style residential flat building
153.	15 Palmerston Avenue, Bronte	Inter War style residential flat building
154.	27 Paul Street, Bondi Junction	Victorian Italianate style dwelling
155.	51 Penkivil Street, Bondi	Victorian Italianate style dwelling
156.	67-69 Penkivil Street, Bondi	Federation Filigree style semi detached residences
157.	2 Rodney Street, Dover Heights	Former fire command post and fortress observation post
158.	1-3 Santa Marina Avenue, Waverley	Inter War style semi detached residences
159.	2 Santa Marina Avenue, Waverley	Inter War style residential flat building
160.	4 Santa Marina Avenue, Waverley	Inter War style residential flat building
161.	5-7 Santa Marina Avenue, Waverley	Inter War style semi detached residences
162.	6-8 Santa Marina Avenue, Waverley	Inter War style semi detached residences
163.	9-11 Santa Marina Avenue, Waverley	Inter War style semi detached residences
164.	44 Simpson Street, Bondi Beach	Federation Queen Anne style cottage
165.	9 Tipper Street, Bronte	Inter War California Bungalow
166.	10 Tipper Street, Bronte	Late Federation Queen Anne/ Inter War Californian Bungalow
167.	33-35 Wiley Street, Waverley	Victorian Filigree style semi detached residences
168.	2 Yanko Avenue, Bronte	Federation style bungalow
169.	4 Yanko Avenue, Bronte	Federation style bungalow
170.	6 Yanko Avenue, Bronte	Federation style bungalow
171.	17 Yanko Avenue, Bronte	Federation style bungalow
172.	18 Yanko Avenue, Bronte	Federation style terrace house
173.	22 Yanko Avenue, Bronte	Federation Bungalow style residence
174.	27 Yanko Avenue, Bronte	Federation Bungalow style residence
175.	32 Yanko Avenue, Bronte	Late Federation Arts and Crafts style residence
176.	34a Yanko Avenue, Bronte	Sandstone outbuilding, former satbles
177.	35 Yanko Avenue, Bronte	'Mandalay' Federation Bungalow style residence
178.	40 Yanko Avenue	Sandstone backyard garden wall
179.	41 Yanko Avenue, Bronte	Inter War California Bungalow
180.	42 Yanko Avenue, Bronte	Inter War California Bungalow
181.	43 Yanko Avenue, Bronte	Inter War California Bungalow

<b>Inventory Item</b>	<b>Address</b>	<b>Item Name / Period of Development</b>
182.	44 Yanko Avenue, Bronte	Federation Arts and Crafts style dwelling
183.	63 York Road, Queens Park	Federation Queen Anne style Bungalow

Table 3: Proposed heritage urban and landscape conservation groups and areas

<b>Inventory Item</b>	<b>Address</b>	<b>Item Name / Period of Development</b>
1.	36, 38 Blair Street, Bondi	Heritage urban conservation group.
2.	Bondi Beach, streetscape, Bondi Beach	Extension of the Bondi Beach heritage urban conservation area by including the block bounded by Wairoa Avenue/Warners Avenue/Campbell Parade/Ramsgate Avenue and Hastings.
3.	Brown Street, streetscape, Bronte	Heritage urban conservation area.
4.	Busby Parade streetscape, Bronte	Heritage urban conservation area.
5.	Collingwood Street, streetscape, Bronte	Heritage urban conservation area.
6.	Evans Street, streetscape, Bronte	Heritage urban conservation area.
7.	Imperial Avenue, streetscape, Bondi	Heritage urban conservation area.
8.	Palmerston Avenue, streetscape, Bronte	Heritage urban conservation area.
9.	Queens Park streetscape, Queens Park	Heritage urban conservation area.
10.	Santa Marina Avenue, streetscape, Waverley	Heritage urban conservation area.
11.	Tamarama Park landscape area, Tamarama	Extension of the heritage landscape conservation area of Tamarama Park, identified in Schedule 5C Landscape Items and Sites in Waverley LEP 1996 by including the waterfall and sandstone boulders



## **4. RECOMMENDATIONS AND GUIDELINES**

This section suggests ways to ensure conservation and enhancement of heritage significant buildings, groups or areas within the Waverley local government area. This section also provides information on interim heritage protection, as well as the Heritage Review Panel and it highlights the implementation of the Waverley Heritage Assessment.

### **4.1 Implementation of the Draft Waverley Assessment**

On 4 September 2007, Council adopted the Waverley Heritage Assessment. The identified and proposed heritage items and proposed conservation groups and areas will be formalised by way of a 'housekeeping' amendment to Waverley LEP 1996 for 2008. For further information about the LEP process, refer to the following website of the Department of Planning:

[http://www.planning.nsw.gov.au/planningsystem/pdf/circulars/ps06\\_013\\_localstudies.pdf](http://www.planning.nsw.gov.au/planningsystem/pdf/circulars/ps06_013_localstudies.pdf).

### **4.2 Interim Protection**

As mentioned under section 4.1 'Implementation of the Waverley Heritage Assessment', the proposed heritage items and conservation groups and areas will be formalised by way of a 'housekeeping' amendment to the Waverley LEP 1996. Until these proposed items, groups or areas are listed under Waverley LEP 1996, development applications for demolition of a proposed heritage item, such as a building, or a building adjacent to a listed item or a building within a proposed conservation group or area will be assessed on its impacts. Any development application for demolition will be referred to Council's Heritage Advisor. However, as an emergency protection, Part 3, Section 24-30 of the *NSW Heritage Act 1977* states that properties identified by a local government area as having heritage significance can be placed on an Interim Heritage Order (IHO) which restricts the demolition of buildings.

An IHO can only be utilised if a building is considered under threat and is used for items, which are under no statutory protection. Between the exhibition and the gazettal of the amendment to Waverley LEP 1996, an IHO can be utilised as a control instrument to protect a proposed heritage item, group or a building within a proposed conservation area from demolition. Therefore, the amendment to the WLEP 1996 should be prepared as soon as possible to protect the heritage significance of the proposed heritage items, groups or areas. Council should also take the Waverley Heritage Assessment into consideration while assessing a development application for an item listed in this assessment.

If Council would like to obtain an IHO over a property, a written nomination has to be prepared and send to the NSW Heritage Office. The nomination has to include the identified property and reasons why the item is of state or local heritage significance. Subsequently, the Minister has the ability to put an Interim Heritage Order on the relevant item or group. An IHO can also protect archaeological reliefs of non-indigenous origin.

### **4.3 Promotion Recommendations**

Council promotes heritage conservation in a range of ways. For instance, Council employs both a full-time Heritage Planner/Urban Designer and a part-time Heritage Advisor. These specialist Advisors provide free heritage advice to the public.

Furthermore, Council has established the annual Civic Pride Awards for Heritage and Design to both encourage and reward high quality architecture and development that promotes the conservation of buildings of heritage significance within the Waverley local government area. Last year's winners can be viewed on Council's website on [www.waverley.nsw.gov.au/council/pes/building/heritagedesignawards/](http://www.waverley.nsw.gov.au/council/pes/building/heritagedesignawards/).

In order to secure an ongoing heritage conservation process, the Waverley Heritage Assessment recommends establishing a Waverley Heritage Assistant Grant to encourage conservation work on heritage items and in conservation areas. Council should allocate the minimum amount of \$10,000 in the relevant fund and give up grants of \$2,000 to property owners to carry out renovation works that increase the heritage value of the listed item or area. Grants can range from \$250 to \$2,000 and can be used for painting (in heritage colours), fencing, minor repairs, or reinstatement of original heritage details. The grants may not cover the entire cost but are intended to provide assistance. Council could even place before and after photos on their website.

The Waverley Heritage Assessment also aims to establish a Heritage Fund to support heritage educational campaigns in the Waverley local government area, namely to:

- Conduct a local heritage training workshop by putting an emphasis on training and educating the owners of heritage buildings (both current and proposed);
- Establish and distribute a regular heritage newsletter for the Waverley local government area and promote the exchange of information and networking in relation to heritage matters; and
- Develop heritage guidelines and a heritage information kit which could include guidelines for the conservation, maintenance and reconstruction of period settings, and should address fences and street facing gardens.

Council should also encourage a vigorous debate about heritage items, and foster an awareness of heritage issues within the Waverley local government area and encourage local community involvement.

Furthermore, Council should properly conserve and maintain heritage items which are in public ownership, or under direct public control to set an example for private property owners of heritage items. The conservation of these items should be to a high standard.

Street improvements within the proximity to proposed and existing heritage items or within heritage urban conservation areas should be considered. Bus shelters, street lights, litter bins and other street furniture as well as paving and kerbing should be consistent with heritage buildings and conservation groups or areas. In heritage urban conservation areas and groups, buildings and elements that contribute to the overall heritage value of the area should be kept intact where possible. The community should be widely consulted and kept informed about the progress of this study and of the heritage listing process. Council should also promote proposed conservation areas in order to gain the communities acceptance and support for the protection and appropriate management of these areas.

#### **4.4 Character Analysis**

Before a property owner of a heritage item or a property which is located within a heritage urban conservation group or area starts to design additions to the property which includes new work at the rear or on top of the existing buildings, a Character Analysis should be undertaken to determine the character of the locality in which the property is located, as well as to identify opportunities and constraints to ensure the new design is sympathetic to its setting. The analysis should then be submitted in conjunction with the development application.

Many mixed developments within the Waverley local government area often range in a variety of historic styles (from Victorian to Inter War styles) and contribute to the scale and detail of the surrounding residential development. Heritage controls seek to conserve or enhance the existing character and scale of conservation areas and heritage items. A character analysis is an essential starting point in the design process prior to the lodgement of a development application. The analysis should consider all elements (constraints and opportunities) that contribute to the character of the locality. Constraints, for example could include average height and setback; parapet treatment; and the width of the road, while opportunities might include depth, slope of block and the utilisation of existing architectural elements in the design.

Appropriate design for heritage items or properties within a heritage urban conservation area will only be achieved by employing a skilled professional architectural designer, possibly with a heritage background. Especially for mixed developments, it is important that shop fronts are carefully designed to reflect the character and quality of the street and that shop windows are designed with adequate display areas.

#### **4.5 Density Conflicts with proposed Heritage Urban Conservation Groups or Areas**

The zoning of a property can have significant impacts on the conservation process. Zoning and density controls that provide for a higher intensity of development than exists at present on a site can lead to expectations of development that cannot be met without compromising heritage values. For example, the 2(b) Residential - Medium Density zone will allow, among other things, a greater density on a site than a 2(a) Residential - Low Density zone. This zone also encourages redevelopment of sites as town houses and residential flat buildings in an area where this may be in conflict with the heritage values. 2(c1) Residential - Medium and 2 (c2) Residential - High Density zones permit greater heights as well as densities.

The zoning of some existing heritage urban conservation areas (i.e. Mill Hill Conservation) and proposed heritage conservation areas can potentially result in conflict and increased redevelopment pressure for single storey residential areas which are located in a 2(b) or a 2(c1) zone. Any possible re-zonings should be considered as part of the preparation of the new Waverley LEP 2010 or the new Bondi Junction Centre LEP 2007.

One density conflict occurred in the proposed Imperial Avenue heritage urban conservation area. The heritage urban conservation area is zoned 2(c1) Residential - Medium and High Density under Waverley LEP 1996 which allows multi-unit housing while mostly single storey residences are located in the area. In the past, a number of development applications for demolition and erection of multi-unit development have been submitted in the area and residents have raised concerns about the effect of multi-unit development on the character and amenity of the area. In 1988 and again in 2000, residents approached Council to have the area around Imperial Avenue (identified in Section 5.7) rezoned. The Department of Planning rejected this in both occasions. The area contains a number of single storey residences, and the current zoning increases redevelopment and site amalgamation pressure.

Therefore, the place-based Part F3 - Imperial Avenue of the Waverley development control plan 2006 was prepared by Council to better integrate multi-unit development within the area by improving design compatibility of existing and proposed buildings.

#### **4.6 Aboriginal Heritage Study**

As already mentioned under 1.5 'Limitations', the Waverley Heritage Assessment does not include an assessment of aboriginal archaeological heritage. However, Council has consulted with two Aboriginal Groups, namely the La Perouse Local Aboriginal Land Council and the Darug Tribal Aboriginal Corporation as part of the community consultation process.

It is therefore recommended that Council should undertake a detailed aboriginal archaeological heritage study which aims to develop a better understanding of the Aboriginal cultural heritage in the Waverley local government area through historical research. The study should record a wide range of heritage values of traditional, historic and contemporary importance to Aboriginal communities. It should also aim to develop ways of better managing these values in the local planning processes.

The following project objectives should be considered when preparing a Waverley Aboriginal Heritage study:

- ☐ To bring Aboriginal groups together with stakeholders to discuss cultural heritage management.
- ☐ To collate and map valued places deemed useful for land and heritage management across the study area. These might include archaeological sites, archaeological landscape modelling.
- ☐ To commence research into the historical and social context of the Aboriginal groups in the study area.
- ☐ To use the information and project outcomes to guide future planning and improved cultural heritage management throughout the study area.
- ☐ To identify potential Aboriginal sites for priority conservation.

Any future Aboriginal Heritage study will be considered following discussion with the adjoining councils and authorities, namely:

- ☐ Randwick City Council;
- ☐ Woollahra Municipal Council;
- ☐ City of Sydney;
- ☐ Centennial Park and Moore Park Trust.

After consultation and consideration of available information, a budget and timeframe for this study will be sought.

## **5. RECOMMENDATIONS FOR PROPOSED CONSERVATION AREAS AND GROUPS**

Section 5 provides recommendations and guidelines for proposed heritage urban conservation areas and groups as well as for the extension of the landscape conservation area at Tamarama Park.

### **5.1 Recommendations for the proposed Heritage Urban Conservation Group at 36 and 38 Blair Street, Bondi Beach**

Blair Street Bondi is a wide avenue with central planted median constructed in the early 20<sup>th</sup> Century to replace the former Sewer Road, a narrow roadway following the route of the Sydney Outfall Sewer from Old South Head Road to Military Road. The sites of 36 and 38 Blair Street are located to the northern side of the wide street. The adjacent sites are zoned 2(b) Residential- Medium Density under Waverley LEP 1996 and occupied by three storey Inter War residential flat buildings. The paired buildings have historic and aesthetic heritage significance. The notable examples of Inter War Revival styles form an heritage urban conservation group of local heritage significance.

The residential flat building at 36 Blair Street is of three-storey face brick construction with hipped Marseilles tile roof. The building combines Inter War Art Deco and Old English detailing. The influence of the Art Deco is most evident in the staggered street frontage, horizontal window framing and overall massing whilst Old English influence provides the tall hipped roof form.

The property at 38 Blair Street, Bondi Beach is a triple fronted three-storey residential flat building constructed in face brick with Marseilles tile hip roof and of Inter War Georgian Revival Style. The staggered street frontage incorporates single window openings combined in arcaded form to the outer bays. Within these bays, windows have arched openings to ground and first floors and rectangular openings to the top or second floor. A canted bay window rises in the centre bay featuring single rectangular window openings. All windows to the street frontage are clear glazed double hung sashes with those to the top floor having six pane sashes to the upper sash. Wide eaves and face brick chimneys further enhance the bungalow roof form.



Photo 10: 36 Blair Street



Photo 11: 38 Blair Street

Residential flat buildings commenced in Sydney in the mid Federation Period with the first recorded example being constructed in 1906 in Windmill Street, Millers Point. Housing shortages of World War I saw many existing large Federation residences converted to flats. The process continued through the Inter War period with new construction adapting revival forms and the newly evolved Art Deco and Functionalist style.



Stylistic influences were often combined with single and double fronted hip roofs common to all styles. Construction about Blair Street was prompted by extension of the Bellevue Hill tram service down the newly formed (1913) Birriga Road in 1919. New construction progressively subdivided and enclosed the remaining Bondi sand dune formation and previous market gardens about New South Head Road and along the route of the Bondi Sewer Outfall running beneath Blair Street. Improvements to Blair Street saw the establishment of a wide avenue reflecting the persisting influence of the Garden Suburb Movement during the Inter War Years. The preference for English 'Bungalow' roof forms along Blair Street reflected this influence both upon residential flat buildings and smaller semi detached and duplex residences to the centre and north-eastern end of the street.

### **Recommendations:**

Any upward addition to existing buildings should be provided within existing roof voids and related localised projections of roof forms. Exposure of 'in roof' additions to the street is to be minimal. All roof additions are to retain and enhance existing traditional roof detailing in particular lined eaves, ridge hip and barge detailing. Traditional finishes and detailing of existing Inter War residential flat buildings is to be retained and enhanced. The following recommendations should be considered when renovating the residences at 36 or 38 Blair Street:

- External face brick should not be rendered;
- Existing roof tiles are only to be replaced with terra cotta tiles of like colour finish and profile;
- Painted timber window frames and sashes should be retained in existing patterns including secondary horizontal glazing bars;
- Lobbies stairways and entry doors are significant elements of original design in Inter War flats and should be kept;
- Detailing to the group should be maintained and enhanced by appropriate lighting, colour finishes and floor coverings; and
- Original finishes including etched or leadlight glazing, floor tiling, architectural terra cotta (faience) mouldings, timber panelling and moulded plaster ceilings should be maintained and conserved.

The following map shows the heritage urban conservation group at 36 and 38 Blair Street.

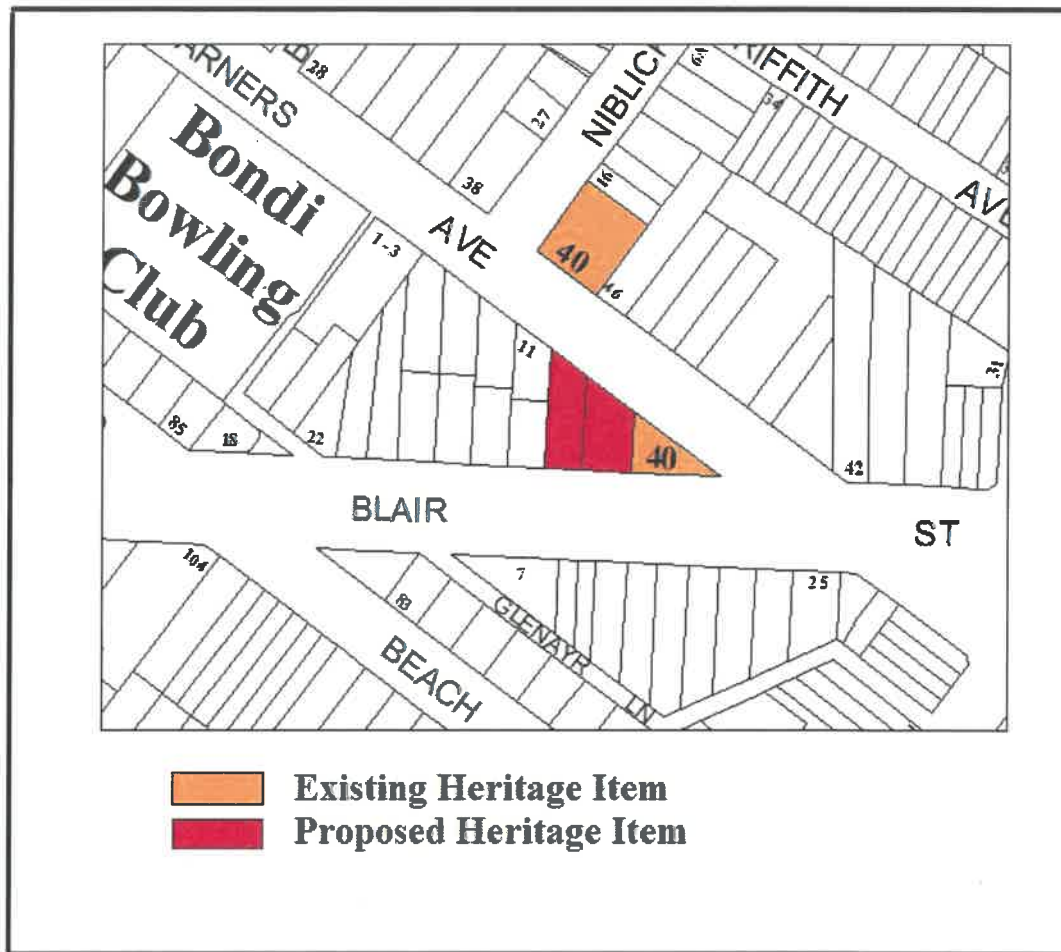


Figure 4: Map of the proposed Blair Street heritage urban conservation group

## **5.2 Recommendations for the proposed Extension of the Bondi Beach Heritage Urban Conservation Area**

The current Bondi Beach heritage urban conservation area includes the southern and central part of Campbell Parade while the extension covers the area bounded by Wairoa Avenue, Warners Avenue, Campbell Parade, Ramsgate Avenue and Hastings Parade. The area is zoned 2(c1) Residential – Medium and High Density, 3(c) Business Neighbourhood and 6(a) Open Space under Waverley LEP 1996.

The north-eastern extent of Campbell Parade follows the early boundary of the beach reserve, linked to the beginnings of the former Military Road rising to the North Bondi ridgeline.

Prior to World War I, development of lands north of Campbell Parade was limited by the remaining dune formations extending into the Bondi - Rose Bay valley. Subdivision of the dunes and extension of the Bondi tram line to the northern end of Campbell Parade provided impetus for construction of residential flat buildings during the Inter War years. Construction on sites overlooking Bondi, combined the still popular Arts and Crafts style with the emerging Inter War Art Deco style, the later increasingly associated with leisure and entertainment. By the outbreak of World War II, the northern extent of Campbell Parade provided a streetscape dominated by Art Deco style frontages. Extending the pattern of hotel and residential flat frontages from the southern end of the beach, construction at the northern end completed the distinctive crescent plan backdrop to Bondi Beach and its newly opened pavilion (Bondi Pavilion). The compressed period of construction provided the existing streetscape of cohesive Inter War styles and building forms.

The northern extension of the Bondi Beach heritage urban conservation area retains notable examples of Inter War Art Deco style residential flat buildings that define the distinctive crescent about Bondi Beach. The Inter War style residential flat buildings at 226, 228, 230, 238, 246, 248, 250, 270, 274, 282 Campbell Parade and 92-96 Brighton Boulevard are also recommended for individual heritage listing in this assessment.



Photo 12: 92-96 Brighton Boulevard



Photo 13: 270 Campbell Parade



Photo 14: 228 Campbell Parade



Photo 15: 226 Campbell Parade

### Recommendations:

To preserve the stylistic detailing and Inter War streetscape of the proposed northern extension of the existing Bondi Beach heritage urban conservation area, the following recommendations are made:

- The form, detailing and external finishes of existing residential flat buildings are to be maintained with particular attention to the maintenance of Marseille tile roofing, face brickwork, painted, timber framed windows and inset balconies with solid balustrading;
- Further detailing, including low level boundary fencing, stylised signage, patterned paving, patterned render, lighting and detailed entry foyers are to be preserved and enhanced in maintenance and localised alterations;
- Any extensions at roof level are to maintain existing hipped, gabled and parapet roof forms and finishes as the dominant aspect of the skyline;
- Infill development is to be cohesive with the established forms, finishes and scale of development from the Inter War period and to defer to the existing streetscape in scale and alignment;
- Glazed openings are to reflect the pattern and proportions of solid to void within existing Inter War buildings;
- Open balconies are to be set within the external wall plane of new development with glazed balustrades of limited length, not to exceed 50% of the balcony frontage; and
- Infill building colour finishes are to comply with the colour range and further controls identified in Part F2 – Bondi Beach of Waverley DCP 2006.

The proposed extension of the proposed extension of the Bondi Beach heritage urban conservation area is shown in the following map.

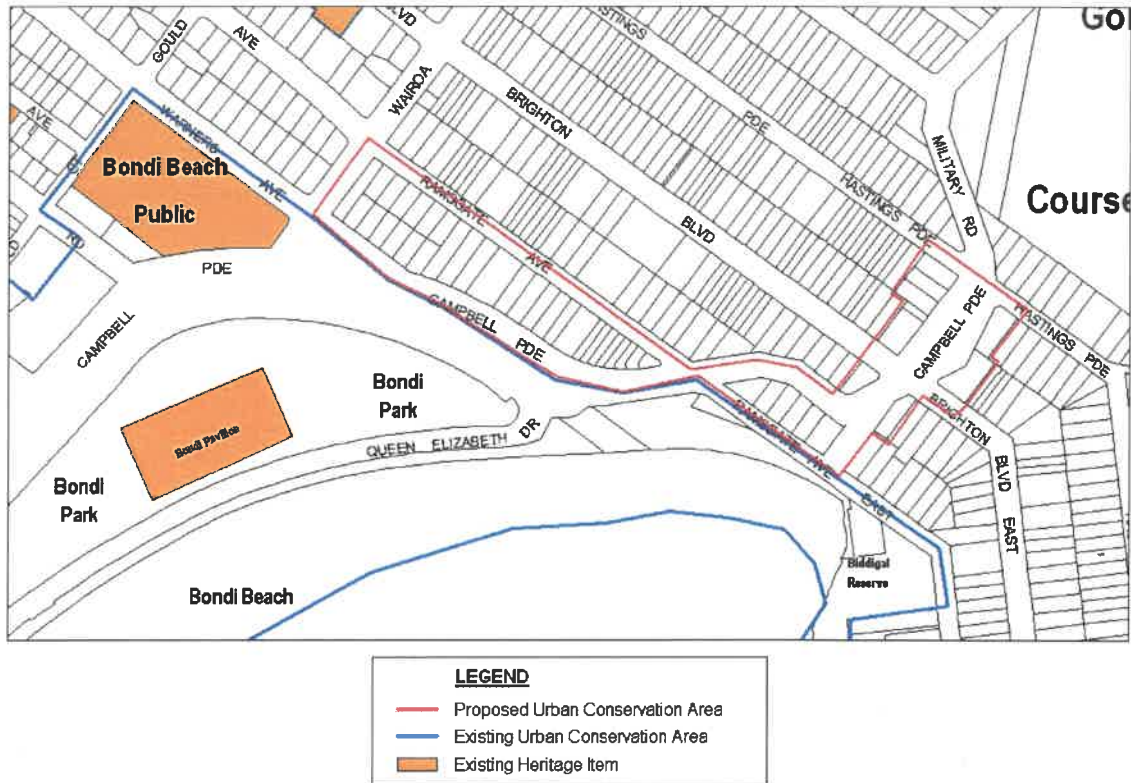


Figure 5: Map of the proposed extension of the Bondi Beach heritage urban conservation area



## 5.2 Recommendations for the proposed Brown Street Heritage Urban Conservation Area

The proposed Brown Street heritage urban conservation area is located in Bronte and bounded by Gipps Lane, Langlee Lane, Henrietta Street, part of Gipps and Carter streets. The area is zoned 2(a) Residential – Low Density under Waverley LEP 1996.

The residential group forms a heritage urban conservation area of local significance as a representative and rare example of mostly cohesive timber cottage development from the early 20<sup>th</sup> Century having historic, aesthetic and social significance. This cohesive grouping of simple freestanding cottages of Federation Bungalow style demonstrates the forms and style employed as housing for Sydney's working class in the early 20<sup>th</sup> Century. Some residences are altered, however, these retain the external forms, fabric and detailing from the original period of construction.

Some representative developments are shown in the following photos.



Photo 16: 1 Brown Street



Photo 17: 10 Brown Street



Photo 18: 24 Brown Street



Photo 19: 32 Brown Street

Generally, limited additions have maintained the cohesive value of the area. Later construction (i.e. 26 Brown Street) within the heritage urban conservation area has been carried out in conflicting forms and materials.

Wholesale internal alteration has reduced the interpretive value of individual residences but has had limited impact upon the external aesthetic value of the area.

The weatherboard cottages in Brown Street were built between 1910 and 1925 and comprise freestanding single storey weatherboard residences constructed in simple Federation and California Bungalow styles.

Numbers 11, 13, 15, 19, 22 and 24 are of similar design having hipped roof forms with an asymmetrically placed projecting gable extending over a tapered bay frontage and enclosing one end of an otherwise open verandah. Verandahs are mostly of lightweight timber construction with broken back roof extensions of the main roof and limited timber fretwork detailing to verandah beams and posts. Windows are of double hung timber sash construction having six pane sashes set above a clear glazed lower sash. Roof forms whilst originally of corrugated iron are now mainly of later Marseilles pattern tile.

### Recommendations:

The stated objectives are to provide for the conservation and enhancement of buildings of architectural significance and to allow compatible medium infill development. It is recommended that any new works provide for the conservation and enhancement of buildings contributing to the character and significance of the heritage urban conservation area. The area is shown in the following map.

The proposed Brown Street heritage urban conservation area is shown in the following map.

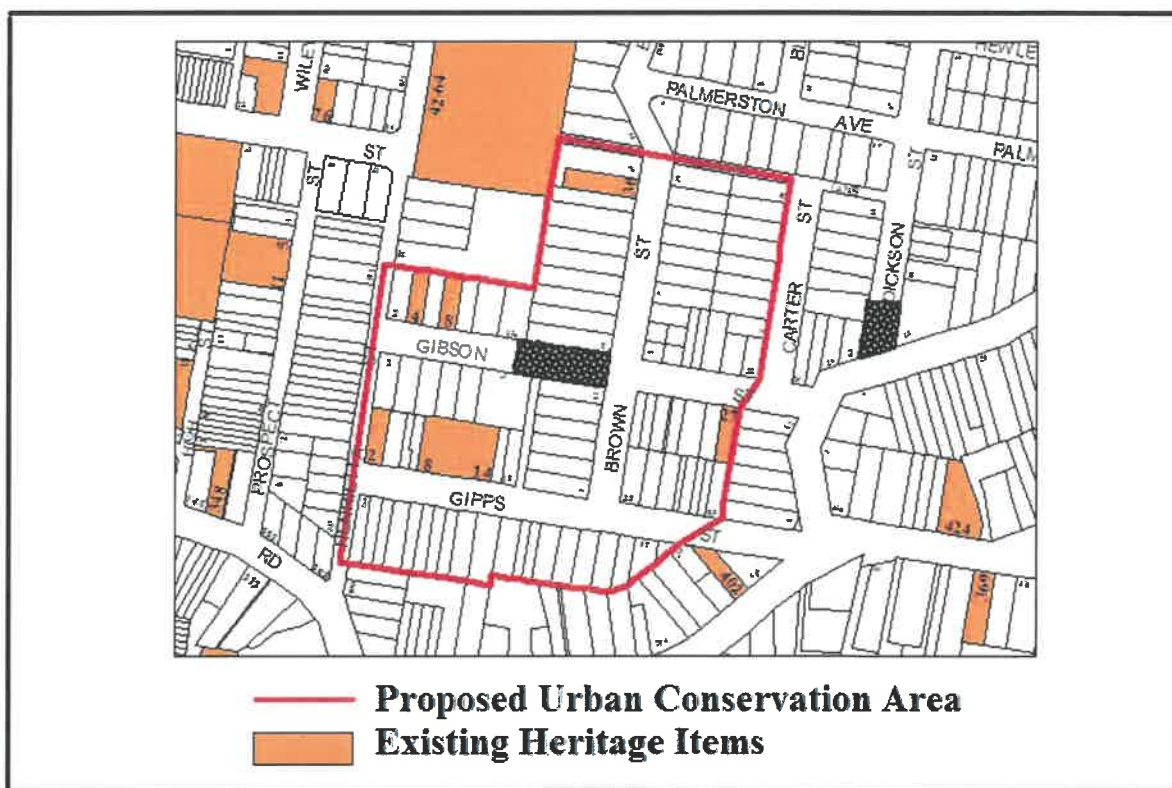


Figure 6: Map of the proposed Brown Street heritage urban conservation area

### 5.3 Recommendations for the proposed Busby Parade Heritage Urban Conservation Area



Photo 20: Busby Streetscape

Busby Parade is a wide street of limited length extending east/west across the south facing slope of the main hill to the west of Waverley Cemetery. The street connects Marroo Street and St Thomas Street. Busby Parade is zoned 2(a) Residential – Low Density under Waverley LEP 1996.

Ledged into the prevailing slope, the street exhibits an asymmetric quality due to the elevation of residences to the northern side and set down of those to the south.

Residences are of freestanding and semi detached forms, predominantly from the late 19<sup>th</sup> Century to Inter War period of the 20<sup>th</sup> Century and largely of two storey height. Notable examples include sandstone semi detached and freestanding residences, testifying to local quarrying associated with the nearby Cemetery. Planting to the street verge and within properties is varied and compliments the building forms of hipped and gable roofed construction.

As with Chesterfield Parade to the north, Busby Parade provides streetscape significance as a cohesive example of the late 19<sup>th</sup> Century subdivisions, which accompanied expansion of the Waverley local government area beyond core village areas and transport thoroughfares of initial settlement.

#### Recommendations:

To retain the scale, outlook and streetscape character of the setting, it is recommended that any new development be of a freestanding form having side boundary setbacks and height limited to that of existing two storey buildings and roof forms tapered back from outer wall lines. To maintain view sharing, any new development should retain the palisaded form of the streetscape with new works set into the slope on the lower side of the street.

With the exception of fence line and at grade driveways, no development should occur forward of existing building lines to the street frontage. Fences should be of low height, utilising sandstone or face brick related to the finishes of existing fencing.

The proposed Busby Parade heritage urban conservation area is shown in the following map.



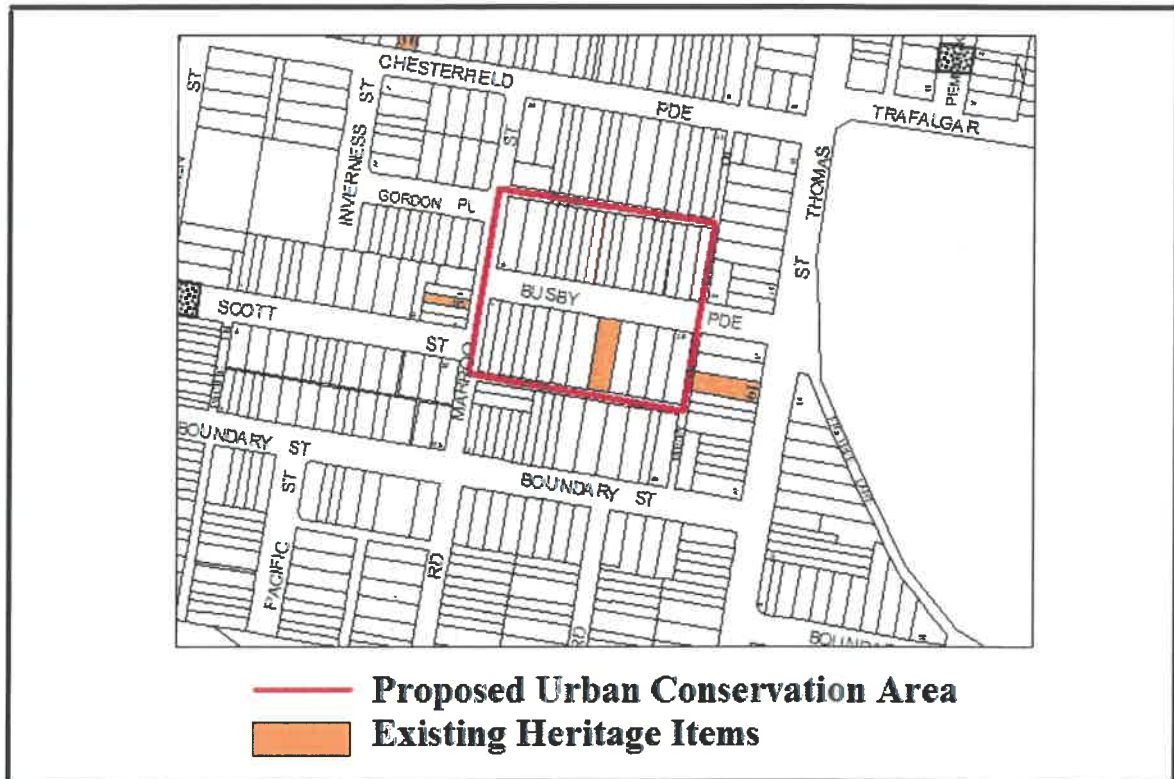


Figure 7: Map of the proposed Busby Parade heritage urban conservation area

#### 5.4 Recommendations for the proposed Collingwood Street Heritage Urban Conservation Area



Photo 21: Collingwood Street Streetscape

The southern extent of Collingwood Street, Bronte, is a cul-de-sac accessed from Trafalgar Street. The area is zoned 2(a) Residential – Low Density under Waverley LEP 1996 and is located opposite Waverley Cemetery.

Collingwood Street emerged from the consolidation of early 20<sup>th</sup> Century suburban expansion about former quarry workings along the ridgeline north of Waverley Cemetery. The wide carriageway and verge provide open settings for a consistent group of freestanding cottages, including Federation style weatherboard cottage (8 Collingwood Street) and brick Inter War bungalow styles (numbers 3, 4, 5, 6, 7 Collingwood Street). The short cul-de-sac terminates at the upper edge of the former quarry, with the quarry face extending between 2 and 4 Collingwood Street.

Collingwood Street is of streetscape significance as a cohesive example of the early 20<sup>th</sup> Century subdivisions and residential forms. Numbers 3, 4, 5, 6, 7 and 8 Collingwood Street are buildings of heritage significance and the sandstone wall in front of number 2 Collingwood Street is a landscape item of heritage significance.

#### **Recommendations:**

The objectives for the proposed Collingwood Street heritage urban conservation area are to provide for the conservation and enhancement of buildings of architectural significance and to allow for sympathetic alterations and additions.

The quarry face between numbers 2 and 4 Collingwood Street and the sandstone fence/wall in front of number 2 Collingwood Street should be preserved.

The proposed Collingwood Street heritage urban conservation area is shown in the following map.



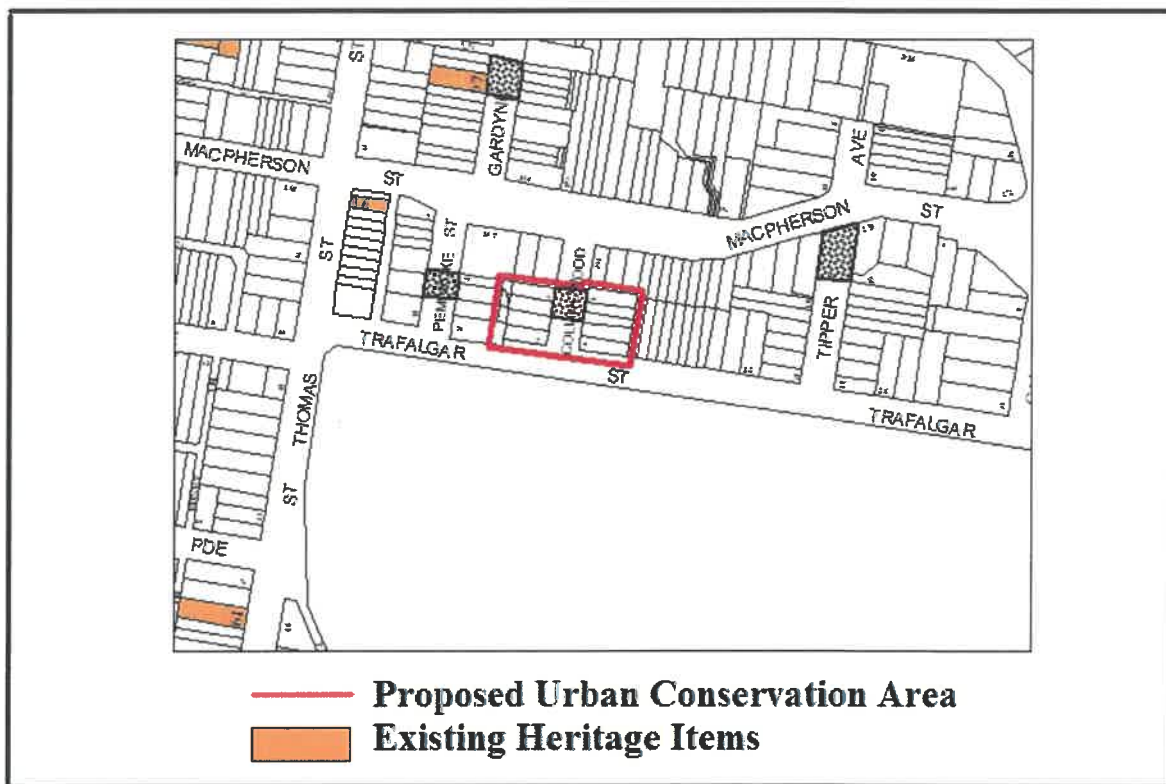


Figure 8: Map of the proposed Collingwood Street heritage urban conservation area

## 5.5 Recommendations for the proposed Evans Street Heritage Urban Conservation Area

Evans Street leads from north to south, connecting Gardyne and Macpherson streets. The area is zoned 2(a) Residential Low Density under Waverley LEP 1996.

Consistent construction during the Victorian period has provided a streetscape of freestanding single storey Victorian cottages and villas, constructed in rendered masonry with high pitched roof forms. Residences whilst predominantly of Victorian Italianate style, include influences of the Victorian Gothic style, particularly in street facing gable ends. Most of the residences are of stucco finish with prominent chimneys having moulded render capping in the predominant Italianate detailing.



Photo 22: 26 Evans Street



Photo 23: 30 Evans Street



Photo 24: 40 Evans Street



Photo 25: Evans Street Streetscape

### Recommendations:

The proposed Evans Street heritage urban conservation area is characterised by freestanding late Victorian residences set within ample sites and landscaped surrounds. All residences exhibit a consistent street setback. The air of spaciousness is enhanced by detailed iron palisade fencing, a wide street carriageway and mature avenue planting.

To preserve these qualities, it is recommended that all residences contributing to the heritage urban conservation area be conserved in a cohesive relationship. All new works should maintain the scale, detail and alignment of existing built forms and landscaping relative to the street. New works should be of a secondary nature and generally visually screened from the street.

The single storey Victorian residences should retain existing bulk and height to the street frontage with any upward addition, being restricted to rear areas of the residences and/or provided within existing roof voids and related localised projections of roof slopes not facing the street. All roof additions are to retain and enhance existing traditional roof detailing in particular chimneys, ridge and barge detailing.

Development applications for dual occupancy development should not be approved unless provided within the established volumes of existing residences and utilising existing single vehicle entries. No subdivision of existing sites should be approved without provision of compatible infill development in conjunction with the application for subdivision.

Existing traditional iron palisade fencing should be maintained in conjunction with established planting. No masonry or other screen walling or fencing should be introduced to the street frontages.

Vehicle entries and parking should closely follow the established pattern of fencing and any new vehicle entry should be of single width only.

The current roof cladding is predominantly of tile or slate. The replacement of roofing material, with the exception of verandah roofing, should be of appropriate profile colour and flashing. Thick edged concrete 'slate' tiles should not be used in the Evans Street heritage urban conservation area.

The proposed Evans Street heritage urban conservation area is shown in the following map.



Figure 9: Map of the proposed Evans Street heritage urban conservation area



## 5.7 Recommendations for the proposed Imperial Avenue Heritage Urban Conservation Area



Photo 26: 45 Imperial Avenue



Photo 27: 43 Imperial Avenue



Photo 28: 25-35 Imperial Avenue



Photo 29: Imperial Avenue Streetscape

The proposed Imperial Avenue heritage urban conservation area is bounded by Edward Street in the north, Denham Street in the east, Castlefield Lane in the south and Imperial Avenue in the east. The area is zoned 2(c1) Residential – Medium and High Density under Waverley LEP 1996.

A crown land sale in 1858 offered five portions (4 - 8 acres) in the area between Bondi Road, Wellington and Edward Streets. Around 1880, a villa was built on the estate which was first named 'Glendarrah' and then renamed to 'Castlefield'. The first subdivision of the Castlefield Estate happened in 1907. In 1911, Sands Directory listed 14 properties within Imperial Avenue. The first flats were constructed in 1920 and they were the antithesis to the Federation garden villas. The character of the Imperial Avenue has been formed by the development patterns laid down over the last century. The remaining earliest housing types date from 1907 to 1915, and demonstrate characteristics of Federation style. The residences range from one and two storey detached Federation houses to single storey semi detached Federation style residences. Development between 1915 and 1940 includes detached houses and Inter War residential flat buildings while residences built between 1960 and 1970 were mostly three storey residential flat buildings on amalgamated sites.

The proposed Imperial Avenue heritage urban conservation area is characterised by freestanding and semi detached late Federation and Inter War residences as well as Inter War residential flat buildings. These residential flat buildings were of common street front alignment and formed a cohesive group. The varied forms of residences are linked by response to the sloping topography and street frontage, the later enhanced by sandstone detailing and established avenue planting. Extensive on site planting provides background treelines to many residences, while the general quality of established planting is pervading the setting. Planted species reflect the maritime location of the area with sandy soils and high sun exposure. The residences provide consistent street setback and are further enhanced by

cohesive use of sandstone retaining walls, sandstone foundations, inset verandahs and pitched terra cotta tile roofs with generous eaves.

Vehicle access is limited to residential sites and traditionally achieved through rear lanes or single vehicle entries within traditional fences. The air of spaciousness is enhanced by setbacks both from the street and from side boundaries which is maintained in later residential flat development where narrow frontages and generous side setbacks ensure solar access to adjacent buildings.

### **Recommendations:**

Residents of the proposed Imperial Avenue heritage urban conservation area who intend to lodge a development application with Council, must refer to Part F3 – Imperial Avenue of the Waverley DCP 2006.

All new works should be consistent in scale, detail and alignment of the existing built forms. New works should also retain and enhance the relationship of built form to the topography and street frontage and maintain the spatial character of the setting.

In case residents intend to lodge a development application for new vehicle entries, these should be only of single vehicle width. Where rear lanes exist, all new vehicle access should be from the laneway.

New construction should adopt the characteristic of the setting with decks, balconies and verandahs set into buildings and not cantilevered. Preference should be given to pitched roof forms and all new roofs should respond to and defer to the established roofscape.

Any upward addition to existing residential flat buildings should be provided within existing roof voids and related localised projections of roof forms. All roof additions are to retain and enhance existing roof detailing in particular chimneys, ridge and barge detailing.

A development application for a dual occupancy development should not be approved, unless provided within the established volumes of existing residences and utilising existing single vehicle entries. No subdivision of existing sites should be approved without provision of compatible infill development in conjunction with the application for subdivision. Subdivision should not be approved where removal of existing rock faces, sandstone retaining walls or established tree planting are required.

The proposed Imperial Avenue heritage urban conservation area is shown in the following map.



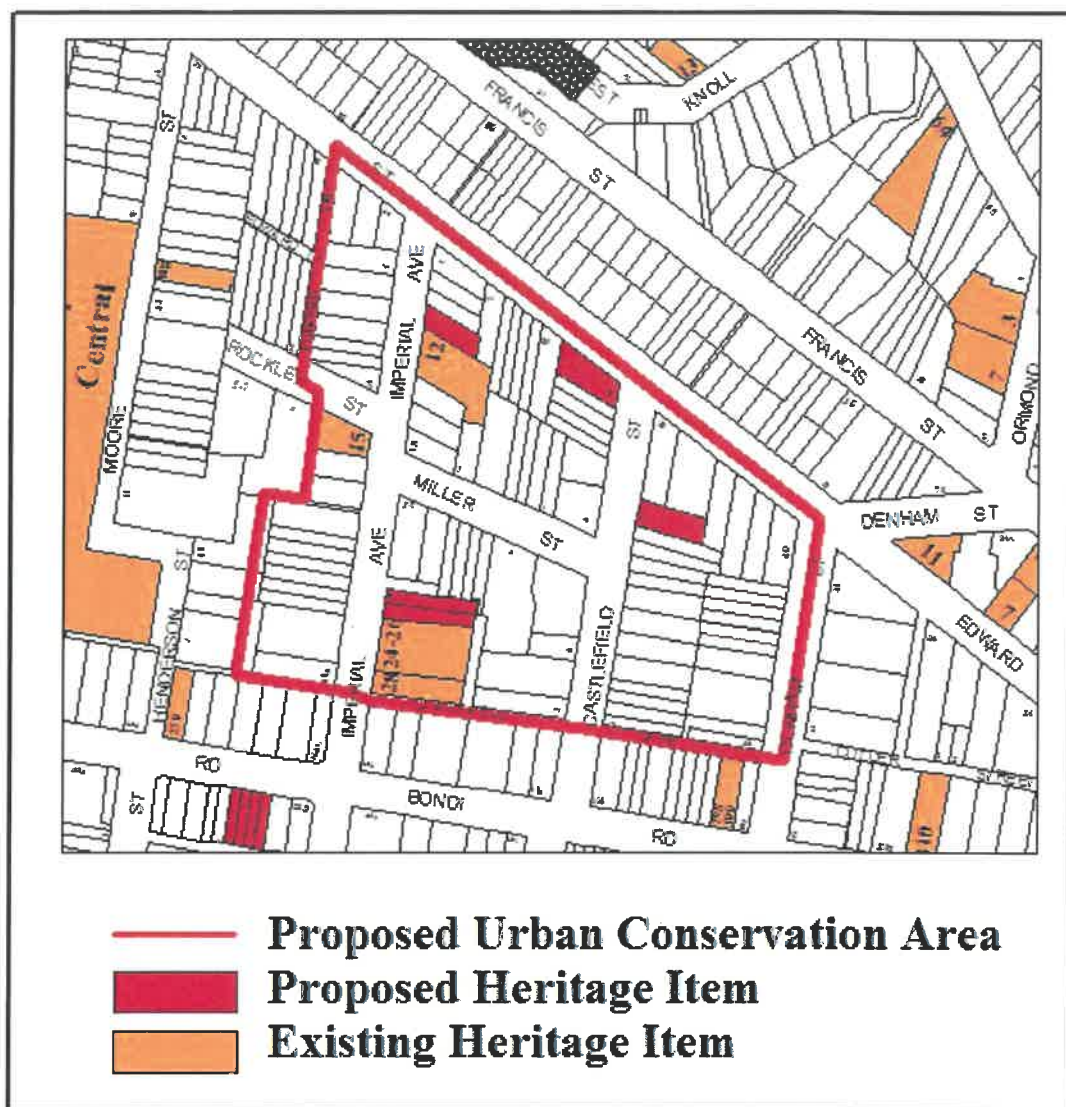


Figure 10: Map of the proposed Imperial Avenue heritage urban conservation area

## 5.8 Recommendations for the proposed Palmerston Avenue Heritage Urban Conservation Area

The proposed Palmerston Avenue heritage urban conservation area is zoned 2(a) Residential – Low Density and 2(b) Residential – Medium Density.

Consistent construction during the Inter War years has provided a streetscape at the eastern end of Palmerston Avenue, Bronte, of brick residential flat buildings which are of cohesive form alignment and massing. Most of the buildings are of two or three storeys height and constructed in the Inter War Art Deco or inter War Free Classical styles. These residences were built around 1940 and built in decorative, stepped face brick, mostly with parapets.

Residential flat building commenced in Sydney in the mid Federation Period with the first recorded example being constructed in 1906 in Windmill Street, Millers Point. Housing shortages of World War I saw many existing large Federation residences converted into residential flat buildings. The process continued through the Inter War period with new construction adapting revival forms and the newly evolved Art Deco and Functionalist styles. Stylistic influences were often combined with single and double fronted hip roofs common to all styles.



Photo 30: 8 Palmerston Avenue



Photo 31: 10 Palmerston Avenue



Photo 32: Palmerston Avenue Streetscape



Photo 33: 15 Palmerston Avenue

The proposed Palmerston Avenue heritage urban conservation area is characterised by Inter War style residential flat construction, predominantly of face brick with terra cotta tiled roofs. The streetscape of residential flat buildings exhibiting consistent scale and cohesive detailing, is highly representative of grouped residential flat development the Inter War years of the 20<sup>th</sup> Century. The residential flat buildings within Palmerston Avenue are notably

responsive to the topography and residual forest setting of the upper Bronte valley, maintaining an air of spaciousness about the buildings. Low fence lines and limited vehicle crossings further enhance the quality and aesthetic character of the setting.

### **Recommendations:**

To conserve the character of the proposed Palmerston Avenue heritage urban conservation area, it is recommended that all items contributing to the conservation area be retained. All additional works should be consistent to the scale, detail and alignment of existing built forms.

New construction should retain and enhance the relationship of built form to the topography and street frontage. New construction should also respond to the topography and hard and soft landscape. It should adopt the established face brick and tile character of the setting with decks, balconies and verandahs set into the building and not cantilevered over open space. New works should also maintain existing open space around residential flat buildings and associated tree planting. Additional construction should only be of secondary nature to the established building forms and landscape features. New vehicle entries should be limited and of single vehicle width, constructed in close response to the established topography. In case of balcony additions or alteration, metal or face brick balustrades should be preferred to glazed balustrading. Preference should also be given to pitched roof forms, while all new roofs should respond to and defer to the established terra cotta tile roofscape.

Any upward addition to existing buildings should be provided within existing roof voids and related localised projections of roof forms. Exposure of 'in roof' additions to the street is to be minimal. All roof additions are to retain and enhance existing traditional roof detailing in particular lined eaves, ridge hip and barge detailing. Traditional finishes and detailing of existing Inter War flats is to be retained and enhanced. External face brick should not be rendered while roof tiles are only to be replaced with terra cotta tiles of like colour finish and profile. Painted timber window frames and sashes should be retained in existing patterns including secondary horizontal glazing bars. Lobbies stairways and entry doors are significant elements of original design in Inter War flats. Detailing to these areas should be maintained and enhanced by appropriate lighting, colour finishes and floor coverings. Original finishes including etched or leadlight glazing, floor tiling, architectural terra cotta (faience) mouldings, timber panelling and moulded plaster ceilings should be maintained and conserved. Externally sandstone paving and planter beds, low rendered or stone fence lines, wrought metal railings and established planting should be maintained. No vehicle parking or garage/carport structures should be constructed forward of the established building lines.

The proposed Palmerston Avenue heritage urban conservation area is shown in the following map.



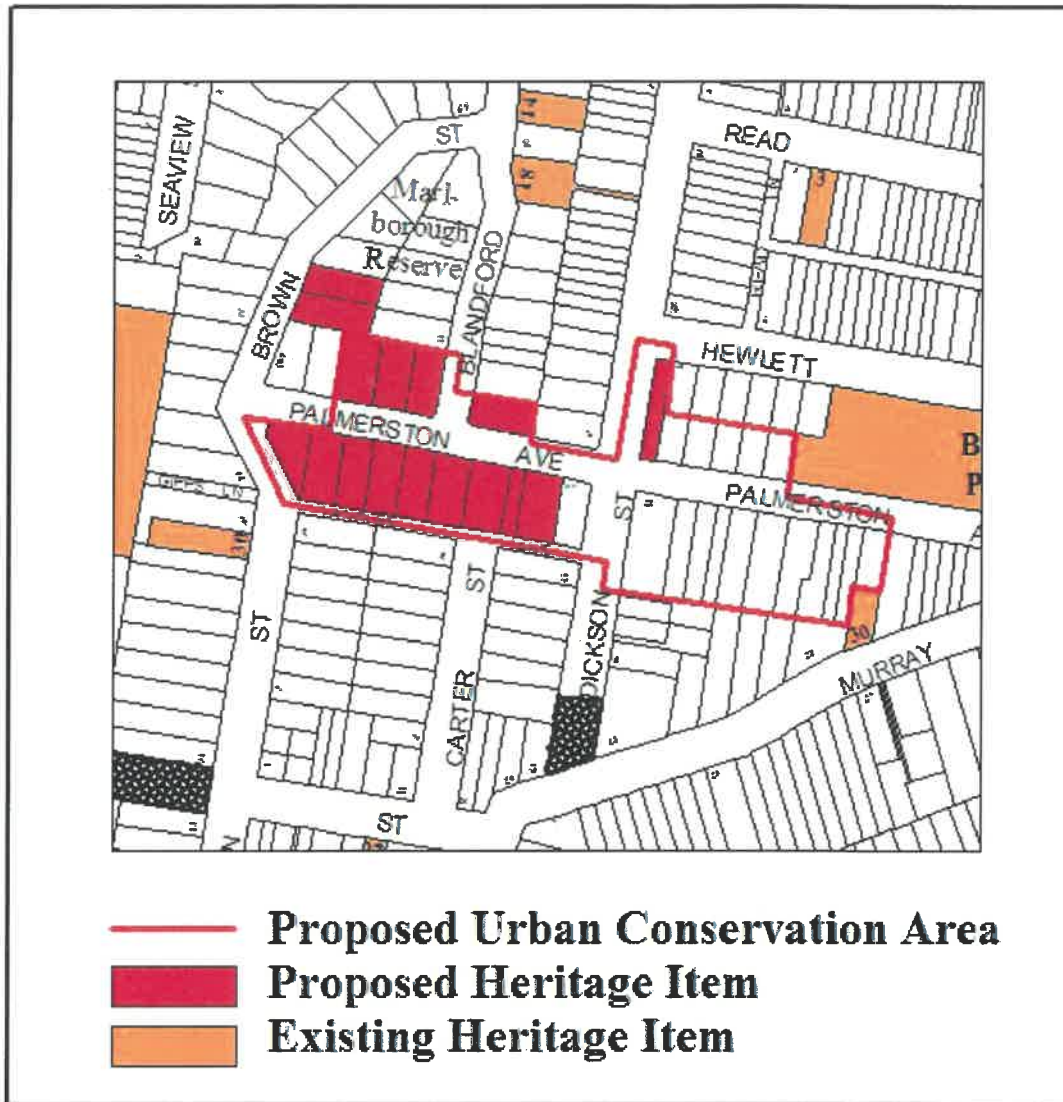


Figure 11: Map of the proposed Palmerston Avenue heritage urban conservation area

## 5.9 Recommendations for the proposed Queens Park Heritage Urban Conservation Area



Photo 34: 16a Queens Park Road

The proposed Queens Park heritage urban conservation area is bounded by Birrell Street in the north, York Road to the west, Queens Park Road to the south and Blenheim Lane and Bourke Street to the east. The proposed conservation area is also bounded by several character areas, like the Bondi Junction commercial centre and the Mill Hill Conservation area to the north, Bronte Road and Charring Cross to the east and Queens Park and Centennial Park to the south and west. The area is zoned 2(a) Residential – Low Density under Waverley LEP 1996.

The proposed Queens Park heritage urban conservation area is one of the oldest precincts in the Waverley local government area, containing many man made and natural heritage items, including remnants of walls, stables, buildings, caves and trees.

The area bounded by Alt Street, Birrell Street and Bronte Road was subdivided and sold in 1838. The area including Bourke Street, Newland Street and Fitzgerald Street and Lane was part of the Fitzgerald Estate which was subdivided in 1887. Later the area was known as the Victorian Estate subdivision. Some cottages constructed in local sandstone can be found in the area along Birrell, Blenheim and Bourke streets. These stone houses were built around 1850 and some have hardly been altered since the date of the erection.

The proposed Queens Park heritage urban conservation area is characterised by strong avenue planting, mostly fig trees, which sometimes even form a canopy (i.e. Manning Street, Alt Street) with the Federation Bungalow style being the dominant architecture style in the area. The freestanding residences are mostly of single storey height and have consistent setbacks. Many of these bungalows still have original detailing, including windows, fence and decorative timber details. All streets within the proposed Queens Park heritage urban conservation area reflect the grid pattern of the early Queens Park Grants. Newland Street has the highest volume of traffic in the area and the southern end suffers a lot of development pressure, where some modernist houses are already built. The residences within Manning Street are setback from the street and are also constructed in the Federation style. The sandstone wall at the cross street, Cuthbert Street, has an impact on the street and shows the evidence of local quarry works.



The area is also identified as a Character Area in Part D1 – Dwelling House and Dual Occupancy Development (section 3.0 Queens Park Residential Character Study) under Waverley DCP 2006.

### **Recommendations:**

The proposed Queens Park heritage urban conservation area slopes down from Bondi Junction in the north and east to Queens Park in the south and Centennial Park in the west. Vegetation is an important element to the character of the area. Formal plantings of mature fig trees are the most distinguishing characteristics of the inner residential streets and provide a uniting theme throughout the conservation area.

Elements within the proposed heritage urban conservation area have already been identified as being of landscape conservation significance, including i.e. Manning Street, Alt Street, Rawson Street. The canopy streets are foliage shaded with a cooler microclimate and wider verge. These native trees should be preserved where possible and whenever replacement trees are needed, these should be the same or of similar species. Additionally, non-native trees in the area should be replaced with native or preferably locally indigenous trees to achieve a consistent streetscape and to provide habitat for local wildlife.

A variety of front fence styles and setback conditions typify the range of dwelling styles represented in the area. Shallow setbacks with cast iron fences are part of the original character of Victorian terraces. While most remain intact, some have been replaced with higher, rendered brick fences. Fences underline the period a property was built in and they play an important part in the fabric of the Waverley local government area. Where fences have been removed, the overall significance of the item is usually lessened. Therefore, the fences should be preserved and maintained. Low fences are desirable, especially where setbacks are close to the streets. These low fences provide surveillance to the street, and a wider ambience for pedestrians, and give a better scale to the building façade.

New development and alterations and additions to existing dwellings should be compatible and consistent with development both in the immediate vicinity and in the overall context of the street. Building setbacks, terraces, balconies and rooflines should be consistent within the defined street corridor and should provide uniformity to a group of terraces, or mirror an attached semi detached dwelling.

The proposed Queens Park heritage urban conservation area is also characterised by rear lanes. Where rear lane access is provided, garages and driveways should be located in the rear.

The proposed Queens Park heritage urban conservation area is shown in the following map.



### 5.10 Recommendations for the proposed Santa Marina Avenue Heritage Urban Conservation Area

Santa Marina Avenue is a cul-de-sac and located in Waverley, in close proximity to the Charing Cross commercial area. The short cul-de-sac extends westward of Albion Street and is zoned 2(b) Residential – Medium Density under Waverley LEP 1996.

The area is characterised by consistent forms of Inter War semi detached residences and residential flat construction. The face brick and glazed terra cotta tiled residential forms reflect the consolidation of residual sites resulting from population growth during the later Inter War years. The streetscape and grouping reflect the pattern and appearance of English new town development of the same period combining semi detached housing and small residential flat buildings, having similar forms, finishes and proportions. The residences in Santa Marina Avenue are a cohesive and largely intact grouping.



Photo 35: Santa Marina Avenue streetscape



Photo 36: Santa Marina Avenue



Photo 37: 2 Santa Marina Avenue



Photo 38: 4 Santa Marina Avenue

#### Recommendations:

To conserve the character of the proposed Santa Marina Avenue heritage urban conservation area, it is recommended that all items contributing to the conservation area be retained in a cohesive relationship. Due to the extent and consistency of the area, new works should be limited to the rear areas of existing buildings and should maintain the scale, detail and alignment of existing built forms. All construction should retain and enhance the relationship of built form to the street frontage and maintain the open space. New works should be of a secondary nature to the established building forms and hard and soft landscape features. Existing low height fencing should be conserved with no increase in height. New vehicle entries should be limited and of single vehicle width. Any new vehicle parking should be set behind the existing building frontages.

Traditional finishes and detailing of existing Inter War flats and residences is to be retained and enhanced. External face brick should not be rendered, roof tiles are only to be replaced with terra cotta tile of like colour finish and profile.

Painted timber window frames and sashes should be retained in existing patterns including secondary horizontal glazing bars. Lobbies stairways and entry doors are significant elements of original design in Inter War flats. Detailing to these areas should be maintained and enhanced by appropriate lighting, colour, finishes and floor coverings.

Original finishes including etched or leadlight glazing, floor tiling, architectural terra cotta (faience) mouldings, timber panelling and moulded plaster ceilings should be maintained and conserved.

The proposed Santa Marina Avenue heritage urban conservation area is shown in the following map.

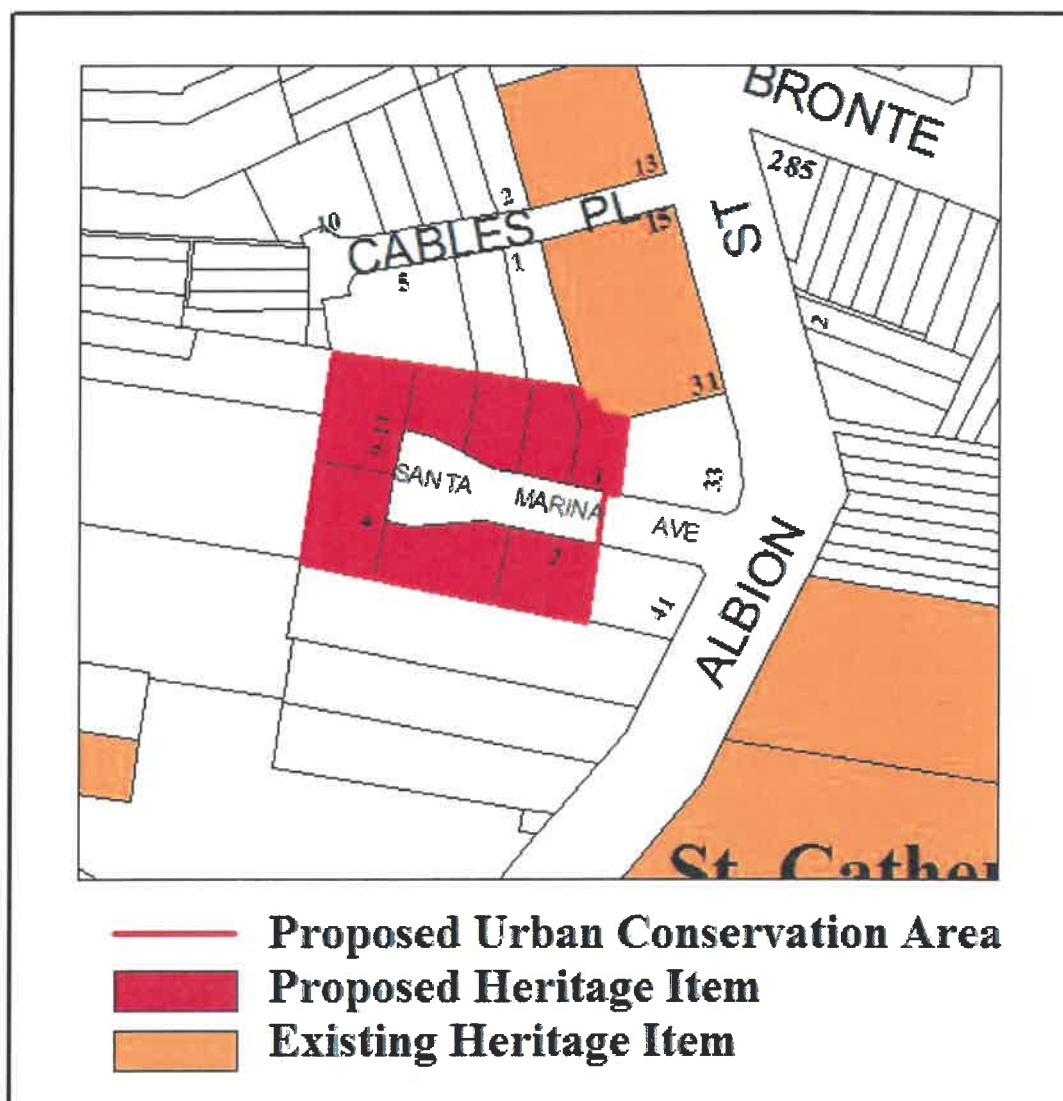


Figure 13: Map of the proposed Santa Marina Avenue heritage urban conservation area.



## 5.10 Recommendations for the proposed Extension of the Tamarama Park Landscape Conservation Area

The current landscape conservation areas at Tamarama Beach, include the area at Tamarama Beach, Park and Marine Drive and the valley above the Marine Drive (L8 and L9 under schedule 5 of Waverley LEP 1996). The current landscape conservation areas are shown in the Heritage Map (of Waverley LEP 1996) extract below.

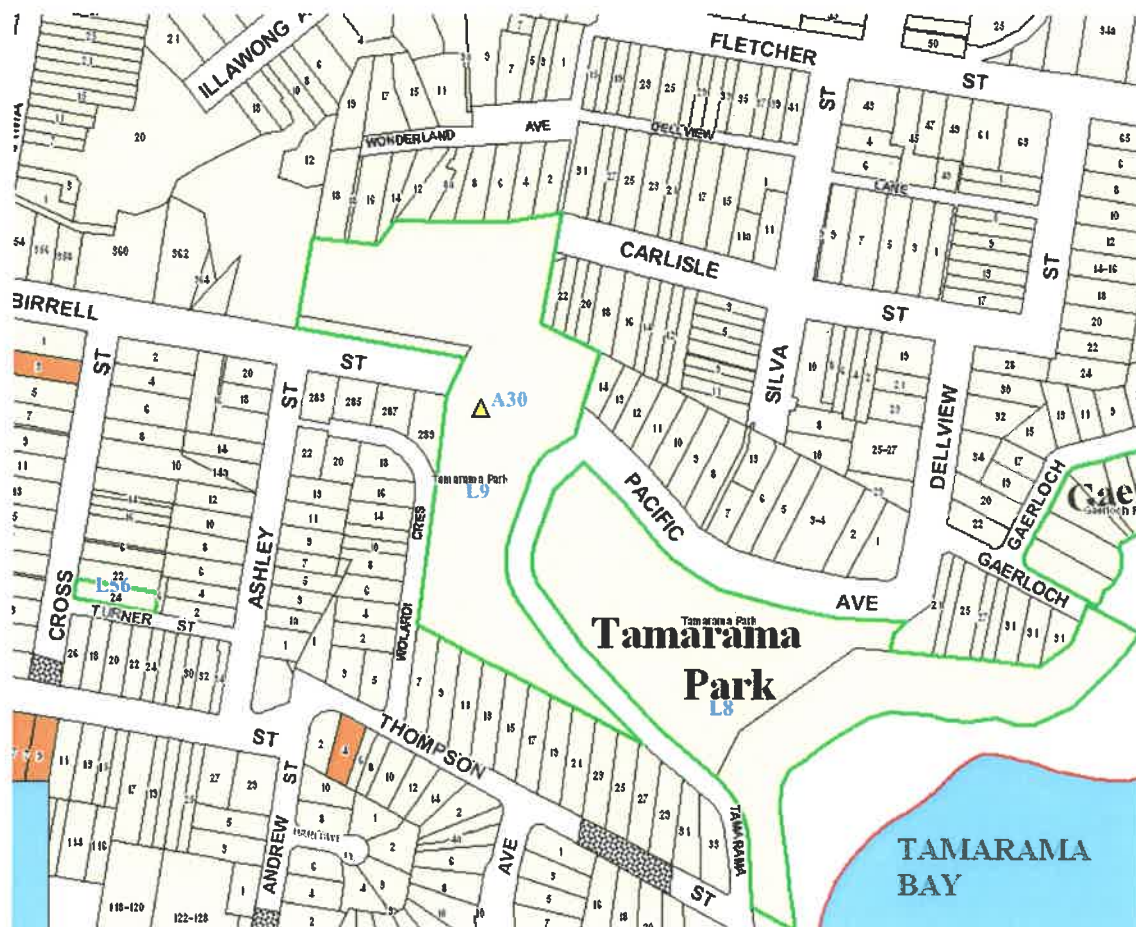


Figure 14: The existing landscape conservation areas, including L8 Tamarama Beach, Park and Marine Drive and L9 Tamarama Park – Valley above Marine Drive under Waverley LEP 1996.

The proposed extension of the Tamarama Park above Marine Drive landscape conservation area includes the lots located at 362 and 364 Birrell Street, parts of the lots at 354, 356, 358 Birrell Street, 1, 3, 20 Tamarama Street as well as part of the lots at 14, 16 and 18 Wonderland Avenue. The extended area also contains the waterfall and associated boulders at the western end of the steep gully that opens into Tamarama Beach.

The area of what is now Tamarama Park was known in the 19<sup>th</sup> Century as Fletcher's Glen, named after the first Mayor of Waverley, David Fletcher. It had been granted to J.R. Hatfield in 1839 and was subsequently acquired by Thomas Dickson, and then by David Fletcher. It later became well known as Fletcher's Glen and about the 1870s also as "Fairlight Glen".

Fletcher sold his property in 1887 to an enterprising builder, who built an Aquarium at Tamarama Park. The aquarium was opened on 3 October 1887 and known as 'The Royal Aquarium and Pleasure Grounds' or more popularly as the Bondi Aquarium.

In 1888, Council requested the Government to dedicate the 100' wide reservation along the beach front of Tamarama Bay, with an additional area at Tamarama, as a public recreation



reserve. While the Government subsequently upheld the validity of the 100' wide reservation, it refused to acquire additional land at Tamarama, for lack of funds.

On 17 April 1907, a public park, known by the name of Tamarama Beach, was proclaimed for public recreation and Council was appointed as trustee. The Aquarium lost public interest around 1895 until W. Anderson bought it and created Wonderland City in 1906. However, it only lasted five years, and closed in 1911.

In 1916, Council tried again to claim an area of Tamarama for a public park but was again refused. Finally, in 1920, the Government purchased an area of seven acres fronting the bay for public recreation. It was proclaimed on 24 September 1920 as Tamarama Park. Subsequently, the valley floor was drained and in 1922 Tamarama Marine Drive was built, along with the sandstone wall that supports it. The gully was officially named Tamarama Gully by the Geographical Names Board of NSW in early 2000. Geologically, Tamarama Park is surrounded by a Hawkesbury Sandstone ridge that was eroded by a small stream emanating from the plateau to the west. The Park is characterized by medium to steep slopes with a mean slope gradient of 40%. Outcrops of Hawkesbury sandstone shelves occur frequently along the slopes of the area, with sporadic occurrences of sandstone boulders. The configuration and erosion pattern of Tamarama Gully is very similar to that of Bronte gully, as was the original vegetation of moist gully plants.

The western areas of the Tamarama Gully, including the existing ridgeline, small waterfall and large boulder formations form a cohesive part of the natural coastal gully. The Gully has historical associations with the early European settlement of Tamarama and its identification as a leisure destination both for its scenic assets and later man made venues.

#### **Recommendations:**

A Heritage Advisory Report for options for the Tamarama Gully was prepared by Conservation Landscape Architects Mayne-Wilson & Associates in January 2007. The report proposed the extension of the Tamarama Park above Marine Drive landscape conservation area and included the following recommendations:

- ❑ The waterfall and associated boulders be treated as an integral physical and heritage component of Tamarama Park (and Gully);
- ❑ The landscape conservation area that covers Tamarama Park (L9) should be extended right up to the top of the ridge, and include the waterfall and boulders within it. The following map shows the area that should be included in the landscape conservation area.
- ❑ A Conservation Management Plan should then be prepared for the whole Park and be used to underpin the Plan of Management currently under preparation.
- ❑ The extensive infestations of garden escape weeds, particularly the Buddleia and Coral Tree species, should be removed, and the slopes revegetated with the native species of plants that originally grew there.
- ❑ The stormwater collection system for Tamarama Gully be reconsidered, with a view to:
  - Providing a sufficient flow of (recycled) water to reactivate the waterfall
  - Installing a stormwater retention and treatment plant that would capture and enable the redistribution of clean water to adjacent properties. The plant should be well-hidden, but become a model for other Councils to emulate.

Given the backgrounds and responsibilities of the current federal and local members, an approach could be made to each of them to sponsor this proposal.

The report also included recommendations regarding the lots located at 362 and 364 Birrell Street which will need to be referred to Council 's Property Division for consideration and future action.

The proposed extension of the Tamarama Park above Marine Drive landscape conservation area is shown in the following map.

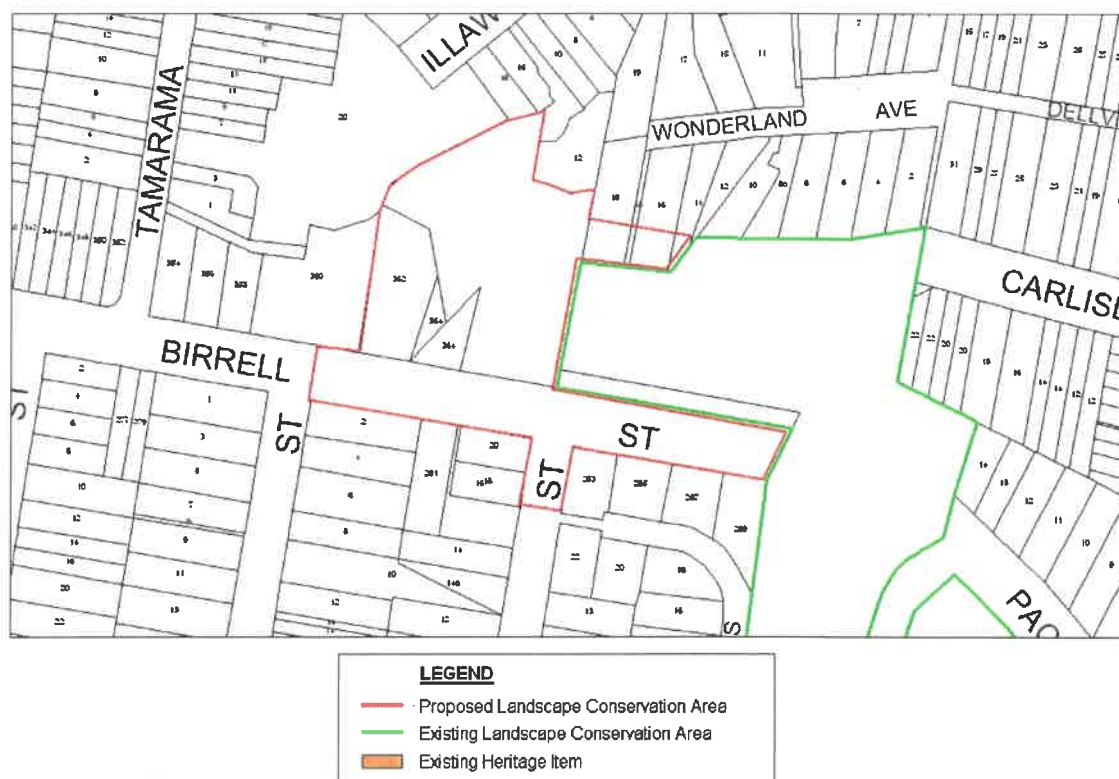


Figure 15: Map of the proposed extension of Tamarama Park above Marine Drive landscape conservation area

## **6. Conclusion**

Council preserves and maintains heritage items as well as heritage conservation groups and areas which are located within the Waverley local government area. Many of these items, groups and areas are located in areas of increasing density and will require a close but managed association of new and existing fabric. Conservation will rely to a degree upon the acceptance and understanding of the heritage planning process and values by residences and property owners, coupled with a degree of innovation both in building design and streetscape management.

The Waverley Heritage Assessment has addressed the process of ongoing change in the local government area and the associated need to identify and preserve that, which provides the natural and cultural significance of the location.

The assessment has considered Waverley's natural and built fabric as a product of its layered history. The thematic history, identified in section 2 of the assessment, together with previous histories prepared in 1959 and 1993, provides a basis for the understanding and interpretation of items within the assessment.

With the majority of new listings arising from the community involvement, the assessment substantially reflects values inherent within the contemporary community. The expectation that these items be protected, reflects the conflicting pressure for change prevalent and increasing within the Waverley local government area. A need exists to balance this desire for expansion and renewal with the deeper values of community. However, Council received some 89 objections during the first exhibition of the Waverley Heritage Assessment. Subsequently, Council established an independent Heritage Review Panel to deal with submissions which objected to a proposed heritage listing and which were considered controversial.

It is noted that many nominations are of comparatively simple form reflecting the late 19th and early 20th Century development of the Waverley local government area after which period considerable time elapsed before substantial growth recommenced. The consequent dearth of post World War II listings is an aspect likely to change in future assessments owing to the extent and improved quality of recent construction.



## **1: EXISTING URBAN CONSERVATION AREAS – UNAMENDED**



## **Blenheim St UCA – C.01**

# NSW State Heritage Inventory form

ITEM DETAILS							
<b>Name of Item</b>	Blenheim Street Urban Conservation Area						
<b>Other Name/s Former Name/s</b>							
<b>Item type</b>	Built. Area.						
<b>Item group</b>	Residential buildings (private). Urban Area.						
<b>Item category</b>	Cottage, House. Streetscape.						
<b>Area, Group, or Collection Name</b>	Blenheim Street Urban Conservation Area						
<b>Street number</b>							
<b>Street name</b>	Blenheim and Isabella Street and part of Birrell, Bourke and Cuthbert Streets						
<b>Suburb/town</b>	Queens Park					<b>Postcode</b>	2022
<b>Local Government Area/s</b>	Waverley						
<b>Property description</b>	various						
<b>Location - Lat/long</b>	<b>Latitude</b>				<b>Longitude</b>		
<b>Location - AMG (if no street address)</b>	<b>Zone</b>	MGA Zone 56 (GDA 94)	<b>Easting</b>	338,190.160283069	<b>Northing</b>	6,247,905.21271546	
<b>Owner</b>	various						
<b>Current use</b>	residential						
<b>Former Use</b>	Quarrying, service industries, market garden, dairy, bakery, Council Depot, residential						
<b>Statement of significance</b>	Blenheim Street Urban Conservation Area comprises of some of the oldest residential cottages within the Waverley Local Government Area and many early to mid 20 <sup>th</sup> Century buildings. It has a high degree of integrity and great diversity of building types (cottages, bungalows and villas) and character. Many of the workers cottages still have original detailing and building form with significant archaeological potential. The area is also significant for the long and narrow block of lands and of local, historic and aesthetic significance.						
<b>Level of Significance</b>	National <input type="checkbox"/>		State <input type="checkbox"/>		Local <input checked="" type="checkbox"/>		



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DESCRIPTION						
<b>Designer</b>	various					
<b>Builder/ maker</b>	various					
<b>Physical Description</b>	<p>Several early, stone workers' cottage, ,</p> <p>The Blenheim Street Urban Conservation Area comprises of some of the oldest residential cottages now rare within the Waverley LGA. These include:</p> <ul style="list-style-type: none"> <li>• 1 Blenheim Street</li> <li>• 9-11 Blenheim Street</li> </ul> <p>These sandstone cottages are considered to date back to the 1850s and are believed to have served as cottages for workers in nearby quarries. They have retained much original form and detail . Core remaining fabric includes stone construction in simple gabled forms with and without post supported front verandas, slate roofs, stone chimneys, and multi paned double hung sash windows.</p> <p>Other cottages in the Conservation Area have traditional Victorian Georgian form with symmetrical floor plans masonry and weatherboard cladding double hung multi paned timber sash windows and symmetrical hipped iron roofs,. Skillion extensions to the rear are typical. Internal features include later pressed metal linings.</p> <p>The Conservation Area also contains many early to mid 20<sup>th</sup> Century buildings. These single storey freestanding bungalows retain original detailing, including windows, fencing and decorative timber work. They substantially complement the streetscape quality and add to the high integrity and diversity of the Conservation Area.</p> <p>The southern part of the Conservation Area includes single Federation period row housing facing Cuthbert Street. Here a notable landscape feature is the median planting of Canary Island Palms. The planting is believed to date back to the early 1930s as part of depression relief works.</p>					
<b>Physical condition and Archaeological potential</b>	<p>Residences and street landscaping retain varied extents of original and later construction. All of the older houses have archaeological potential, particularly in backyards where wells and privies may contain discarded items.</p>					
<b>Construction years</b>	<b>Start year</b>	1850s	<b>Finish year</b>	Ongoing	<b>Circa</b>	<input type="checkbox"/>
<b>Modifications and dates</b>	<p><b>1850s:</b> early stone cottages constructed for workers at nearby dairies, market gardens, sandstone quarries and the later tannery operated by the Vickery family to the east.</p> <p><b>1890s to 1915:</b> Consolidation of open space as Late Victorian and Federation style attached and freestanding residences in response to improved transport to Sydney's east. Construction largely in weatherboard and brick.</p> <p>Open lands utilised for service industries dairy, bakery, Council Depot.</p> <p><b>C. 1910 Cuthbert Street:</b> Formerly road easement known as Church Street consolidated as wide carriageway with median later planted with Canary Island palm trees (six remaining out of original seven) during Inter War years of 1919-39. Up to 12m high and set in fine cambered median grassed area, 10m wide. Median edged with concrete kerb.</p> <p><b>1945-60</b> Sites of service industries change to vehicle repair works and postal depot.</p> <p><b>1980s-2010</b> Local industrial sites replaced with town house construction.</p>					

# NSW State Heritage Inventory form

HISTORY	
Historical notes	<p>The Conservation Area originally formed part of a purchase grant acquired by Colonial entrepreneur Simeon Henry Pearce and his brother James Pearce on Nov.27, 1849. James Pearce is listed at Waverley in the 1851-52 NSW Electoral Rolls. The north-south running Blenheim and Isabella Streets were named after Simeon Pearce's residence at Randwick and his wife's second name. In August 1854, 51 Villa sites fronting Blenheim, Isabella streets and 'the road leading to Randwick' were advertised for auction the sites [SMH 31 Aug 1854]. Sites were of narrow but deep dimensions (31ft x 117ft and 30ft x 139ft). The auction appears to have been of limited success, the estate becoming the location of early workers cottages constructed in stone and timber during the 1850s. A further sale of land was announced in 1859 comprising a site 75ft x 200ft at the corner of Blenheim and Waverley Roads. [SMH May 1959]. Funds were allocated by the new Waverley Council in March 1864 for the "making of Blenheim and Bourke Streets" the works voted for an immediate start in June 1864. [SMH 14 Mar &amp; 4 Jun 1864]. The expression "making" refers to the consolidation, grading and compaction of existing road ways with white (crushed sandstone) or blue (crushed basalt) metal.</p> <p>Whilst Simeon Pearce remained at Randwick, the family owned a stone cottage on the estate and conducted a store facing Birrell Street. The Pearce grant was bordered by similar purchase grants first acquired by Michael Fitzgerald in 1847 to the west and AS Glenn in 1845-48 to the east. A market garden operated by the Pearce family was located on Glenn's land at the intersection of Birrell and Cowper Streets (now Bronte Road). Nearby quarries, dairies and the tannery operated from 1866 by the Vickery family to the east provided employment for occupants of cottages such as those on the Pearce Estate. The small worker cottages predate the Glen Rock Terrace at High Street Charing Cross constructed for workers at Vickery's Tannery in 1866.</p> <p>Whilst streets in the Pearce Estate retained the grid pattern of initial land grants south of Old South Head Road/ Oxford Street, subdivision of the Estate was relatively slow due to the early construction of workers cottages and the presence of local service industries including Leahy's Livery Stables (1916), a bakery at the later address of 31 Blenheim Street and later the Waverley Council Works Depot (recorded in 1919). The resulting pattern was of small cottages interspersed with open land later occupied by light industrial buildings. This contrasted with regular terrace and semi detached house construction along the western side of the estate and on the adjacent Fitzgerald Estate particularly during the period 1880-1905.</p> <p>Ongoing development in the early and middle 20<sup>th</sup> Century reinforced the pattern of industrial structures set within streetscapes retaining mid 19<sup>th</sup> Century cottages. Service industries ranged from a bakery, council depot and corner shop to vehicle repair works and a postal depot. By the late 20<sup>th</sup> Century industrial structures began to be replaced by town house development. This process continues into the 21<sup>st</sup> Century with all light industry now relocated from the Conservation Area.</p>

THEMES	
National historical theme	<p>4 Building settlements, towns and cities.</p> <p>9 Marking the phases of life.</p>
State historical theme	<p>Towns, suburbs and villages-activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages; Land tenure-activities and processes for identifying forms of ownership and occupancy of land and water; Accommodation-activities associated with the provision of accommodation, and particular types of accommodation. Persons-activities of, and associations with, identifiable individuals, families and communal groups.</p>

# NSW State Heritage Inventory form

APPLICATION OF CRITERIA	
<b>Historical significance</b> SHR criteria (a)	<p>The area records the pattern of early 19<sup>th</sup> Century purchase grants which provided the basis for the later grid street pattern of Queens' Park.</p> <p>The area retains a rare enclave of mid 19<sup>th</sup> Century workers cottages constructed in stone, brick and timber. Construction records the availability of quarried stone sourced from nearby quarries. The small cottages record the forms and scale of housing for workers at Waverley in the mid 19<sup>th</sup> Century.</p>
<b>Historical association significance</b> SHR criteria (b)	<p>The area has historical association with the Pearce family, Simeon Henry Pearce and his brother James being land entrepreneurs of the mid 19<sup>th</sup> Century. They initially purchased the land and established cottages and a small store at the location for their extended family and workers in the area from the 1850s. Simeon Henry Pearce concurrently promoted and named the suburb of Randwick around his residence <i>Blenheim</i> in that location.</p>
<b>Aesthetic significance</b> SHR criteria (c)	<p>The area retains freestanding and attached residences demonstrating the aesthetic forms, fabric and detailing of Victorian Georgian Vernacular construction. The free standing, semi-detached and attached examples of single and two storey housing a notable assemblage of building forms from the mid 19<sup>th</sup> Century to. Later Victorian, Federation and Inter War residences include notable terrace groups demonstrating the forms and aesthetic considerations of Waverley during growth resulting from improved transport of the 1880s onwards.</p> <p>The narrow widths of Blenheim and Isabella Streets and the close set relationship of residences to these and to Birrell Street frontages further demonstrate the setting of worker housing in the initial years of Waverley Municipality.</p>
<b>Social significance</b> SHR criteria (d)	<p>The area retains significance as a demonstration of the forms, streetscapes and social relationship of worker housing in the early years of Waverley Municipality. The scale, forms and history of the remaining worker cottages provide a notable demonstration of the Municipality's social history.</p>
<b>Technical/Research significance</b> SHR criteria (e)	<p>Residences in the area demonstrate the trade skills used in mid 19<sup>th</sup> Century construction employing live and quarried sandstone, simple but well crafted joinery, slate roofing and carpentry. The forms and standards of construction provide a benchmark in the evolution of building in NSW from hand crafted to machine manufactured components.</p>
<b>Rarity</b> SHR criteria (f)	<p>The Area contains an assembly of mid 19<sup>th</sup> Century workers cottages being the earliest identified structures remaining in Waverly after the 1840's completion of Bronte House. The cottages may be compared with those about the junction of New South Head Road and Glenmore Road Edgecliff of similar age and function and 1840's row housing at the corner of Burton and Bourke Street East Sydney. The limited examples of comparable age, function and detail identify the rarity of the worker cottages within the Conservation Area.</p>
<b>Representativeness</b> SHR criteria (g)	<p>The worker cottages in the Conservation Area are highly representative of the forms, construction and setting of mid 19<sup>th</sup> Century worker housing. The variety of forms of similar age and aesthetic style add to the representative value of the group and the related setting. Other, later, residences in the area including the attached single storey Federation group facing Cuthbert Street are notable examples of the forms and details of speculative dwellings built in response to improved transport of the late 19<sup>th</sup> Century.</p>



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<b>Integrity</b>	The worker cottages in the Conservation Area retain a high degree of integrity in form and relationship to their setting. Detailing and finishes in many cases have been maintained and conserved whilst in other examples have been altered but remain in a state enabling restoration.
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## HERITAGE LISTINGS

<b>Heritage listing/s</b>	Waverley Local Environmental Plan 1996 (Amendment No. 3) Item No. C1
	Waverley Local Environmental Plan 2012 Item No. C.01

## INFORMATION SOURCES

Include conservation and/or management plans and other heritage studies.

Type	Author/Client	Title	Year	Repository
Council research	Colin Brady	na	2012	Council files and Local History Library
Book	B T Dowd (ed.) for Council of the Municipality of Waverley	The History of the Waverley Municipality		Waverley Council library
Newspaper	Fairfax Press	Press Sydney Morning Herald 1840-1955	1840-1955	Trove National Library of Australia
Civil Records	NSW Government	Registry of Assisted Passengers to NSW from 1828. Registry of Births, Deaths and Marriages	1828 - 1950	Ancestry.Com
Municipal Directories	Sands	Sands Directory of Sydney and Suburbs	1850-1933	Waverley Library and on line.

## RECOMMENDATIONS

<b>Recommendations</b>	<p>A Heritage Impact Report is to accompany applications for works to all sites within the Conservation Area.</p> <p>All buildings erected prior to 1939 are to be considered contributory elements and are to be retained with limited and sympathetic additions maintaining the core form, materials, details, finishes and streetscape contribution of the building.</p> <p>Conservation Management Guidelines are to be provided where works are proposed to structures of 19th century origins.</p> <p>All demolitions are to be accompanied by a photographic archival record.</p>
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## SOURCE OF THIS INFORMATION

<b>Name of study or report</b>	BT Dowd The History of the Waverley Municipal District 1859-1959 Waverley Council Land Titles Office Records. Sydney Morning Herald 1850's- 1920.	<b>Year of study or report</b>	Various
<b>Item number in study or report</b>	Various		



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<b>Author of study or report</b>	Various		
<b>Inspected by</b>	Rosanne Paskin & Colin Brady		
<b>NSW Heritage Manual guidelines used?</b>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
<b>This form completed by</b>	Rosanne Paskin & Colin Brady	<b>Date</b>	Sep 2012; Jan 2013

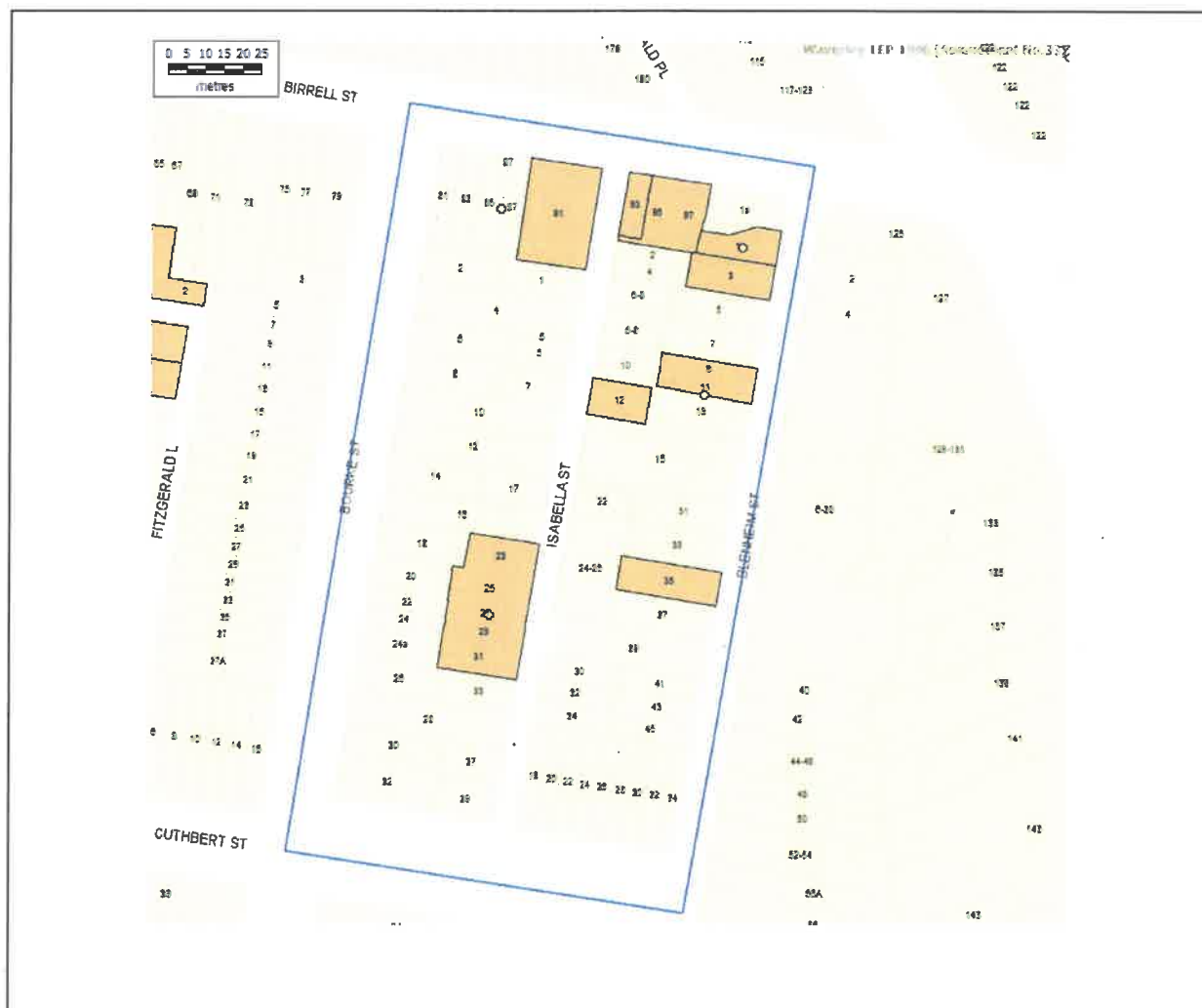


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IMAGES - 1 per page

Image caption	Blenheim Street Urban Conservation Area Plan with heritage listed buildings shown in heavy shade.				
Image year	2012	Image by	Waverley Council	Image copyright holder	Waverley Council





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## IMAGES

Image caption	Pearce's Grocery Store at corner of Birrell and Blenheim Streets.				
Image year	c. 1900	Image by	Unknown	Image copyright holder	Mitchell Library



# *NSW State Heritage Inventory form*

## IMAGES

<b>Image caption</b>	Sandstone worker cottage Blenheim Street				
<b>Image year</b>	c. 2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady







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# *NSW State Heritage Inventory form*

## IMAGES

<b>Image caption</b>	Sandstone terrace house with profile of former worker cottage to side elevation in Blenheim Street.				
<b>Image year</b>	c. 2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady





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## IMAGES

<b>Image caption</b>	Unrenovated worker cottages Isabella Street				
<b>Image year</b>	c.2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady





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# *NSW State Heritage Inventory form*

## IMAGES

<b>Image caption</b>	Stone workers cottages at corner of Isabella and Birrell Streets				
<b>Image year</b>	c. 1900	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady



# *NSW State Heritage Inventory form*

## IMAGES

<b>Image caption</b>	Stone stable wall Isabella Street.				
<b>Image year</b>	c. 2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady



## **Bondi Beach UCA – C.02**





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# NSW State Heritage Inventory form

ITEM DETAILS							
<b>Name of Item</b>	Bondi Beach Urban Conservation Area						
<b>Other Name/s Former Name/s</b>	Bondi, Bondi North						
<b>Item type</b>	Built Conservation Area						
<b>Item group</b>	Residential buildings Retail Urban Area						
<b>Item category</b>	Streetscape Beach Urban Park						
<b>Area, Group, or Collection Name</b>	Bondi Beach Urban Conservation Area						
<b>Street number</b>	Multiple						
<b>Street name</b>	Bounded generally by Notts Avenue, Lamrock Place, Gould Lane, Gould Street, Warners Avenue, Wairoa Avenue, Ramsgate Avenue East, Bondi Beach Sea Level						
<b>Suburb/town</b>	Bondi Beach					<b>Postcode</b>	2022
<b>Local Government Area/s</b>	Waverley						
<b>Property description</b>	Various						
<b>Location - Lat/long</b>	<b>Latitude</b>				<b>Longitude</b>		
<b>Location - AMG (if no street address)</b>	<b>Zone</b>	MGA Zone 56	<b>Easting</b>	33.8910	<b>Northing</b>	1551.2777	
<b>Owner</b>	Various						
<b>Current use</b>	Residential, retail, cultural, recreation						
<b>Former Use</b>	Indigenous habitation, tool manufacture (Bondi Points), cattle grazing, farming, residential, retail, recreation						
<b>Statement of significance</b>	The Bondi Beach Urban Conservation Area (UCA Area) has historic, social and aesthetic significance as a cohesive and well detailed streetscape in a beachside setting. The UCA originally occupied by the Gadigal people incorporates land grants of the 1810's (the earliest in the Waverley LGA) with some of the land grant boundaries still evident in the current street pattern today. The Inter-War streetscape along Campbell Parade is largely intact and is unique for a beach setting. The international identity enhancement of the area as a place of recreation supported by cultural uses is also noteworthy.						
<b>Level of Significance</b>	National <input type="checkbox"/>		State <input type="checkbox"/>			Local <input checked="" type="checkbox"/>	

# NSW State Heritage Inventory form

DESCRIPTION	
<b>Designer</b>	Various
<b>Builder/ maker</b>	Various
<b>Physical Description</b>	<p>The Bondi Beach Conservation Area includes the crescent of Bondi Beach, the majority of Campbell Parade, part of Military Road and the buildings located on these streets. The Conservation Area also extends past the beach incorporating part of the north and south headlands to the beach.</p> <p>The Beach itself is orientated to the south east and is approximately 1 kilometre long. There is a slight increase in ground level at either end of the beach with vantage points from the headlands providing views of the beach, park and the streetscape of Campbell Parade.</p> <p>Access to the area is primarily via Campbell Parade, which separates Bondi Beach, Bondi Park and the Bondi Pavilion and, the streetscape behind. Campbell Parade, a primary street in the area, connects to Bondi Road to the south and Military Road to the north, key conduits to Bondi and the broader Eastern Suburbs. Campbell Parade includes a medium strip with palm trees. Pedestrian paths lead from Campbell Parade through the park to the beach.</p> <p>Queen Elizabeth Drive is connected to Campbell Parade to the north and the south, providing access to the Bondi Pavilion from the east, and the beach. Access is also provided to the headlands to either end of the beach. Nott Street provides access from Campbell Parade to Hunter Park to the south and to the Bondi Baths. Ramsgate Avenue provides access from Campbell Parade to Biddigal Reserve, Ray O'Keefe Reserve and Sam Fisman Park to the north.</p> <p>Campbell Parade as the principle street frontage to Bondi Beach is defined by a near continuous wall of buildings pivoted around the centrally located grounds and setback structures of Bondi Park and Beach. The asymmetrical street form serves to emphasise the facades of buildings lining the Parade.</p> <p>The broad carriageway retains a substantial median, the legacy of a previous tramline and wide footpaths. Awnings and outdoor dining areas incorporating shade structures, project forward of shop fronts. The historic pattern of transport has concentrated mixed use buildings with shop fronts and restaurants to the south, buildings here have retaining the forms and detail of late Federation and early War revival styles. Later development at the northern end of Campbell Parade has limited retail shop fronts and is dominated by apartment buildings of later Inter War Art Deco and Functionalist Styles. More recent apartments are of later 20<sup>th</sup> Century Style and have replaced former entertainment buildings including the Bondi Kings Picture Theatre and Bondi Diggers Club.</p>
<b>Physical condition and Archaeological potential</b>	<p>There are four archaeological sites included in the Bondi Beach Urban conservation area as listed in the Waverley LEP 2012.</p> <ul style="list-style-type: none"> <li>i) Open campsite and burial(s) (Item No AH558) (AHIMS# 45-6-2169)</li> <li>ii) Natural Drain included in Hunters Park (to the south) (Item No A524)</li> <li>iii) Lookout Marks Park (Item No A525)</li> <li>iv) Bondi Baths (Item No A526)</li> </ul> <p>The potential for uncovering archaeological remnants should be considered when carrying out any works in the Bondi Beach Conservation Area.</p>



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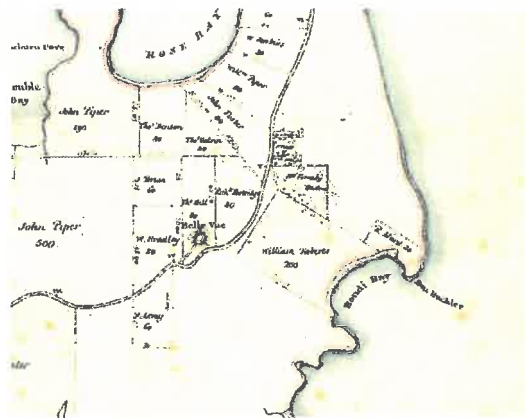
Construction years	Start year	Late 1800s	Finish year	Ongoing	Circa	<input type="checkbox"/>
Modifications and dates	Ongoing					

## HISTORY

### Historical notes

Bondi has a rich pre and post European settlement history. It is understood that the Waverley area was occupied by the Gadigal people, the traditional Aboriginal owners, and that Bondi Beach was the location of an open campsite(s) and burial place. Middens and engravings in sandstone shelters and caves have been found on the north and south headlands and 'backed-artefacts', a range of relatively small and finely made tools, were discovered at Bondi Beach, supporting the presence of aboriginal 'workshops'.

The Bondi Beach that we are familiar with today evolved gradually over time. The area initially noted as 'barren sands' (1791 survey) remained largely undeveloped until the 20<sup>th</sup> Century. Land grants were allocated to William Roberts (200 acres) and Hurd (30 acres including the Ben Buckler Headland) in 1809. Hurd's land appears to have remained unsettled for a considerable time, while Roberts' land was used for agricultural purposes.



**Parish Map c.1830**

Source: NSW Land and Property Information

Bondi Beach and most of what is now Campbell Parade are located on land encompassed by the original grant to William Roberts. From the middle of the nineteenth century Bondi Beach, although on private land, started to become popular with the public for picnics and other recreational activities. As a result of community agitation an area of just over 10 hectares was resumed by the NSW Government and dedicated as a public reserve in 1882.



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Bondi Beach 1875 – looking south to Ben Buckler  
Source: Waverley Library

The southern and the majority of the northern end of Campbell Parade is located on Roberts' land with part of the northern end within the original grant to William Hurd. The southern end of Campbell Parade was previously called Waverley Street and Bondi Road, while the northern end was originally called Military Road. Campbell Parade was initially contemplated in a 1866 Reuss subdivision plan, and survey plan dated 1884.

In 1880, the Cliff House Hotel opened at the southern end of Campbell Parade to serve day trippers to the beach. The opening of the Hotel and the construction of the Bondi Baths in 1888-89 began a pattern of beach orientated buildings along the landward side of Campbell Parade. Despite this, even by the late 1800s the area was dominated by sand dunes and vegetation, with development slowly increasing in the early 1900s, as people were attracted to the area as swimming became accepted and more common with the legalisation of swimming in 1902.



Parish Map 1900 showing early streets in Roberts' and Hurd's grants.  
Source: NSW Land and Property Information

A tram service was provided to Bondi Beach terminating near Hall Street in 1884. In 1911, the tram line was extended along Campbell Parade to a new terminus at North Bondi (the location of the present day bus terminus). The initial provision of transport to the southern end of Campbell Parade provided the growth of tea houses, hotels and shops fronting Campbell Parade.

It was during the Inter-War period between 1915 and 1940 when the Bondi Beach area underwent considerable growth. Buildings sprung up along the length of Campbell Parade. The buildings



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	located to the south of Campbell Parade were generally built between 1914 and 1929, with the buildings to the north generally built between 1930 and 1940, and with the Bondi Pavilion completed in 1929. It was largely during this period that the Bondi Beach area became characterized as a lively and popular beach side community still evident today. This active beachside character continues to evolve.
	<b>Summary History</b>
< 1809	Occupied by the Gadigal people, the traditional Aboriginal owners.
1809	Grant given to John Hurd under Governor William Paterson for thirty acres in the area around and including Ben Buckler but was not later confirmed under Governor Macquarie.
1810	Grant of 200 acres to William Roberts under Governor William Paterson (originally granted in 1809) confirmed under Governor Macquarie. Grant received in recognition of Robert's services in constructing South Head Road (later Oxford Street and Old South Head Road). Roberts resides in Sydney and uses the land as a cattle farm.
1811	Road to South Head lighthouse finalised providing greater access to the area.
1819	Roberts dies and passes land to his family.
1831	New regulations for disposal of Crown Land introduced through purchasing rather than through grants.
1838	17 acres sold by the Crown to William Barton, (a stock and share broker) on land now called 'the Boot'. (William Barton was father to Edmund Barton, the first Prime Minister of Australia).
1851	200 acres transferred undeveloped to William James Robert's daughter Georgiana & son-in-law Francis O'Brien via Trustee Edward Smith Hall. O'Brien plans to subdivide Bondi Estate in 1852.
1855	Crown reserved 100 feet strip above high water mark along beach for public use.
1856	'Homestead' (O'Brien family residence) evident.
1855-77	O'Brien permits general public to use the beach and the sandhills behind it. The area becomes a popular picnic ground but becomes too rowdy so O'Brien closes it in 1877.
1859	Waverley Municipal Council is established and seeks to establish the beach as a reserve.
1877	O'Brien declared bankrupt. 51 acres transferred to his 2nd wife's family, Curlewis.
1879 >	Subdivision of Bondi Estate becomes extensive.
1880s	Rock pools were used for swimming at Bondi from the 1880s.
1881	Government surveys an area of the beach for public recreation.
1882	State Government resumed 25+ acres & dedicated as a public reserve.
1884	Tramway brings people within walking distance of the beach.
1885	Waverley Council made Trustee of Bondi Park.
1888-89	Bondi Baths constructed to the south of Bondi Beach (home to the Icebergs Club since 1929).
1900	A gale at Bondi Beach displaces sand dunes and exposes extensive Aboriginal artefacts.
1902	First regular tram service from Circular Quay to Bondi Beach.
1907	A tent was erected, where Biddigal Reserve is now, as a clubhouse for what would become the Bondi Surf Life Saving Club. A little later a simple shed was built adjacent to the home of the Club Captain, Wally Weekes, who owned land at the northern end of the beach. (A tidal pool is dedicated to Wally Weekes to the north of Bondi Beach.)
1911	The tram line is extended along Campbell Parade to a new terminus at North Bondi (the location of the present day bus terminus).
1914	World War I begins.





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1920	'Bondi Homestead' building still present.
1922	Record (SMH 1922) of Wally Weekes, a North Bondi resident, enlarging the tidal pool located to the north of Bondi Beach. (The date that the pool was originally used was not noted). The pool is noted as being 'alive with youngsters learning to swim.'
1924	Lagoons present.
1928	Construction of Bondi Pavilion commences.
1929	Bondi Pavilion opens.
1939	World War II begins.
1942	Demolition of groynes projecting onto the beach (connected to tunnels providing access to the Bondi Pavilion)
1945	End of World War II.
1954	Queen Elizabeth II attends a 'Royal Command Surf Carnival'. Marine Drive renamed Queen Elizabeth Drive in her honour.
1960	The Bondi tram line closes.
1963	Children's swimming pool completed at North Bondi alongside Wally Weekes tidal pool.
1975	The Pavilion becomes a centre piece of Waverley Council's Community Cultural Program.
1980s	Construction of a stormwater outfall (in the late 1980's) to the south of the beach with the stormwater system discharging onto rock, mitigating stormwater scour improving the condition of the beach. Prior to that two large stormwater pipes discharged onto the beach.
2000	Olympic Games Beach Volley Ball hosted.

## THEMES

<b>National historical theme</b>	1. Environment 2. Peopling 4. Settlement 8. Culture
<b>State historical theme</b>	Environment – cultural landscape Towns, suburbs and villages

## APPLICATION OF CRITERIA

<b>Historical significance</b> SHR criteria (a)	<p>Evidence of the Roberts Grant, one of the earliest in the Waverley, remains in the current street pattern, defining the former boundaries of the Estate. Similarly there are remnants of the 1809 Hurd grant that embraced the headland of Bondi (known as 'Ben Buckler') and extended from the coastline to the present day Wairoa Avenue to the line of present day Hastings Parade to the north.</p> <p>The area retains examples of Inter-War architecture and some of the earliest examples of apartment buildings in the area. To the south of Campbell Parade there are several buildings built between 1914 and 1929. To the north of Campbell Parade buildings between 1930 and 1940 are more common. As a means to achieve an historical context for the development at Bondi Beach it should be noted that the first purpose built apartment building was built in Sydney in 1905 and in 1914 the City Council built Strickland Flats in Chippendale, the first large scale public housing building in Australia.</p> <p>Improvements at Bondi Beach are also noteworthy. During the 1920s Waverley Municipal Council undertook a range of improvements at Bondi Beach, the most significant being the construction of the Bondi Pavilion, opened in 1929. These works increased the popularity of Bondi in the 1930s, with the beach drawing not only Sydneysiders but also people from elsewhere in Australia and overseas. By the late 1930's a wall of hotels, guest houses and flats extended the length of Campbell Parade. The</p>
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	buildings displayed a variety of architectural styles, the largely uninterrupted street frontages forming a backdrop to Bondi Beach.
<b>Historical association significance</b> SHR criteria (b)	<p>The area has historical association with William Roberts (grant recipient in 1809), who was involved in the construction of Old South Head Road. The grant encompassing what is now the majority of Bondi Beach was received in compensation for construction of the road.</p> <p>The area is associated with the beginning of the Surf Life Saving movement established in 1907.</p> <p>In 1954 Queen Elizabeth II attended a 'Royal Command Surf Carnival' at Bondi Beach. Queen Elizabeth Drive is named after the Queen to commemorate the event.</p>
<b>Aesthetic significance</b> SHR criteria (c)	<p>Australian architecture in the Inter-War period was highly eclectic. The period was characterised by a profusion of styles which drew their influence from a wide range of sources. Of particular significance was the cultural influence of the United States of America which supplemented the continuing influences from England. Buildings often did not display a clear expression of a single style and it is common for buildings of the Inter-War period to display features from more than one style.</p> <p>The buildings along Campbell Parade display a range of Inter-War architectural styles. The buildings at the southern end of Campbell Parade were generally built between 1915 and 1928, earlier than the buildings at the northern end of Campbell Parade which were generally built in the 1930s and early 1940s.</p> <p>Some of the earlier buildings, built around 1914, are more typical of the Arts and Crafts style continuing from the Federation period. It may be that some buildings were designed some time prior to when they were built and so could reflect the fashions of an earlier time. The Arts and Crafts style was unpretentious and informal, and employing traditional materials and details which evoke a feeling of comfortable familiarity. Australian themes are sometimes incorporated, and the use of the verandah and larger window openings in response to setting and the climate are utilised.</p>
<b>Social significance</b> SHR criteria (d)	<p>It is understood that the area was occupied by the Gadigal people. The name Bondi is based on an Aboriginal name (Boondi Aboriginal Name) and means 'noise made by the sea waves breaking on the beach'. A registered Aboriginal place located at Bondi Beach, an open campsite and burial site, is still a place of significance today.</p> <p>The area retains significance as an area that evolved in response to the usage of the beach as a place of recreation. The involvement of Waverley Council to support and enhance the use of the area as a recreational and cultural precinct is important, for example through the construction of the Bondi Pavilion and improvements to the park in 1929, adaptive reuse of the Pavilion as the Waverley Community Centre in 1977, and preparation of the Bondi Park, Beach and Pavilion Plan of Management in 1913. The beach as a place of public recreation is also supported through the establishment of swim and surf clubs in the early 20<sup>th</sup> Century.</p>
<b>Technical/Research significance</b> SHR criteria (e)	Examples of buildings from the early 20 <sup>th</sup> Century provide examples of construction techniques and trade skills employed in construction of the period.
<b>Rarity</b> SHR criteria (f)	The Conservation Area includes a rare 20 <sup>th</sup> Century Inter-War streetscape in a beach side setting in Sydney.
<b>Representativeness</b> SHR criteria (g)	The Conservation Area includes representative examples of buildings from the early to mid 1900s.



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<b>Integrity</b>	Despite later alterations the area remains intact as a interpretable example of an historic streetscape and setting.
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## HERITAGE LISTINGS

<b>Heritage listing/s</b>	Waverley Local Environmental Plan 2012 Bondi Beach Urban Conservation Area Item No. C.2 Numerous individual listings  Bondi Beach was listed on the Register of the National Estate in 1979 and the National Heritage List in 2008
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## INFORMATION SOURCES

Type	Author/Client	Title	Year	Repository
Fact sheet	Australian Historical Society	Reminiscences of Bondi by Thomas Ormond O'Brien	1923	Australian Historical Society
Book	B T Dowd (ed.) for Council of the Municipality of Waverley	The History of the Waverley Municipality	1959	Waverley Council library
Research	Wilson and Associates	Bondi Park and Pavilion a History	2013	Waverley Council
Council research	Shaping Waverley Team Waverley Council	N/A	2014	Council files and Local History Library
Research	Dominic Steele Consulting Archaeology	Waverley Aboriginal Cultural Heritage Study	2009	Waverley Council

## RECOMMENDATIONS

<b>Recommendations</b>	<p>Recommendations</p> <ol style="list-style-type: none"> <li>1. New work should be of a high quality design emphasising the unique Bondi Beach identity, respecting the heritage values of the area and of individual buildings.</li> <li>2. Enhance Campbell Parade as a streetscape of warmth, colour and vibrancy providing a strong built backdrop for Bondi Beach.</li> <li>3. Maintain the medium height scale of any infill development and additions. Any additions to existing heritage buildings should be subservient to the main structure.</li> <li>4. Retain all historic face brick facades without painting or rendering.</li> <li>5. Preserve or reinstate face brick facades when supported by heritage values.</li> <li>6. Where historic surfaces have been previously painted, paint the main wall colour a lighter colour, allowing shadows to be more easily read, increasing visual interest.</li> <li>7. Draw attention to decorative areas through the use of different colours and/or tones.</li> <li>8. Use polychromatic colour schemes for more decorative buildings, rather not a single colour.</li> <li>9. Ensure colours schemes are individual for each building.</li> <li>10. Ensure a proposed colour scheme is compatible with its neighbours.</li> <li>11. Use richer colours to highlight architectural features.</li> <li>12. Consider reinstating architectural elements where there is historical documentary evidence to support proposals.</li> <li>13. Preserve the view of the historic streetscape along Campbell Parade from key vantage points and when walking along the street.</li> </ol>
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## *NSW State Heritage Inventory form*

SOURCE OF THIS INFORMATION			
Name of study or report	Various	Year of study or report	
Item number in study or report	N/A		
Author of study or report	Shaping Waverley team (Waverley Council)		
Inspected by	Colin Brady		
NSW Heritage Manual guidelines used?		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
This form completed by	Fleur Mellor & Colin Brady	Date	December 2014

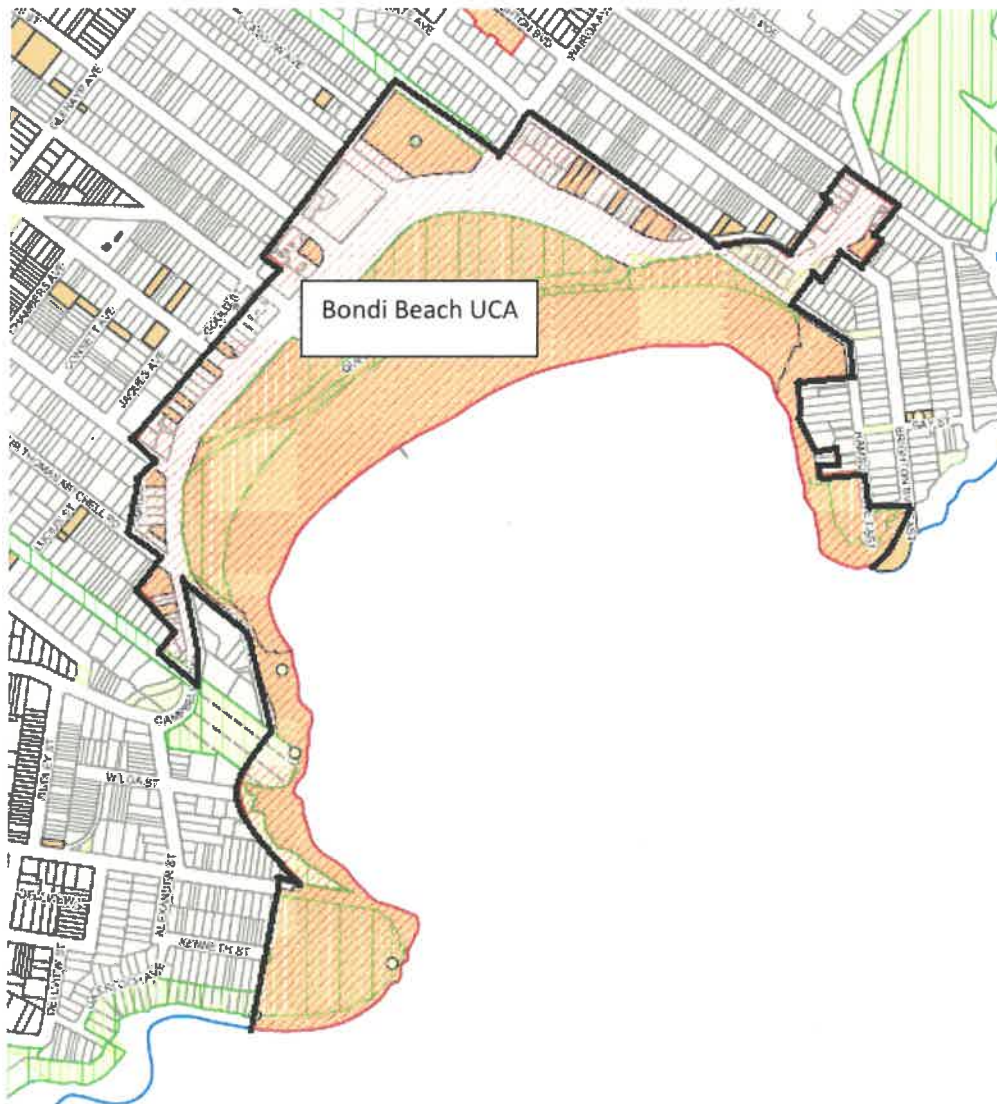


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## IMAGES

Image caption	Bondi Beach Urban Conservation Area				
Image year	2014	Image by	Waverley Council	Image copyright holder	Waverley Council







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## IMAGES

<b>Image caption</b>	Bondi Beach Urban Conservation Area in foreground and in context - Aerial				
<b>Image year</b>	2014	<b>Image by</b>	Waverley Council	<b>Image copyright holder</b>	Waverley Council





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## IMAGES

<b>Image caption</b>	Bondi Beach Urban Conservation Area – sample Campbell Parade streetscape				
<b>Image year</b>	2014	<b>Image by</b>	Waverley Council	<b>Image copyright holder</b>	Waverley Council



## **Botany St UCA – C.03**

# NSW State Heritage Inventory form

ITEM DETAILS							
Name of Item	Botany Street Urban Conservation Area						
Other Name/s Former Name/s							
Item type	Conservation Area.						
Item group	Residential buildings (private). Urban Area.						
Item category	Cottage, House, Terrace. Streetscape. Subdivision - vernacular						
Area, Group, or Collection Name	Botany Street Urban Conservation Area						
Street number							
Street name	Includes properties in Adams Lane, Allens Parade, Birrell Street, Botany Street, Botany Place, Council Street, Ebley Street, Hollywood Avenue, James Street, Llandaff Street, Porter Street, Waverley Street						
Suburb/town	Bondi Junction				Bondi Junction	Bondi Junction	
Local Government Area/s	Waverley Council						
Property description	various						
Location - Lat/long		Longitude					
Location - AMG	Zone	MGA Zone 56 (GDA 94)	Easting	338,424.045288866	Northing	6,248,131.57585124	
Owner	Multiple						
Current use	residential						
Former Use	residential						
Statement of significance							
Level of Significance	National <input type="checkbox"/>		State <input type="checkbox"/>		Local <input checked="" type="checkbox"/>		

DESCRIPTION	
Designer	various
Builder/ maker	various
Physical Description	<p>The urban form of the Botany Street Heritage Conservation Area is result of late 19th and early 20th Century subdivision of remaining open lands to the eastern periphery of Bondi Junction. The building streetscape is diverse and although buildings are not consistent to adjoining developments, they form a cohesive streetscape combining a variety of styles, materials and distribution of buildings along the street.</p> <p>The range and compatible residential types from 1890's to 1940's records the consolidation of open</p>

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	lands about Bondi Junction following the establishment of regular tram services. The conservation area includes representative examples of varied styles from Victorian filigree through the Inter War Art Deco. The area retains notable streetscapes, characterised by the width of road easements and the quality of residential groupings.				
	The Conservation Area includes notable listed buildings, including the Porter Terraces, the Congregational Church (1-3 Botany Street) and the Italianate Community Health Centre in 26 Llandaff Street.				
<b>Physical condition and Archaeological potential</b>					
<b>Construction years</b>	<b>Start year</b>		<b>Finish year</b>		<b>Circa</b> <input type="checkbox"/>
<b>Modifications and dates</b>					
<b>Further comments</b>					

## HISTORY

<b>Historical notes</b>	Subdivision of lands originally part of Barnett Levy's Waverley Estate of 1827.
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## THEMES

<b>National historical theme</b>	4 Building settlements, towns and cities.
<b>State historical theme</b>	Towns, suburbs and villages: activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages; Land tenure: activities and processes for identifying forms of ownership and occupancy of land and water.

## APPLICATION OF CRITERIA

<b>Historical significance</b> SHR criteria (a)	
<b>Historical association significance</b> SHR criteria (b)	
<b>Aesthetic significance</b> SHR criteria (c)	
<b>Social significance</b> SHR criteria (d)	
<b>Technical/Research</b>	



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<b>significance</b> SHR criteria (e)	
<b>Rarity</b> SHR criteria (f)	
<b>Representativeness</b> SHR criteria (g)	
<b>Integrity</b>	

## HERITAGE LISTINGS

<b>Heritage listing/s</b>	Waverley Local Environmental Plan 2012 Schedule 5, Item C3
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## INFORMATION SOURCES

Include conservation and/or management plans and other heritage studies.

Type	Author/Client	Title	Year	Repository
Heritage study	Annette Green and Dawson brown	Bondi Junction Heritage Study	1987	Waverley Council
Heritage study	Perumal Murphy	Waverley Heritage Study	1990	Waverley Council
Heritage study	Colin Brady and Ines Meyer	Bondi Junction Heritage Assessment	2004	Waverley Council

## RECOMMENDATIONS

<b>Recommendations</b>	<p>The contained nature of the conservation area lends itself to conservation whilst maintaining development opportunities that are compatible with the amenity and significance of existing buildings. The conservation and enhancement of buildings of architectural significance to be undertaken. Infill development to be compatible with the character of the area. Statements of heritage impacts are to be prepared for proposed development in the conservation area.</p>
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## SOURCE OF THIS INFORMATION

<b>Name of study or report</b>		<b>Year of study or report</b>	
<b>Item number in study or report</b>			
<b>Author of study or report</b>			
<b>Inspected by</b>	Rosanne Paskin		
<b>NSW Heritage Manual guidelines used?</b>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
<b>This form completed by</b>	Rosanne Paskin, Colin Brady and Kate Higgins	<b>Date</b>	Sep 2012; Jan 2013

# NSW State Heritage Inventory form

## IMAGES

<b>Image caption</b>	Waverley Local Environmental Plan 2012 Schedule 5, Item C3 Botany Street Conservation Area NSW legislation page: <a href="http://www.legislation.nsw.gov.au/map/8050_COM_HER_001A_005_20120508.pdf?id=7ce7f996-3116-c700-e9e3-cc0967d4e4e8">http://www.legislation.nsw.gov.au/map/8050_COM_HER_001A_005_20120508.pdf?id=7ce7f996-3116-c700-e9e3-cc0967d4e4e8</a>			
<b>Image year</b>		<b>Image by</b>		<b>Image copyright holder</b>



### KEY

<b>Heritage</b>	
	Conservation Area - General
	Conservation Area - Landscape
	Item - General
	Aboriginal Object
	Item - Archaeological
	Item - Landscape

# *NSW State Heritage Inventory form*

IMAGES - 1 per page

Image caption					
Image year		Image by		Image copyright holder	

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IMAGES - 1 per page

Image caption					
Image year		Image by		Image copyright holder	

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## **Brighton Boulevard UCA – C.04**



# NSW State Heritage Inventory form

ITEM DETAILS						
Name of Item	Brighton Boulevard Urban Conservation Area					
Other Name/s Former Name/s	Brighton Boulevarde Group					
Item type	Built. Area.					
Item group	Residential buildings (private). Urban Area.					
Item category	Flat. Streetscape.					
Area, Group, or Collection Name	Brighton Boulevard Urban Conservation Area					
Street number						
Street name	corner of Brighton Boulevard, Hastings Parade and Gould Street North					
Suburb/town	North Bondi				Postcode	2026
Local Government Area/s	Waverley					
Property description	various					
Location - Lat/long	Latitude				Longitude	
Location - AMG (if no street address)	Zone	MGA Zone 56 (GDA 94)	Easting	340,746.803836271	Northing	6,249,059.90045681
Owner	various					
Current use	residential					
Former Use	residential					
Statement of significance	Good grouping of 1930s and 1940s flat buildings. Representative of those built throughout this area in the Inter War period. In better condition than most. The Brighton Boulevard Urban Conservation Area forms a particularly good streetscape and the corner buildings frame the five-way intersection well.					
Level of Significance	National <input type="checkbox"/>		State <input type="checkbox"/>		Local <input checked="" type="checkbox"/>	

DESCRIPTION	
Designer	various
Builder/ maker	various
Physical Description	Good grouping of Art Deco and International style flat buildings, centred on the five-way intersection of Brighton/Gould/Hastings. Includes Nos. 1-13 Brighton Boulevarde, 6-8 Hastings Parade and 37-43 Gould Street.



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	The best individual buildings are "Jugiong" (37-43 Gould Street) and "Wandella" (1 Brighton Boulevard). They stand on the corner of Gould Street and Brighton Boulevard and both are individually listed. Nos. 3-13 are a consistent row of two storey, 1940s style flats. They are typical of those built throughout the area in the 1930s and 40s, and are amongst the least altered. Each is dark brick with a hipped tiled roof. All feature some degree of decorative brickwork. Nos. 6 and 8 Hastings Parade stand on the opposite corner of Gould Street. Each is an interesting individual design which frames the corner well.					
<b>Physical condition and Archaeological potential</b>						
<b>Construction years</b>	<b>Start year</b>	1915	<b>Finish year</b>	1945	<b>Circa</b>	<input type="checkbox"/>
<b>Modifications and dates</b>						
<b>Further comments</b>						

HISTORY	
<b>Historical notes</b>	

THEMES	
<b>National historical theme</b>	4. Settlement-Building settlements, towns and cities
<b>State historical theme</b>	Accommodation-Activities associated with the provision of accommodation, and particular types of accommodation

APPLICATION OF CRITERIA	
<b>Historical significance</b> SHR criteria (a)	Good grouping of 1930s and 1940s flat buildings. Representative of those built throughout this area in the Inter War period. In better condition than most. The Brighton Boulevard Urban Conservation Area forms a particularly good streetscape and the corner buildings frame the five-way intersection well.
<b>Historical association significance</b> SHR criteria (b)	
<b>Aesthetic significance</b> SHR criteria (c)	
<b>Social significance</b>	



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SHR criteria (d)	
<b>Technical/Research significance</b> SHR criteria (e)	
<b>Rarity</b> SHR criteria (f)	
<b>Representativeness</b> SHR criteria (g)	
<b>Integrity</b>	Substantially intact.

## HERITAGE LISTINGS

<b>Heritage listing/s</b>	Waverley Local Environmental Plan 1996 Schedule 5, Item C3
	Waverley Local Environmental Plan 2012 Schedule 5, Item C4

## INFORMATION SOURCES

Include conservation and/or management plans and other heritage studies.

Type	Author/Client	Title	Year	Repository

## RECOMMENDATIONS

<b>Recommendations</b>	
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## SOURCE OF THIS INFORMATION

<b>Name of study or report</b>	Waverley Heritage Study	<b>Year of study or report</b>	1990
<b>Item number in study or report</b>	54/5 - 0315		



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## *NSW State Heritage Inventory form*

<b>Author of study or report</b>	Perumal Murphy Pty Ltd		
<b>Inspected by</b>			
<b>NSW Heritage Manual guidelines used?</b>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
<b>This form completed by</b>	Rosanne Paskin & Colin Brady	<b>Date</b>	Feb 2013



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IMAGES - 1 per page

Image caption	Waverley Local Environmental Plan 2012 Schedule 5, Item C4 Brighton Boulevard Urban Conservation Area <a href="http://www.legislation.nsw.gov.au/map/8050_COM_HER_003_010_20120816.pdf?id=88410394-3a30-64ec-bccf-de3c7c2e712c">http://www.legislation.nsw.gov.au/map/8050_COM_HER_003_010_20120816.pdf?id=88410394-3a30-64ec-bccf-de3c7c2e712c</a>				
Image year		Image by		Image copyright holder	





## **Brown St UCA – C.05**

# NSW State Heritage Inventory form

ITEM DETAILS							
Name of Item	Brown Street Urban Conservation Area						
Other Name/s Former Name/s							
Item type	Built						
Item group	Residential buildings						
Item category	Free-standing residences and residential flat buildings						
Area, Group, or Collection Name	Brown Street Urban Conservation Area						
Street number	All addresses						
Street name							
Suburb/town	Bronte					Postcode	2024
Local Government Area/s	Waverley Council						
Property description							
Location - Lat/long	Latitude				Longitude		
Location - AMG	Zone	MGA Zone 56 (GDA 94)	Easting			Northing	
Owner	Multiple						
Current use	Residential						
Former Use							
Statement of significance	The Brown Street Urban Conservation Area has historic and aesthetic significance as a cohesive and well detailed streetscape. The streetscape retains notable examples of the Inter War style residences, as well as Federation and Inter War Californian Bungalow style residences. The area contains well preserved residences retaining both the original form and detail. The state of detail, consistent style and contribution to the streetscape provide local significance.						
Level of Significance	National <input type="checkbox"/>		State <input type="checkbox"/>		Local <input checked="" type="checkbox"/>		

DESCRIPTION	
Designer	
Builder/ maker	
Physical Description	The residences in Brown Street, Bronte, comprise single storey Federation Bungalow and Inter War California Bungalow style residences, as well as Inter War residential flat buildings. Most of the weatherboard cottages in Brown Street, Bronte, were built between 1910 and 1925 comprise freestanding, single storey weatherboard residences constructed in simple Federation Bungalow and California Bungalow styles. The residences at 13, 15, 19, 22 and 24 Brown Street are of similar design



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	having hipped roof forms with an asymmetrically placed projecting gable extending over a tapered bay frontage and enclosing one end of an otherwise open verandah. The Inter War residences include notable examples as the residences at 19a, 21 and 23 Brown Street. While 19a Brown Street is of Inter War Art Deco style, the dual occupancy developments at 21 and 23 Brown Street are influenced by the Arts and Crafts and English Bungalow styles.					
<b>Physical condition and Archaeological potential</b>						
<b>Construction years</b>	<b>Start year</b>		<b>Finish year</b>		<b>Circa</b>	<input type="checkbox"/>
<b>Modifications and dates</b>						
<b>Further comments</b>						

## HISTORY

<b>Historical notes</b>	
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## THEMES

<b>National historical theme</b>	4. Building settlements and towns
<b>State historical theme</b>	

## APPLICATION OF CRITERIA

<b>Historical significance</b> SHR criteria (a)	
<b>Historical association significance</b> SHR criteria (b)	
<b>Aesthetic</b>	



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<b>significance</b> SHR criteria (c)	
<b>Social significance</b> SHR criteria (d)	
<b>Technical/Research significance</b> SHR criteria (e)	
<b>Rarity</b> SHR criteria (f)	
<b>Representativeness</b> SHR criteria (g)	
<b>Integrity</b>	

## HERITAGE LISTINGS

<b>Heritage listing/s</b>	Waverley Local Environmental Plan 1996 (Amendment No. 33)
	Waverley Local Environmental Plan 2012, Schedule 5 Conservation Area C6

## INFORMATION SOURCES

Include conservation and/or management plans and other heritage studies.

Type	Author/Client	Title	Year	Repository
Heritage Study	Perumal Murphy	Waverley Heritage Study	1990	Waverley Council
Heritage Study	Ines Meyer and Colin Brady	Waverley Heritage Assessment	2007	Waverley Council

## RECOMMENDATIONS

<b>Recommendations</b>	
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## SOURCE OF THIS INFORMATION

<b>Name of study or report</b>	Waverley Heritage Assessment	<b>Year of study or report</b>	2007
<b>Item number in</b>	3		



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## *NSW State Heritage Inventory form*

<b>study or report</b>			
<b>Author of study or report</b>	Ines Meyer and Colin Brady		
<b>Inspected by</b>			
<b>NSW Heritage Manual guidelines used?</b>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
<b>This form completed by</b>	Colin Brady & Kate Higgins	<b>Date</b>	Sep 2012; Jan 2013



## **Busby Parade UCA – C.06**

# NSW State Heritage Inventory form

ITEM DETAILS						
Name of Item	Busby Parade Urban Conservation Area					
Other Name/s Former Name/s						
Item type	Conservation Area					
Item group	Residential buildings (private)					
Item category	Semi-detached and free-standing residences Streetscape					
Area, Group, or Collection Name	Busby Parade Urban Conservation Area					
Street number	All addresses					
Street name	Busby Parade					
Suburb/town	Bronte				Postcode	2024
Local Government Area/s	Waverley Council					
Property description						
Location - Lat/long	Latitude				Longitude	
Location - AMG	Zone	MGA Zone 56 (GDA 94)	Easting		Northing	
Owner	Multiple					
Current use	Residential					
Former Use						
Statement of significance	Busby Street is of streetscape significance as a cohesive example of the late 19 <sup>th</sup> Century subdivisions, which accompanied expansion of Waverley beyond core village areas and transport thoroughfares of initial settlement. Busby Street is of local, historic and aesthetic significance.					
Level of Significance	National <input type="checkbox"/>		State <input type="checkbox"/>		Local <input checked="" type="checkbox"/>	

DESCRIPTION	
Designer	Various
Builder/ maker	Various
Physical Description	Busby Street is a wide street of limited length extending east west across the south-facing slope of the main hill to the west of Waverley Cemetery. Lugged into the prevailing slope the street exhibits an asymmetric quality due to the elevation of residences to the north side and sets down of those to the south. Residences are of freestanding and semi detached forms, predominantly from the late 19 <sup>th</sup> to Inter War period of the 20 <sup>th</sup> Century and largely of two-storey form. Notable examples include sandstone semi detached and freestanding residences testifying to local quarrying associated with the nearby Cemetery. Planting to the street verge and within properties is varied and compliments the building forms of hipped and gable roofed construction.
Physical condition and	

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<b>Archaeological potential</b>						
<b>Construction years</b>	<b>Start year</b>		<b>Finish year</b>		<b>Circa</b>	<input type="checkbox"/>
<b>Modifications and dates</b>						
<b>Further comments</b>						

HISTORY	
<b>Historical notes</b>	

THEMES	
<b>National historical theme</b>	4. Building settlements and towns
<b>State historical theme</b>	Towns, suburbs and villages: activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages; Land tenure: activities and processes for identifying forms of ownership and occupancy of land and water.

APPLICATION OF CRITERIA	
<b>Historical significance</b> SHR criteria (a)	
<b>Historical association significance</b> SHR criteria (b)	
<b>Aesthetic significance</b> SHR criteria (c)	
<b>Social significance</b> SHR criteria (d)	
<b>Technical/Research significance</b> SHR criteria (e)	
<b>Rarity</b>	

# *NSW State Heritage Inventory form*

SHR criteria (f)	
Representativeness SHR criteria (g)	
Integrity	

HERITAGE LISTINGS	
Heritage listing/s	Waverley Local Environmental Plan 1996 (Amendment No. 33)
	Waverley Local Environmental Plan 2012, Schedule 5 Conservation Area C6

INFORMATION SOURCES				
Include conservation and/or management plans and other heritage studies.				
Type	Author/Client	Title	Year	Repository
Heritage Study	Perumal Murphy	Waverley Heritage Study	1990	Waverley Council
Heritage Study	Ines Meyer and Colin Brady	Waverley Heritage Assessment	2007	Waverley Council

RECOMMENDATIONS	
Recommendations	<p>Statements of heritage impacts are to be prepared for proposed development in the conservation area.</p> <p>The conservation and enhancement of buildings of architectural significance to be undertaken.</p> <p>Infill development to be compatible with the character of the area.</p> <p>To retain the scale, outlook and streetscape character of the setting, it is recommended that any new development be of a freestanding form having side boundary setbacks and height limited to that of existing two storey buildings and roof forms tapered back from outer wall lines. To maintain view sharing, any new development should retain the palisaded form of the streetscape with new works set into the slope on the lower side of the street.</p> <p>With the exception of fence line and at grade driveways, no development should occur forward of existing building lines to the street frontage. Fences should be of low height, utilising sandstone or face brick related to the finishes of existing fencing.</p>

SOURCE OF THIS INFORMATION			
Name of study or report		Year of study or report	
Item number in study or report			
Author of study or report			
Inspected by			
NSW Heritage Manual guidelines used?		Yes <input type="checkbox"/>	No <input type="checkbox"/>
This form completed by	Colin Brady and Kate Higgins	Date	2012 to 2013

# *NSW State Heritage Inventory form*

IMAGES - 1 per page

Image caption	Busby Street streetscape				
Image year	2004	Image by	Meyer + Brady	Image copyright holder	Waverley Council





## **Collingwood St UCA – C.08**

# NSW State Heritage Inventory form

ITEM DETAILS						
Name of Item	Collingwood Street Urban Conservation Area					
Other Name/s Former Name/s						
Item type	Conservation Area					
Item group	Residential buildings (private)					
Item category	Free-standing residences					
Area, Group, or Collection Name	Collingwood Street Urban Conservation Area					
Street number	All addresses					
Street name	Collingwood Street					
Suburb/town	Bronte				Postcode	2024
Local Government Area/s	Waverley Council					
Property description						
Location - Lat/long	Latitude				Longitude	
Location - AMG	Zone	MGA Zone 56 (GDA 94)	Easting		Northing	
Owner	Multiple					
Current use	Residential					
Former Use						
Statement of significance	Collingwood Street is of streetscape significance as a cohesive example of the early 20 <sup>th</sup> Century subdivisions and residential forms. The residences at 3, 4, 5, 6, 7, and 8 Collingwood Street and the sandstone fence in front of number 2 Collingwood Street are all contributing to the high local heritage significance of the area. The area is also of aesthetic, natural and historic significance.					
Level of Significance	National <input type="checkbox"/>		State <input type="checkbox"/>		Local <input checked="" type="checkbox"/>	

DESCRIPTION	
Designer	Various
Builder/ maker	Various
Physical Description	The conservation area includes the southern end of Collingwood Street, a cul-de-sac accessed from Trafalgar Street. The wide carriageway and verge of Collingwood Street provide open settings for a consistent group of eight freestanding, single storey cottages, including Federation style weatherboard cottage (8 Collingwood Street) and brick Inter War bungalow styles (numbers 3, 4, 5, 6, 7 Collingwood Street). The short cul-de-sac terminates at the upper edge of the former quarry and a quarry face is also located between 2 and 4 Collingwood Street.
Physical condition and Archaeological	

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<b>potential</b>						
<b>Construction years</b>	<b>Start year</b>		<b>Finish year</b>		<b>Circa</b>	<input type="checkbox"/>
<b>Modifications and dates</b>						
<b>Further comments</b>						

HISTORY	
<b>Historical notes</b>	The southern extent of Collingwood Street in Bronte emerged from the consolidation of early 20 <sup>th</sup> Century suburban expansion about former quarry workings along the ridgeline north of Waverley Cemetery.

THEMES	
<b>National historical theme</b>	4. Building settlements and towns
<b>State historical theme</b>	Towns, suburbs and villages: activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages; Land tenure: activities and processes for identifying forms of ownership and occupancy of land and water.

APPLICATION OF CRITERIA	
<b>Historical significance</b> SHR criteria (a)	
<b>Historical association significance</b> SHR criteria (b)	
<b>Aesthetic significance</b> SHR criteria (c)	
<b>Social significance</b> SHR criteria (d)	
<b>Technical/Research significance</b> SHR criteria (e)	
<b>Rarity</b>	

# *NSW State Heritage Inventory form*

SHR criteria (f)	
<b>Representativeness</b> SHR criteria (g)	
<b>Integrity</b>	

HERITAGE LISTINGS	
Heritage listing/s	Waverley Local Environmental Plan 1996 (Amendment No. 33)
	Waverley Local Environmental Plan 2012, Schedule 5 Conservation Area C6

INFORMATION SOURCES				
Include conservation and/or management plans and other heritage studies.				
Type	Author/Client	Title	Year	Repository
Heritage Study	Perumal Murphy	Waverley Heritage Study	1990	Waverley Council
Heritage Study	Ines Meyer and Colin Brady	Waverley Heritage Assessment	2007	Waverley Council

RECOMMENDATIONS	
Recommendations	<p>Statements of heritage impacts are to be prepared for proposed development in the conservation area.</p> <p>The objectives for the proposed Collingwood Street heritage urban conservation area are to provide for the conservation and enhancement of buildings of architectural significance and to allow for sympathetic alterations and additions.</p> <p>The quarry face between numbers 2 and 4 Collingwood Street and the sandstone fence/wall in front of number 2 Collingwood Street should be preserved.</p>

SOURCE OF THIS INFORMATION			
Name of study or report		Year of study or report	
Item number in study or report			
Author of study or report			
Inspected by			
NSW Heritage Manual guidelines used?		Yes <input type="checkbox"/>	No <input type="checkbox"/>
This form completed by	Rosanne Paskin, Colin Brady and Kate Higgins	Date	2012 to 2013

# *NSW State Heritage Inventory form*

## IMAGES

<b>Image caption</b>	Collingwood Street streetscape				
<b>Image year</b>	2007	<b>Image by</b>	Meyer + Brady	<b>Image copyright holder</b>	Waverley Council





# *NSW State Heritage Inventory form*

IMAGES - 1 per page

Image caption					
Image year		Image by		Image copyright holder	

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# *NSW State Heritage Inventory form*

IMAGES - 1 per page

Image caption					
Image year		Image by		Image copyright holder	

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## **Imperial Ave UCA – C.11**

# NSW State Heritage Inventory form

ITEM DETAILS						
Name of Item	Imperial Avenue Urban Conservation Area					
Other Name/s Former Name/s						
Item type	Conservation Area					
Item group	Residential buildings (private)					
Item category	Free-standing and semi-detached residences, residential flat buildings Streetscape					
Area, Group, or Collection Name	Imperial Avenue Urban Conservation Area					
Street number	All addresses					
Street name						
Suburb/town	Bondi				Postcode	2026
Local Government Area/s	Waverley Council					
Property description						
Location - Lat/long	Latitude				Longitude	
Location - AMG	Zone	MGA Zone 56 (GDA 94)	Easting		Northing	
Owner	Multiple					
Current use	Residential					
Former Use						
Statement of significance	The character of Imperial Avenue was formed by development patterns which laid down over the last century. Imperial Avenue provides a streetscape of considerable aesthetic quality and is also of local and aesthetic significance.					
Level of Significance	National <input type="checkbox"/>		State <input type="checkbox"/>		Local <input checked="" type="checkbox"/>	

DESCRIPTION	
Designer	Various
Builder/ maker	Various
Physical Description	<p>The Imperial Avenue urban conservation area is bounded by Edward Street in the north, Denham Street in the east, Castlefield Lane in the south and Imperial Avenue in the east.</p> <p>The character of Imperial Avenue has been formed by the development patterns laid down over the last century. The remaining earliest housing types date from 1907 to 1915, and demonstrate characteristics of the Federation style which is an important period of development for the area. Residences range from one and two storey detached Federation houses to single-storey semi detached Federation style residences. Development between 1915 and 1940 includes detached houses and Inter War residential flat buildings. Residences built between 1960 and 1970 were mostly three storey residential flat buildings on amalgamated sites.</p> <p>The Imperial Avenue heritage urban conservation area is characterised by freestanding and semi detached late Federation and Inter War residences as well as Inter War residential flat buildings.</p>

# NSW State Heritage Inventory form

	<p>These residential flat buildings were of common street front alignment and formed a cohesive group. The varied forms of residences are linked by response to the sloping topography and street frontage, the later enhanced by sandstone detailing and established avenue planting. Extensive on site planting provides background treelines to many residences, while the general quality of established planting is pervading the setting. Planted species reflect the maritime location of the area with sandy soils and high sun exposure. The residences provide consistent street setback and are further enhanced by cohesive use of sandstone retaining walls, sandstone foundations, inset verandahs and pitched terra cotta tile roofs with generous eaves.</p> <p>Vehicle access is limited to residential sites and traditionally achieved through rear lanes or single vehicle entries within traditional fences. The air of spaciousness is enhanced by setbacks both from the street and from side boundaries which is maintained in later residential flat development where narrow frontages and generous side setbacks ensure solar access to adjacent buildings.</p> <p>The established plantings in the streets and private gardens make an important contribution to the character of the area.</p>				
<b>Physical condition and Archaeological potential</b>					
<b>Construction years</b>	<b>Start year</b>		<b>Finish year</b>		<b>Circa</b> <input type="checkbox"/>
<b>Modifications and dates</b>					
<b>Further comments</b>					

HISTORY	
<b>Historical notes</b>	<p>A crown land sale in 1858 offered five portions (4-8 acres) in the area between Bondi Road, Wellington and Edward streets. Around 1880 a villa was built on the estate which was first named 'Glendarrah' and then renamed 'Castlefield'. The first subdivision of the Castlefield Estate in 1907 established the street pattern and grain of narrow long allotments. In 1911 Sands Directory listed 14 properties in Imperial Avenue. The first residential flat buildings were constructed in 1920 and were the antithesis to the Federation garden villas. Further red or blonde brick three storey flat buildings were built in the 1960s and 70s on the larger allotments.</p>

THEMES	
<b>National historical theme</b>	4. Building settlements and towns
<b>State historical theme</b>	Towns, suburbs and villages: activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages; Land tenure: activities and processes for identifying forms of ownership and occupancy of land and water.

APPLICATION OF CRITERIA	
<b>Historical significance</b> SHR criteria (a)	
<b>Historical association</b>	



# *NSW State Heritage Inventory form*

<b>significance</b> SHR criteria (b)	
<b>Aesthetic significance</b> SHR criteria (c)	
<b>Social significance</b> SHR criteria (d)	
<b>Technical/Research significance</b> SHR criteria (e)	
<b>Rarity</b> SHR criteria (f)	
<b>Representativeness</b> SHR criteria (g)	
<b>Integrity</b>	

HERITAGE LISTINGS	
Heritage listing/s	Waverley Local Environmental Plan 1996 (Amendment No. 33)
	Waverley Local Environmental Plan 2012, Schedule 5 Conservation Area C6

INFORMATION SOURCES				
Include conservation and/or management plans and other heritage studies.				
Type	Author/Client	Title	Year	Repository
Heritage Study	Perumal Murphy	Waverley Heritage Study	1990	Waverley Council
Heritage Study	Ines Meyer and Colin Brady	Waverley Heritage Assessment	2007	Waverley Council
Planning policy	Waverley Council	Waverley Development Control Plan 2010	2010	Waverley Council

RECOMMENDATIONS	
Recommendations	<p>All new works should be consistent in scale, detail and alignment of the existing built forms. New works should also retain and enhance the relationship of built form to the topography and street frontage and maintain the spatial character of the setting.</p> <p>New vehicle entries should be only of single vehicle width. Where rear lanes exist, all new vehicle access should be from the laneway.</p> <p>New construction should adopt the characteristic of the setting with decks, balconies and</p>

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	<p>verandahs set into buildings and not cantilevered. Preference should be given to pitched roof forms and all new roofs should respond to and defer to the established roofscape.</p> <p>Any upward addition to existing residential flat buildings should be provided within existing roof voids and related localised projections of roof forms. All roof additions are to retain and enhance existing roof detailing in particular chimneys, ridge and barge detailing.</p> <p>A development application for a dual occupancy development should not be approved, unless provided within the established volumes of existing residences and utilising existing single vehicle entries. No subdivision of existing sites should be approved without provision of compatible infill development in conjunction with the application for subdivision.</p> <p>Subdivision should not be approved where removal of existing rock faces, sandstone retaining walls or established tree planting are required.</p> <p>Remnant sandstone outcrops should be retained.</p> <p>The green leafy character of the area should be maintained.</p>
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SOURCE OF THIS INFORMATION			
<b>Name of study or report</b>		<b>Year of study or report</b>	
<b>Item number in study or report</b>			
<b>Author of study or report</b>			
<b>Inspected by</b>			
<b>NSW Heritage Manual guidelines used?</b>		Yes <input type="checkbox"/>	No <input type="checkbox"/>
<b>This form completed by</b>	Rosanne Paskin, Colin Brady and Kate Higgins	<b>Date</b>	2012 to 2013

# *NSW State Heritage Inventory form*

## IMAGES

<b>Image caption</b>	Imperial Avenue streetscape				
<b>Image year</b>	2007	<b>Image by</b>	Meyer + Brady	<b>Image copyright holder</b>	Waverley Council



## Mill Hill UCA – C.12



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# NSW State Heritage Inventory form

ITEM DETAILS							
<b>Name of Item</b>	Mill Hill Conservation Area						
<b>Other Name/s Former Name/s</b>	St. James Glebe, Hope Farm, Mill Hill Estate.						
<b>Item type</b>	Built						
<b>Item group</b>	Residential and retail buildings.						
<b>Item category</b>	Terraced, semi-detached and freestanding residences and retail buildings.						
<b>Area, Group, or Collection Name</b>	Mill Hill Conservation Area						
<b>Street number</b>	All addresses						
<b>Street name</b>							
<b>Suburb/town</b>	Bondi Junction				<b>Postcode</b>	2022	
<b>Local Government Area/s</b>	Waverley Council						
<b>Property description</b>							
<b>Location - Lat/long</b>	<b>Latitude</b>				<b>Longitude</b>		
<b>Location - AMG</b>	<b>Zone</b>	MGA Zone 56 (GDA 94)	<b>Easting</b>	337,682.822296195	<b>Northing</b>	6,248,079.85318938	
<b>Owner</b>	Multiple						
<b>Current use</b>	Mixed residential, retail, ecclesiastical, limited light industry.						
<b>Former Use</b>	Open land used for dairying, animal husbandry, quarrying and flour milling.						



# NSW State Heritage Inventory form

<b>Statement of significance</b>	<p>The Mill Hill Heritage Conservation Area comprises streetscapes, residential and retail structures recording the aesthetic character and qualities of late 19<sup>th</sup> and early 20<sup>th</sup> Century consolidation of Bondi Junction as a commuter suburb based upon improvements in transport and the rapid expansion of suburban Sydney between 1880 and 1915. The Mill Hill Heritage Conservation area street and subdivision patterns are derived from initial land grants of the 1830's-40's. The grants have historic association with established colonial society, early owners and settlers including Henry Hough mill operator at Hope Farm from the 1840's – 1880; the Anglican Church, initial owner of the St James Glebe to the western side of the Conservation Area; Jacob Josephson emancipist father in law of Barnett Levey builder of Waverley House (1827); Sydney retailer Samuel Peek; William Lawson (1774-1850) explorer and politician and Thomas Ware Smart (1810-1881) magistrate, grazier, business leader and politician. The grid pattern of these grants and initial streets established along the boundaries provided the basis for later subdivisions forming the existing pattern of residential and retail buildings and related outbuildings. The 19<sup>th</sup> Century subdivisions of the initial grants and the related construction - provide significant examples of late 19<sup>th</sup> and early 20<sup>th</sup> Century residential streetscapes.</p> <p>Narrow fronted deep allotments are occupied by one and two storey terrace rows of late Victorian styles interspersed with grouped and single examples of worker cottages these appearing as the earliest forms of remaining residential construction. Later semi detached and single storey attached houses of Federation style combined with retail shops featuring post supported and cantilevered awnings and ecclesiastical buildings complete the streetscapes. The compositions provide significant demonstration of the forms, styles and settings of residential development in Waverley Municipality resulting from improved transport and population demands of the late 19<sup>th</sup> and early 20<sup>th</sup> Centuries.</p>		
<b>Level of Significance</b>	National <input type="checkbox"/>	State <input type="checkbox"/>	Local <input checked="" type="checkbox"/>

<b>DESCRIPTION</b>	
<b>Designer</b>	
<b>Builder/ maker</b>	
<b>Physical Description</b>	<p>The Mill Hill Conservation Area is defined in Waverley Council LEP and generally comprises areas bounded to the south by Birrell Street; to the west by York Road, York Place and St James Road; to the north by Oxford Street from St James Road east to the eastern side of Gowrie Lane extending through to Oxford street then the rear property boundary of sites fronting Oxford street as far east as Denison Street. The boundary then extends south down the centreline of Denison Street to the midpoint of the intersection with Ebley Street, thence east along the mid line of Ebley street to the rear eastern boundary of sites facing the eastern side of Newland Street . From there the boundary extends along the rear boundary of these sites south to the northern rear boundary of sites to the northern side of Walter Street continuing east across Gardiner Street and returning north along the rear boundary of properties facing Mackenzie Street . The boundary then returns along the southern boundary of properties facing Ebley Street continuing in an irregular line across Brisbane Street then along the rear boundaries of sites to the eastern side of Brisbane Street continuing south to the northern side of Birrell Street.</p> <p>The Conservation Area comprises a grid pattern streetscape dominated by close set residential development on narrow frontages. Building forms comprise one and two storey terrace groups, freestanding and attached vernacular worker housing of single storey gabled and hipped roofed forms, semi-detached, freestanding and attached Federation Style residences, shop frontages set at street corners and within housing rows with post supported and cantilevered verandas and ecclesiastical</p>

# NSW State Heritage Inventory form

	<p>buildings including churches and manses, predominantly of Federation period construction and some now adapted. Substantial residences of the Federation era have been constructed in York Road to the western side of the Conservation Area overlooking Centennial Park.</p> <p>Sloping topography and the grid street pattern serve to emphasise the skyline profiles of residences with decorated parapets, chimneys, skillion roofed service wings and repetitive profiles and articulation of terrace residences at front and rear being prominent and contributory aspects of the Conservation Area. The treatment of buildings at corner sites within the grid street and the related exposure of side elevations serves to emphasise the principal period of construction from 1880-1915.</p> <p>Later infill developments include dispersed Inter War residential flat buildings mainly about Birrell Street, skillion roofed town house forms of the 1970's in Ruthven Street and St James Road and late 20<sup>th</sup> Century town house development in Hough Street.</p>				
<b>Physical condition and Archaeological potential</b>	<p>Residential and limited retail and other service buildings from the period 1880-1915 remain substantially intact within the Conservation area. The built fabric records the rapid development of previously largely open lands employed for dairy farming, market gardening and piggeries in addition to flour milling at Henry Hough's Mill located on a rise at the north western end of the Conservation Area. Whilst St. Barnabas Church is considered to occupy the former mill site, the potential remains for archaeological evidence of the former mill demolished in 1881 and of related farm buildings and other early structures on the original land grants including the First Wesleyan Church erected in Newland Street in 1844 and still extant in 1959.</p>				
<b>Construction years</b>	<b>Start year</b> 1840's		<b>Finish year</b> Ongoing		<b>Circa</b> <input type="checkbox"/>
<b>Modifications and dates</b>	<p>1840s. Farm buildings and Windmill. First Wesleyan Church – Newland Street 1844          1850's Quarries, piggeries &amp; dairy farms.          1880's Residential subdivisions – terrace and worker cottage construction.          1890-1915 Federation semi-detached and attached residential construction and parish churches.          1902-15 Large Federation residences and tram depot to western side overlooking York Road and Centennial Park.          1960-70's Infill townhouses to Ruthven St and St James Rd.          1990's Infill townhouses Hough Street.</p>				
<b>Further comments</b>					

## HISTORY

<b>Historical notes</b>	<p>During the 1830'-40's small purchase grants were created to the southern side of the Old South Head Road between the eastern extent of the Sydney Common and the larger 60 acre grant transferred to Barnet Levey in 1826 and including the site of Waverley House erected in 1827-29.</p> <p>Between Sept. 1838 and Nov. 1839 twelve land grants of between 1.2 and 2 hectares located west of Levey's Grant were advertised for sale in the Government Gazette, all being sold by January 1839. Purchasers included Jacob Josephson emancipist father in law of Barnett Levey builder of Waverley House (1827); Samuel Peek Sydney retailer; William Lawson (1774-1850) explorer and politician and Thomas Ware Smart (1810-1881) magistrate, grazier, business leader and politician. Immediately west of these a promissory grant to Henry Hough (1798-1880) made by Governor Macquarie provided the basis of a 10 acre grant to Hough made in March 1840 under the name of Hope Farm. Hough erected a windmill on his land, the mill reportedly operating by 1841-42 and mentioned in the Sydney</p>
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Morning Herald as early as 1848. [SMH 10 Mar.1848] In 1841 lands to the west of Hope Farm were dedicated as St James Glebe. The boundaries of these grants formed the basis of the later grid street pattern remaining evident in the area.

Through the 1840's-50's little growth occurred beyond the Old South Head Road frontage, the grants being largely employed for rural purposes. The keeping of large numbers of pigs on lands near Hough's Mill was identified as a source of pollution in 1858. [SMH 2 July 1858]. Extractive quarrying also appears to have commenced, Hough identified as operating a quarry in 1846 'beyond the new military barracks' and as such most likely on his Farm. [SMH 2 Sept. 1846]. The Wesleyan Chapel erected in later Newland Street in 1844 was of stone locally quarried.

Following the 1859 establishment of Waverley Municipality, Council on 6 Sept. 1859 formally named the road running by Hough's Mill as Denison Street, the second road past Hough's Mill running south from Old South Head Road to the Old Wesleyan Chapel (1844) as Newland Street and the road running east / west crossing the Coogee Road and extending as far west as Fitzgerald's north west corner as Birrell Street. Whilst there was a degree of self aggrandisement in roads being named after members of the then Council, the process confirmed the existence of basic roadways between the estates and the existence of some, if scattered, buildings.

Settlement remained concentrated along Old South Head Road, now Oxford Street and Bronte Road through the 1870's. Early attempts at subdivision include the St James Glebe Estate in 1848 but sales for residential development were limited prior to the 1870's. Illustrations of Hough's Mill painted by artist Sam Elyard in 1868 and 1873 show fenced paddocks with low scrub, few trees and bark or metal roofed farm buildings alongside the poorly formed Old South Head Road. Attempts at subdivision for suburban and villa allotments are closely related to the establishment of regular horse drawn omnibus services in the 1870's and more significantly horse and later steam powered tram services from 1881 onwards.

Subdivisions of the 1870's included the Dobson Estate between Birrell and Brisbane Streets and Bronte Road in 1871 and the whole of TH Smart's lands between Bronte Road, Oxford, Denison and Ebley Streets as the Erith Estate in December 1872.

Sales initially provided limited construction. Peeks Grant between Newland, Gardiner, Ebley and Birrell Streets was subdivided into 12 lots in 1979 and later re-subdivided into 20 lots. On 28<sup>th</sup> October 1880 the Maitland Mercury announced that Henry Hough senior, 82 years old, died at his residence Hope Mills Waverley, the father of Henry J Hough of this town (Maitland) miller. [Maitland Mercury 30 Oct 1880].

At the time of his death Hough's Mill was the last operating windmill in the Sydney area, the mill being demolished the following year and Hope Farm subdivided into 180 allotments sold as the Mill Hill Estate including the new routes of Mill Hill, Hough and Hope Streets.

Typical of the speculative land boom of the period 1875-1889 the entire estate was purchased at auction by George Hill Jnr. of Sydney in February 1881 and resold the following month to prominent lawyer Sir George Wigram Allen and Michael Chapman The Estate was again auctioned in May 1881 sales proceeding for individual lots over the decade.

Subdivision sales provided sites for construction of later Victorian two storey and single story speculative terraces over much of the former grants. The change to electrification of tram services and the consolidation of the Tea Gardens as Bondi Junction provided further emphasis for infill of the remaining open sites by semi-detached and attached residences during the Federation period. By the outbreak of World War One Hough's Hope Farm, the St James Glebe and the former 12 small purchase grants to the east were occupied by close set housing, corner stores and to the northern and

# NSW State Heritage Inventory form

	<p>eastern periphery by ornate shop fronts to Oxford Street and Bronte Road.</p> <p>In 1902 at the western end of the former Estates an extensive tram depot was constructed on part of Centennial Park adjacent to the former St James Glebe. The saw tooth roofed structure detailed in Federation style was opened to service electric trams. Smaller Federation style buildings fronted Oxford Street screening much of the depot from the street. Three years later an Auction of 18th March 1905 sold peripheral lands about the eastern extent of Centennial and Queens Parks as residential sites.</p> <p>The Centennial Park Celebration Act of 1887 provided for sale of the outer areas of the former common as gentleman's houses in order to finance construction and landscaping of the parklands. Lots sold included those to west of St James Road fronting Daley Road (now York Road). Covenants ensured the construction of substantial brick and slate or tile roofed houses forming a backdrop to the parklands. By the outbreak of World War One the only remaining open space within the former purchase grants was a parcel of land set aside as a primary school site by the State Government in Ebley Street, the site later named Clementson Park.</p>
<b>THEMES</b>	
<b>National historical theme</b>	<p>4 Building settlements, towns and cities.</p> <p>9 Marking the phases of life.</p>
<b>State historical theme</b>	<p>Towns, suburbs and villages-activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages; Land tenure-activities and processes for identifying forms of ownership and occupancy of land and water; Accommodation-activities associated with the provision of accommodation, and particular types of accommodation.</p> <p>Persons - activities of, and associations with, identifiable individuals, families and communal groups.</p>

<b>APPLICATION OF CRITERIA</b>	
<b>Historical significance</b> SHR criteria (a)	The Mill Hill Conservation Area records the process of town consolidation resulting from improved transport to Sydney associated with the land booms of the late 19 <sup>th</sup> and early 20 <sup>th</sup> Centuries. The resulting close settlement of existing early 19 <sup>th</sup> Century purchase grants.
<b>Historical association significance</b> SHR criteria (b)	The street pattern is associated with the early purchase grants made to settlers and absentee speculators in the 1830's-40's, the conservation area being named after Henry Hough's Windmill Mill located on Hough's Hope Farm toward the western end of the Conservation Area within the area later bounded by Mill Hill, Hough and Denison Streets. Other early owners of the grants include Jacob Josephson emancipist father in law of Barnett Levey builder of Waverley House (1827); Samuel Peek Sydney retailer; William Lawson (1774-1850) explorer and politician and Thomas Ware Smart (1810-1881) magistrate, grazier, business leader and politician.
<b>Aesthetic significance</b> SHR criteria (c)	The Conservation Area demonstrates the aesthetic styles of late Victorian and Federation Architecture applied to densely settled housing estates. The resulting streetscapes of close set free standing worker housing, speculative terrace rows, single storey semi-detached residences, larger free standing residences, corner stores with cantilevered balconies and rare street awnings to shop fronts set with terrace frontages together with ecclesiastical buildings of the Federation era contribute to the aesthetic significance. Detailing including notable skylines of decorative chimneys, parapets and hipped and gabled roof forms, repetitive profiles of rear service wings, palisade fencing and landscaped entries including tessellated and glazed tile and stone paths and steps all contribute to the character and aesthetic value of the Conservation Area and related streetscapes. Street frontages





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	reflect the natural topography utilising stepped terraces, limited stone retaining walls to street frontages, grassed berms to cross slopes and supplementary street planting.
<b>Social significance</b> SHR criteria (d)	The Conservation Area provides a significant demonstration of the building forms, setting and living conditions of metropolitan Sydney of the late 19 <sup>th</sup> and early 20 <sup>th</sup> Centuries.
<b>Technical/Research significance</b> SHR criteria (e)	The Conservation Area demonstrates the trade skills, material quality and construction techniques of residential housing of suburban Sydney of the later 19 <sup>th</sup> and early 20 <sup>th</sup> Centuries. The Conservation Area also demonstrates the evolving pattern of town planning and land subdivision in Waverley Municipality from the time of initial purchase grants (1830's) to the Inter War period of the 20 <sup>th</sup> Century.
<b>Rarity</b> SHR criteria (f)	The Conservation Area is rare in Waverley Municipality combining a core area of later 19 <sup>th</sup> Century residential consolidation with subsequent Federation era residential construction that was to spread extensively into surrounding areas. Comparison may be made with other tram route suburbs of the later 19 <sup>th</sup> Century including nearby Paddington, central Newtown and Surry Hills.
<b>Representativeness</b> SHR criteria (g)	The Conservation Area is highly representative of the forms, streetscapes, aesthetic qualities and details of late 19 <sup>th</sup> and early 20 <sup>th</sup> Century suburban settlement in metropolitan Sydney serviced by improved tram transport of the period and fuelled by population growth and economic boom conditions.
<b>Integrity</b>	Despite later alterations and the growth of adjacent areas as a contemporary business centre the Conservation Area remains substantially intact and cohesive in scale, form and setting.

## HERITAGE LISTINGS

<b>Heritage listing/s</b>	Waverley Local Environmental Plan 1996 (Amendment No. 33)
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## INFORMATION SOURCES

Include conservation and/or management plans and other heritage studies.

Type	Author/Client	Title	Year	Repository
Heritage Study	Perumal Murphy	Waverley Heritage Study	1990	Waverley Council
Council research	Colin Brady	Na	2012	Council files and Local History Library
Book	B T Dowd (ed.) for Council of the Municipality of Waverley	The History of the Waverley Municipality		Waverley Council library
Newspaper	Fairfax Press	Press Sydney Morning Herald 1840-1955	1840-1955	Trove National Library of Australia
Civil Records	NSW Government	Registry of Assisted Passengers to NSW from 1828. Registry of Births, Deaths and Marriages	1828 - 1950	Ancestry.Com
Municipal Directories	Sands	Sands Directory of Sydney and Suburbs	1850-1933	Waverley Library and on line.
Picture Files	n.a	Various artists	1840-1950	Mitchell Library NSW





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## RECOMMENDATIONS

<b>Recommendations</b>	<p>A Heritage Impact Report is to accompany applications for works at sites within the Conservation Area.</p> <p>Conservation Management Guidelines are to be provided where works are proposed to structures of 19th century origins.</p> <p>All demolitions are to be accompanied by a photographic archival record.</p>
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## SOURCE OF THIS INFORMATION

<b>Name of study or report</b>	Waverley Heritage Study	<b>Year of study or report</b>	1990
<b>Item number in study or report</b>			
<b>Author of study or report</b>	Perumal Murphy Pty Ltd 1990 / Colin Brady 2013		
<b>Inspected by</b>	Rosanne Paskin		
<b>NSW Heritage Manual guidelines used?</b>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
<b>This form completed by</b>	Rosanne Paskin & Colin Brady	<b>Date</b>	Sep 2012; Jan 2013

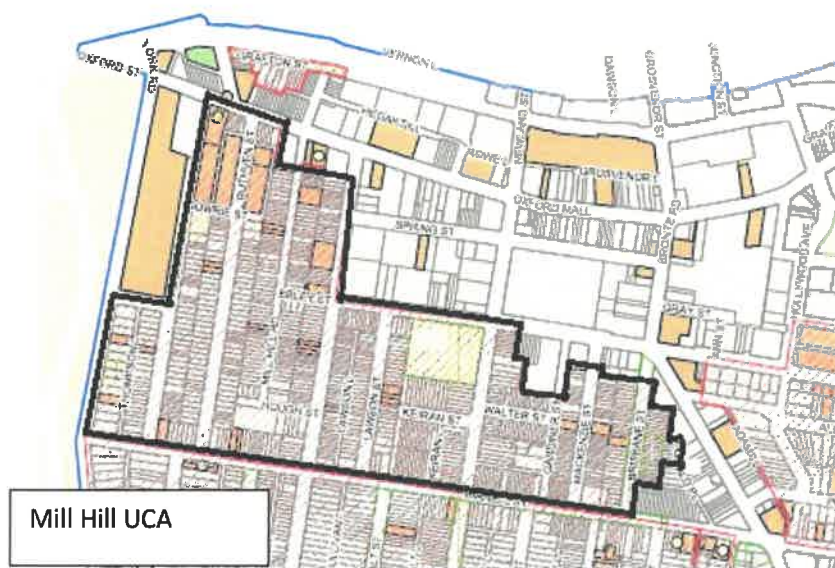


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IMAGES - 1 per page

Image caption	Mill Hill Heritage Conservation Area				
Image year	2014	Image by	Waverley Council	Image copyright holder	Waverley Council





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# NSW State Heritage Inventory form

IMAGES - 1 per page

<b>Image caption</b>	Mill Hill Conservation Area Aerial image 1943				
<b>Image year</b>	1943	<b>Image by</b>	Mapping NSW Six Maps	<b>Image copyright holder</b>	Mapping NSW



Mill Hill Conservation Area Aerial image 1943



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# *NSW State Heritage Inventory form*

## IMAGES - 1 per page

<b>Image caption</b>	Mill Hill Heritage Conservation Area 2013				
<b>Image year</b>	2013	<b>Image by</b>	Mapping NSW Six Maps	<b>Image copyright holder</b>	Mapping NSW



Mill Hill Heritage Conservation Area 2013 [Six Maps]



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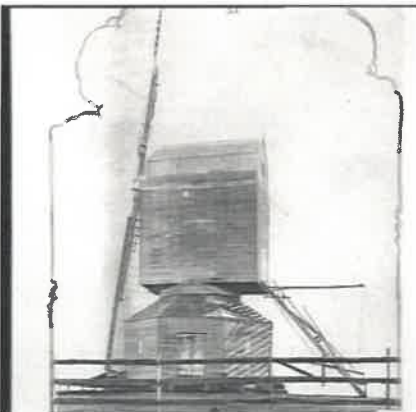
# NSW State Heritage Inventory form

IMAGES - 1 per page

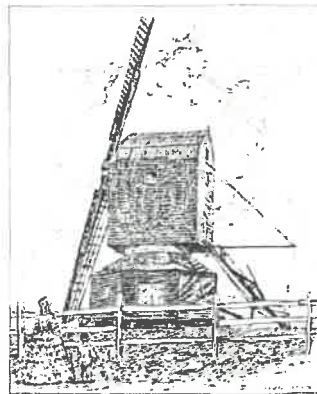
<b>Image caption</b>	Wind Mill Old South Head Road Sydney 1873 S Elyard. 1 Painting titled Wind Mill Old South Head Road Sydney 1873 by artist Sam Elyard. 2 Photograph held in Government Printing Office Collection, State Archives. 3 Sketch by Sydney Ure Smith in C.H. Bertie's Stories of Old Sydney (1912)				
<b>Image year</b>	1873	<b>Image by</b>	Sam Elyard	<b>Image copyright holder</b>	Mitchell Library



1



2



Hough's Mill Waverley

3

## Images Of Hough's Mill

- 1 Painting titled Wind Mill Old South Head Road Sydney 1873 by artist Sam Elyard.  
2 Photograph held in Government Printing Office Collection, State Archives.  
3 Sketch by Sydney Ure Smith in C.H. Bertie's Stories of Old Sydney (1912)





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# *NSW State Heritage Inventory form*

IMAGES - 1 per page

Image caption	Waverley Tram Depot 1955				
Image year	1955	Image by	Unknown	Image copyright holder	Not credited





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# *NSW State Heritage Inventory form*

## IMAGES - 1 per page

<b>Image caption</b>	Oxford Street entry to Waverley Tram Depot 1957				
<b>Image year</b>	1957	<b>Image by</b>	Unknown	<b>Image copyright holder</b>	Image in Public Domain



The Oxford street entry to Waverley Depot in 1957



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## *NSW State Heritage Inventory form*

### IMAGES - 1 per page

<b>Image caption</b>	Birrell Street looking west with Federation single storey row houses to north side of street .				
<b>Image year</b>	2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady



# *NSW State Heritage Inventory form*

## IMAGES - 1 per page

<b>Image caption</b>	Brisbane Street looking North				
<b>Image year</b>	2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady



# *NSW State Heritage Inventory form*

## IMAGES - 1 per page

<b>Image caption</b>	Restored Federation Style attached residence Birrell Street				
<b>Image year</b>	2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady







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# *NSW State Heritage Inventory form*

## IMAGES - 1 per page

<b>Image caption</b>	Former corner store with residence above – corner of Newland and Kieran Streets.				
<b>Image year</b>	2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady





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# *NSW State Heritage Inventory form*

## IMAGES - 1 per page

<b>Image caption</b>	Former Church adapted to residential apartments - corner of Ebley and Denison Streets.				
<b>Image year</b>	2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady



# NSW State Heritage Inventory form

## IMAGES - 1 per page

<b>Image caption</b>	Parapet to former grocers store, Mill Hill Road				
<b>Image year</b>	2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady





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# *NSW State Heritage Inventory form*

## IMAGES - 1 per page

Image caption	Restored Federation Style Terrace Mill Hill Road				
Image year	2015	Image by	Colin Brady	Image copyright holder	Colin Brady





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## *NSW State Heritage Inventory form*

### IMAGES - 1 per page

<b>Image caption</b>	Federation Anglo Dutch and Queen Anne Style semi detached housing - Ruthven Street				
<b>Image year</b>	2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady





# *NSW State Heritage Inventory form*

## IMAGES - 1 per page

<b>Image caption</b>	Rothesay in York Road – transitional Late Victorian/Federation Style residence overlooking Centennial Park .				
<b>Image year</b>	2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady





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# *NSW State Heritage Inventory form*

## IMAGES - 1 per page

<b>Image caption</b>	Federation Style semi detached houses in Birrell Street facing south.				
<b>Image year</b>	2015	<b>Image by</b>	Colin Brady	<b>Image copyright holder</b>	Colin Brady





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# *NSW State Heritage Inventory form*

## IMAGES - 1 per page

Image caption	Adapted Federation Style corner store at Birrell and Ruthven Streets				
Image year	2015	Image by	Colin Brady	Image copyright holder	Colin Brady



## **Queens Park UCA – C.14**

# NSW State Heritage Inventory form

ITEM DETAILS						
<b>Name of Item</b>	Queens Park Urban Conservation Area					
<b>Other Name/s Former Name/s</b>	Waverley, Bondi Junction					
<b>Item type</b>	Built. Area.					
<b>Item group</b>	Residential buildings (private). Urban Area.					
<b>Item category</b>	Cottage, House. Streetscape.					
<b>Area, Group, or Collection Name</b>	Queens Park Urban Conservation Area					
<b>Street number</b>	Multiple					
<b>Street name</b>	<p>Bounded by Birrell Street, York Road, Queens Park Road, Blenheim Street, Cuthbert Street and Isabella Street.</p> <p>Also includes: Alt Lane, Alt Street, Arnold Street, Ashton Lane, Ashton Street, Bourke Lane, Denison Lane, Denison Street, Fitzgerald Lane, Fitzgerald Street, Isabella Lane, Lynch Avenue, Manning Street, Newland Lane, Newland Street, O'Sullivan Lane, Rawson Avenue, Rawson Lane, Stanley, Street, Stanley Lane, York Lane</p>					
<b>Suburb/town</b>	Queens Park				<b>Postcode</b>	2022
<b>Local Government Area/s</b>	Waverley					
<b>Property description</b>	various					
<b>Location - Lat/long</b>	<b>Latitude</b>				<b>Longitude</b>	
<b>Location - AMG (if no street address)</b>	<b>Zone</b>	MGA Zone 56 (GDA 94)	<b>Easting</b>	337,857.16259052	<b>Northing</b>	6,247,847.9336061
<b>Owner</b>	various					
<b>Current use</b>	residential					
<b>Former Use</b>	Indigenous habitation, market gardening, dairying, water reserves, quarrying, light industry, residential					
<b>Statement of significance</b>	<p>The Queens Park Urban Conservation Area incorporates land grants of the 1840's retaining remnant built forms of early settlement, rural and extractive industry in Waverley, combined with sequential layers of residential subdivision associated with improved transport during the later 19<sup>th</sup> and early 20<sup>th</sup> Centuries. The resultant streetscapes have evolved in response to the natural topography forming the upper catchment of the Lachlan/ Botany aquifer and illustrate the influence of the Garden City/Garden Suburb movement upon suburban Estates in Sydney of the period 1880- 1945. The layered fabric includes notable 19<sup>th</sup> and 20<sup>th</sup> century buildings together with sites of archaeological potential related to the early European occupation and industry of Waverley. Areas within the Conservation Area retain key aspects of residences and streetscapes of the 1850's; the boom years of 1875-1890 and the Federation Era of 189-1915. The south and western extent portrays the pattern and standard of subdivisions associated with the early 1900's sale of lands about Centennial and Queens Parks as a means of subsidising development of the parks and provision of associated built surrounds of a notable and sympathetic standard of design.</p>					



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Level of Significance	National <input type="checkbox"/>	State <input type="checkbox"/>	Local <input checked="" type="checkbox"/>
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DESCRIPTION	
Designer	various
Builder/ maker	various
Physical Description	<p>Queens Park is a recent renaming of the south and south western sloping topography of Bondi Junction extending from the eastern boundary of Centennial Park/York Road to the western perimeter of Blenheim Gully.</p> <p>Topography is undulating with local high points particularly about the north eastern area. Slopes generally level out at the northern boundary of Queens Park forming the southern perimeter of the Conservation Area. Extensive sand deposits set above sandstone and shaped by former stream flows underlie the current built environment.</p> <p>The Conservation Area is characterised by an orthogonal street plan with principle traffic routes extending north- south from Birrell Street to Queens Park Road and secondary traffic routes forming intermittent cross routes. Street widths vary from generous to narrow in part due to varying verge widths but also the outcome of successive subdivision of early Estates. Subdivisions within the Conservation Area have varying lot sizes, again related to the periods of subdivision. The street pattern aligns the bulk of residential development across the prevailing slope. Residences whilst of varying periods of construction from the 1850's to present are predominantly of free standing or semi detached single storey form. Variations chiefly comprise one and two storey attached terraces in the former Fitzgerald Estate of 1847 at the northeast corner of the Conservation Area; large two storey residences within the Centennial Parklands Estate of 1904 and corner stores with residence above along intersections with Birrell Street. Many residences have later rear and first floor additions.</p> <p>The Conservation Area is characterised by substantial mature planting including avenue planting largely of Brush Box and Fig; varied mature tree species within front and rear yards of residences and palms within medians about the eastern extent of Cuthbert Street. Former quarry workings are also evident, notably in Arnold, Cuthbert and Stanley Streets at the eastern end of the Conservation Area.</p> <p>Streetscapes have consistent forms of residential development recording the periods of successive subdivision from the 1850's to the early 1950's. Later construction is largely in the form of alterations and additions with some residential flat buildings generally of Post World War 2 construction.</p> <p>Remaining evidence of rural, extractive and service industries is limited to vehicle service structures about the north eastern and lower south western extent of the Conservation Area, former stables on the Fitzgerald Estate and exposed quarry faces.</p> <p><b>Background to the visual setting.</b> Early land grants of the 1830s-40s established the current grid pattern of the Queens Park Urban Conservation Area. Whilst subdivision followed the already established orthogonal street pattern, the current streetscapes evolved in accordance with the philosophy of the Garden City Movement. Originating in England and the United States, the Movement found some of its earliest realisation in Federation Australia, including Walter Liberty Vernon's designs for the Neutral Bay Land Company (1884-85), the beginnings of the Kensington Model Suburb (1889) at Daceyville, Haberfield Garden Suburb (1901), Charles Hosking's Appian Way (1903-11) at Burwood and Daceyville (1913-14) modelled on Lechworth (1904) in the United Kingdom. Design principles inherent in the Garden City/Suburb Movement included controls on housing typology ensuring harmonious streetscapes</p>

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	<p>where buildings blended in park like settings with unsightly services located in rear laneways.</p> <p>The garden city movement provided the basis for the planning controls applied to the Centennial Parklands Estate subdivision. The resulting building types reflect the growth in Federation Style housing in remaining private subdivisions, e.g. the Victoria Estate. Building covenants maintained consistent qualities of construction and uniformity of scale predominantly in the Federation Style. This has provided a distinct departure from the terrace row housing characterising the adjacent Mill Hill Estates of the 1870s- 1880s and the north eastern corner of the Conservation Area developed prior to the 1890's. As with other peripheral streets fronting the newly established Centennial Parklands (Darley, Martins and Lang Roads), buildings fronting onto Queens and Centennial Park were required to be Villa Style.</p> <p>The garden city movement provided the basis for the planning controls applied to the Centennial Parklands Estate subdivision. The resulting building types reflect the growth in Federation Style housing in remaining private subdivisions, e.g. the Victoria Estate. The close set forms of housing maximising landscaped front yards and wide street verges reflects the commuter employee nature of the new population combined with the more established owners overlooking the park.</p> <p>Housing typologies of the Queens Park Urban Conservation Area:</p> <ul style="list-style-type: none"> <li>• Attached housing characterises the northern and north-mid slopes of Conservation Area</li> <li>• Semi detached housing characterising the lower and mid-lower slopes of Conservation Area</li> <li>• Detached housing characterising the southern perimeter of Conservation Area</li> </ul> <p>Wide verges and significant landscaped private front gardens characterise the streetscape. Housing generally meets the public domain with low solid fences, often retaining garden beds behind. This is reminiscent of the Garden Suburbs Movement's philosophy of public and private open space.</p>					
<b>Physical condition and Archaeological potential</b>	<p>Various states of condition of properties.</p> <p>All of the older houses have archaeological potential, particularly in areas of backyards, wells and privies in which household refuse was discarded.</p>					
<b>Construction years</b>	<b>Start year</b>	1840s	<b>Finish year</b>	1950's	<b>Circa</b>	<input type="checkbox"/>
<b>Modifications and dates</b>	Ongoing					
<b>Further comments</b>						

## HISTORY

<b>Historical notes</b>	<p>The Queens Park Urban Conservation Area comprises subdivisions of lands initially within purchase grants made between 1839 and 1849 and associated lands previously within the 1811 Sydney Common and Sydney Water Reserves. The distinctive grid street pattern derives from the boundary lines of purchase grants made by George W Cole in December 1839; W. Abercrombie in 1840, (now bounded by Denison and Birrell Streets and Ashton Lane), by T.W Smart and Michael Fitzgerald in 1847 comprising lands now enclosed by Birrell Street, Cuthbert Street, Bourke Street and Alt Streets and lands east of Bourke Street purchased by Simeon Pearce and his brother Henry Pearce in 1849. Initial European land owners dwelt outside the location. Simeon Pearce residing in Blenheim House at Randwick, Cole being a noted auctioneer in Sydney and Michael Fitzgerald residing with his wife Jane Madden in a cottage belonging to John Madden at nearby Maddens Corner [now Charring Cross] Cowper Road. Other land owners remained absentee speculators.</p>
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Initial European occupation was limited to agricultural and extractive use with small residential cottages to the northern and eastern fringe. Local employment at the time included quarrying, market gardening, dairy and pig farming both later activities impacting on streams flowing south to the Sydney Water Reserves. Market gardens were operated by Michael Fitzgerald and the Pearce family from 1850 and a dairy operated on the Fitzgerald Estate during the same decade. After 1861, Vickery's Tannery and leather goods factory to the east of Charring Cross provided additional employment opportunities furthering the establishment of workers cottages about the north eastern corner of the Conservation Area. The first substantial residential development of the Conservation Area occurred with the construction of workers cottages on the Pearce Estate in the 1850s. Members of the Pearce family also operated a shop fronting Birrell Street and worked a market garden to the east of the Pearce Estate.

As early as 1844, the grants to Cole and Abercrombie were subdivided into five lots. These substantial land grants set a base for more intensive subdivision through the land boom of 1875-1889, spurred by the growth of nearby villages at Tea Gardens (Bondi Junction) and Maddens Corner (Charring Cross). Beginning with construction and lease of small workers cottages, land owners commenced residential subdivision extending from Cowper Street west along Birrell Street. Initial sales of residential lots on the Fitzgerald Estate occurred in the early 1870s with subsequent terrace groups constructed on Bourke and Cuthbert Streets by 1883. As with other estates in Waverley, occupation was initially dominated by family members of the initial owners.

The influences of these early landholders are still evident with early workers cottages, former stables and evidence of quarrying adding significantly to the quality of the streetscapes about the eastern end of the Conservation Area.

The lower slopes and western extent of the Queens Park Urban Conservation Area was originally part of the Sydney Common established on 5 December 1811 when Governor Macquarie dedicated 490 acres (198 hectares) as the Sydney Common for public use and the supply of pure water. It remained Sydney's sole source of water until 1858. In 1866 it was given over to the Municipal Council of Sydney under the Sydney Common Improvement Bill of 1866. In 1888 the park was dedicated for Centenary celebrations. In 1904, the Centenary Park Sale Act was passed enabling the sale of peripheral areas of the Common to finance the park's construction. Lands sold as the Centennial Park Estate subdivision form the southern and western parts of the Queens Park Urban Conservation Area.

The subdivision of Centennial Parklands that occurred throughout the early 1900s was influenced by the Garden City Movement. The movement originated in England with Ebenezer Howard and influenced Landscape Planners in America. Early land grants of the 1830s-40s established the current grid pattern of the Queens Park Urban Conservation Area. Whilst subdivision followed the already established orthogonal street pattern, the current streetscapes evolved in accordance with the philosophy of the Garden City Movement. Originating in England and the United States, the Movement found some of its earliest realisation in Federation Australia, including Walter Liberty Vernon's designs for the Neutral Bay Land Company (1884-85), the beginnings of the Kensington Model Suburb (1889), Haberfield Garden Suburb (1901), Charles Hosking's Appian Way (1903-11) at Burwood and the design of Daceyville (1913-14) modelled on Lechworth (1904) in the United Kingdom. Design principles inherent in the Garden City/Suburb Movement included controls on housing typology ensuring harmonious streetscapes where buildings blended in park like settings with unsightly services located in rear laneways.

The Garden City movement provided the basis for planning controls applied to the Centennial Park Estate subdivision. The resulting building types also influenced Federation Style housing in remaining private subdivisions, e.g. the Victoria Estate Subdivision forming the western extent of the original Fitzgerald Estate. The resulting building types reflect the increasing pattern of commuter housing of the early 20<sup>th</sup> Century combined with more established residences overlooking Queens and Centennial Parks. By the end of the Federation era [1890-1915] Streetscapes within the Conservation

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	<p>Area were substantially established. Construction and subdivision in the Inter War Period [1918-1939] essentially comprised pockets of infill housing employing single storey California Bungalow Style freestanding residences.</p> <p>Post World War 2 initially saw development within the Conservation Area largely limited to alteration and addition to existing residences. Some new construction occurred in the form light industrial structures about the north east corner of the Conservation Area and isolated residential flat buildings overlooking Centennial and Queens Parks from York and Queens Park Roads.</p> <p>From the 1970's onwards demand for larger alterations and increased housing expectations saw a pattern of additions and replacement of earlier fabric within the locality. Demand for off street parking and provisions for increased traffic flow through the area also introduced substantial impact upon the visual amenity of the locality.</p>
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## THEMES

<b>National historical theme</b>	<p>4 Building settlements, towns and cities.</p> <p>9 Marking the phases of life.</p>
<b>State historical theme</b>	<p>Towns, suburbs and villages-activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages; Land tenure-activities and processes for identifying forms of ownership and occupancy of land and water; Accommodation-activities associated with the provision of accommodation, and particular types of accommodation.</p> <p>Persons-activities of, and associations with, identifiable individuals, families and communal groups.</p>

## APPLICATION OF CRITERIA

<b>Historical significance</b> SHR criteria (a)	<p>The area records the pattern of early 19<sup>th</sup> Century purchase grants which provided the basis for the later grid street pattern of Queens Park. The residential subdivisions of the late 19<sup>th</sup> and early 20<sup>th</sup> Centuries forming much of the Conservation Area demonstrate the influence of the international Garden City. Town planning in Sydney of the Federation Era including the Centennial Parklands Estates incorporated some of the earliest realisations of the Garden Suburb philosophy.</p> <p>The area retains some of Waverley's earliest buildings in the form of mid 19<sup>th</sup> Century workers cottages and stables constructed in stone, brick and timber. Construction records the availability of quarried stone sourced from nearby quarries, including those in the Conservation Area. The small cottages record the forms and scale of housing for workers at Waverley in the early and mid 19<sup>th</sup> Century.</p>
<b>Historical association significance</b> SHR criteria (b)	<p>The area has historical association with the Fitzgerald and Pearce families. Simeon Henry Pearce and his brother James being land entrepreneurs of the mid 19<sup>th</sup> Century. Michael Fitzgerald a pioneer market gardener from the late 1840's was related by marriage to John Madden resident of Waverley from the late 1830's, an initial signatory for the establishment of Waverley Council and after whom Maddens Corner now Charring Cross was named. After Michael Fitzgerald's death in 1858, his wife [John Madden's daughter] remarried and undertook subdivision of the Fitzgerald Estate from the late 1870's onwards.</p>
<b>Aesthetic significance</b> SHR criteria (c)	<p>The area retains freestanding and attached residences demonstrating the aesthetic forms, fabric and detailing of Victorian Georgian Vernacular construction. The free standing, semi-detached and attached examples of single and two storey housing provided a notable assemblage of building forms</p>



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	from the mid 19 <sup>th</sup> Century. Later Victorian, Federation and Inter War residences include notable terrace groups, semi detached and free standing residences demonstrating the chronology of forms and aesthetic considerations characterising Waverley from the 1880's – 1940's. The early 20 <sup>th</sup> Century Centennial Park Estate subdivision modelled on the international Garden City Movement, provides a harmonious streetscape to the periphery of Queens and Centennial Parks with a high standard of building maintained by covenants and the provision of rear service lanes.
<b>Social significance</b> SHR criteria (d)	The area retains significance as a demonstration of the forms, streetscapes and social relationship of worker housing in the early years of Waverley Municipality. The scale, forms and history of the remaining worker cottages provided a notable demonstration of the Municipality's social history. Later building styles and types record the life styles and makeup of Waverley's population as improved transport changed the location from an isolated rural setting to a transport based commuter suburb of the early 20 <sup>th</sup> Century.
<b>Technical/Research significance</b> SHR criteria (e)	Remaining examples of construction from the mid 19 <sup>th</sup> Century provide rare examples of construction techniques and trade skills employed in worker housing of the period 1840-1870. Sites within the former Pearce and Fitzgerald Estates are considered to retain archaeological research significance as locations of early rural activities in the Waverley community.
<b>Rarity</b> SHR criteria (f)	The Conservation Area contains rare examples of mid 19 <sup>th</sup> Century worker housing comparable to those in Balmain, Pyrmont and Darlinghurst combined with remnant examples of rural service buildings of exceptional rarity in Sydney's east.
<b>Representativeness</b> SHR criteria (g)	The Conservation Area includes representative examples of streetscapes from the 1850's -1920's. These are of greater significance by virtue of chronological evolution within a defined setting.
<b>Integrity</b>	Despite later alterations and intrusive development much of the setting and streetscapes remain intact as readily interpretable examples of historic streetscapes and settings.

## HERITAGE LISTINGS

<b>Heritage listing/s</b>	Waverley Local Environmental Plan 1996 (Amendment No. 3) Item No. C11
	Waverley Local Environmental Plan 2012 Item No. C.14

## INFORMATION SOURCES

Include conservation and/or management plans and other heritage studies.

Type	Author/Client	Title	Year	Repository
Council research	Colin Brady	na	2012	Council files and Local History Library
Book	B T Dowd (ed.) for Council of the Municipality of Waverley	The History of the Waverley Municipality	1959	Waverley Council library

## RECOMMENDATIONS

<b>Recommendations</b>	<ol style="list-style-type: none"> <li>1. All construction prior to 1950 existing on the Conservation Area should be considered contributory to the Conservation Area.</li> <li>2. Contributory buildings and their original features should be retained, any unsympathetic elements should be removed and original features restored.</li> <li>3. Neutral buildings may be replaced or altered, so that the property is made compatible with the significance of the area.</li> </ol>
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# NSW State Heritage Inventory form

	<ol style="list-style-type: none"> <li>4. Intrusive buildings should be replaced or altered so that the property is made compatible with the significance of the area.</li> <li>5. A heritage impact report is to be prepared for proposed work to all contributory elements in the Conservation Area and to sites adjacent to or in the visual curtilage of Contributory fabric.</li> <li>6. The existing subdivision pattern should be retained.</li> <li>7. The pattern of single free-standing and semi detached housing on allotments should remain.</li> <li>8. Where row housing of single and two storey terraced housing exists the pattern and streetscape should be retained.</li> <li>9. Historic building forms should remain clearly identifiable at corner sites where the interface of new and existing fabric is to provide a cohesive interface retaining the original built form as the dominant aspect of both street elevations.</li> <li>10. Existing front setbacks should be retained.</li> <li>11. The pattern of small front gardens and larger back yards with rear lane access should remain.</li> <li>12. Site coverage with Pergolas, awnings or shade structures should not extensively cover rear yard areas or be used to link rear garage/studios with the main residence.</li> <li>13. Original garden elements should be retained and restored.</li> <li>14. Original front fences should be retained and repaired. Unsympathetic fences should be replaced. New fences should reflect the design, material, finishes and scale of original fences in the streetscape.</li> <li>15. Contributory building forms should be retained with alterations and additions secondary to and cohesive with the contributory building.</li> <li>16. Original external architectural details should be retained, repaired, and/or reinstated, especially with regard to the front facade.</li> <li>17. Extensions to contributory buildings should be compatible with the character of the existing building and retain the streetscape form and scale of the building. Contemporary design is acceptable but should exhibit cohesive form, finish and scale to existing contributory buildings.</li> <li>18. In order to retain the significant character of specific streets within the Conservation Area new construction should acknowledged the precedent of historic form and fabric in scale, material and relationship to topography and building lines.</li> <li>19. The original roof form over the main body of contributory residences should be retained in additions to contributory buildings.</li> <li>20. Original external finishes should be retained and reinstated. Original face brick and sandstone walls and fences should not be rendered and/or painted. Slate and terra cotta tiling to roofs should be maintained and matched in new works to the core residence.</li> <li>21. Parking structures should be set to rear of sites, should be accessed by rear laneways and should be secondary in scale to existing residences, the overall scale of rear lanes and the setting of rear yards.</li> <li>22. Parking structures should only be accessed from the front of residences where no rear lane exists and in such locations are to be located behind the front building line of the existing residence.</li> <li>23. Sandstone retaining walls and boundary walls should be retained and repaired.</li> <li>24. Vehicle entry ways should not be permitted through stone retaining walls, former quarry workings or cuttings in live stone.</li> <li>25. The street tree plantings to verge and median areas should be retained.</li> <li>26. Median and verge planter beds and associated paving, stairs and fencing should be retained.</li> </ol>
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SOURCE OF THIS INFORMATION			
Name of study or report	N.A.	Year of study or report	
Item number in study or report	N.A.		
Author of study or			



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Office

## *NSW State Heritage Inventory form*

report			
Inspected by	Rosanne Paskin & Colin Brady		
NSW Heritage Manual guidelines used?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
This form completed by	Rosanne Paskin & Colin Brady	Date	Feb 2013





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Office

# *NSW State Heritage Inventory form*

## IMAGES

<b>Image caption</b>	Sydney Common looking southeast showing the open sandy landscape overlooked by sites now within Queens Park.				
<b>Image year</b> 1880's		<b>Image by</b>	Unknown	<b>Image copyright holder</b>	Mitchell Library



# NSW State Heritage Inventory form

Image caption	Mid 19 <sup>th</sup> Century Worker Housing Left and Centre: Victorian Georgian Worker Housing in Isabella Street. Right: Victorian Georgian Workers Cottage in Birrell Street.			
Image year 2014		Image by Colin Brady		Image copyright holder Colin Brady



Image caption	Remnant Fabric from Dairying and Quarrying. Left Rubble Stone wall to rural outbuilding -corner of Isabella and Birrell Streets Centre. Quarry workings in later road easement - Cuthbert Street. Right. Former Stables - corner of Fitzgerald Street and Lane.			
Image year 2014		Image by Colin Brady		Image copyright holder Colin Brady



Image caption	Terrace house construction left to right			
Image year 2014		Image by Colin Brady		Image copyright holder Colin Brady







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# NSW State Heritage Inventory form

<b>Image caption</b>	Federation Era Housing 1890-1915 Left to right: Single storey semi detached housing in Street. Art Nouveau detailing in Bourke Street. Federation Housing on York Road constructed under covenants within the Centennial Park Estate Subdivision of 1904 Federation detailing in York Road			
<b>Image year</b> 2014		<b>Image by</b> Colin Brady		<b>Image copyright holder</b> Colin Brady



<b>Image caption</b>	Inter War Housing Left: Freestanding Bungalow in Bourke Street Centre: Functionalist addition to Federation House in Bourke Street Right: Duplex in Bourke Street			
<b>Image year</b> 2014		<b>Image by</b> Colin Brady		<b>Image copyright holder</b> Colin Brady



<b>Image caption</b>	Landscape Features Left to right. Sandstone retaining walls, entry steps and pallsided fencing. Avenue Planting. Mature street trees. Low front fences and landscape front yards Palms in median to eastern end of Cuthbert Street.			
<b>Image year</b> 2014		<b>Image by</b> Colin Brady		<b>Image copyright holder</b> Colin Brady





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# NSW State Heritage Inventory form

<b>Image caption</b>	<i>Post War interventions</i> <i>Left: Post War residential flat buildings.</i> <i>Centre: Large scale infill housing.</i> <i>Poorly related additions and unsympathetic treatment of original fabric.</i>			
<b>Image year</b> 2014		<b>Image by</b> Colin Brady		<b>Image copyright holder</b> Colin Brady



## **Watkins St UCA– C.15**



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# NSW State Heritage Inventory form

ITEM DETAILS							
Name of Item	Watkins Street Urban Conservation Area						
Other Name/s Former Name/s							
Item type	Built						
Item group	Residential buildings						
Item category							
Area, Group, or Collection Name	Watkins Street Urban Conservation Area						
Street number	All addresses						
Street name							
Suburb/town	Bondi Junction					Postcode	2026
Local Government Area/s	Waverley Council						
Property description							
Location - Lat/long	Latitude				Longitude		
Location - AMG	Zone	MGA Zone 56 (GDA 94)	Easting			Northing	
Owner	Multiple						
Current use	Residential						
Former Use							
Statement of significance							
Level of Significance	National <input type="checkbox"/>		State <input type="checkbox"/>		Local <input checked="" type="checkbox"/>		

DESCRIPTION	
Designer	
Builder/ maker	
Physical Description	



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<b>Physical condition and Archaeological potential</b>						
<b>Construction years</b>	<b>Start year</b>		<b>Finish year</b>		<b>Circa</b>	<input type="checkbox"/>
<b>Modifications and dates</b>						
<b>Further comments</b>						

## HISTORY

<b>Historical notes</b>	
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## THEMES

<b>National historical theme</b>	4. Building settlements and towns
<b>State historical theme</b>	

## APPLICATION OF CRITERIA

<b>Historical significance</b> SHR criteria (a)	
<b>Historical association significance</b> SHR criteria (b)	
<b>Aesthetic significance</b> SHR criteria (c)	





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# NSW State Heritage Inventory form

<b>Social significance</b> SHR criteria (d)	
<b>Technical/Research significance</b> SHR criteria (e)	
<b>Rarity</b> SHR criteria (f)	
<b>Representativeness</b> SHR criteria (g)	
<b>Integrity</b>	

HERITAGE LISTINGS	
<b>Heritage listing/s</b>	Waverley Local Environmental Plan 1996
	Waverley Local Environmental Plan 2012, Schedule 5, Conservation Area C15

INFORMATION SOURCES				
Include conservation and/or management plans and other heritage studies.				
Type	Author/Client	Title	Year	Repository
Heritage Study	Perumal Murphy	Waverley Heritage Study	1990	Waverley Council

RECOMMENDATIONS	
<b>Recommendations</b>	

SOURCE OF THIS INFORMATION			
<b>Name of study or report</b>			
<b>Item number in study or report</b>			
<b>Author of study or report</b>			
<b>Inspected by</b>			



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NSW Heritage Manual guidelines used?		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
This form completed by	Kate Higgins	Date	Dec 2013



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# *NSW State Heritage Inventory form*

## IMAGES

Image caption					
Image year		Image by		Image copyright holder	

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# *NSW State Heritage Inventory form*

**IMAGES - 1 per page**

<b>Image caption</b>					
<b>Image year</b>		<b>Image by</b>		<b>Image copyright holder</b>	

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# *NSW State Heritage Inventory form*

**IMAGES - 1 per page**

<b>Image caption</b>					
<b>Image year</b>		<b>Image by</b>		<b>Image copyright holder</b>	

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## **Woodstock Ave UCA – C.16**

# NSW State Heritage Inventory form

ITEM DETAILS						
Name of Item	Woodstock Street Urban Conservation Area					
Other Name/s Former Name/s						
Item type	Conservation Area.					
Item group	Residential buildings (private). Urban Area.					
Item category	Cottage, House. Streetscape.					
Area, Group, or Collection Name	Woodstock Street Urban Conservation Area					
Street number						
Street name	Barnett Lane, Bon Accord Avenue, Bondi Road, Flood Street, Gowrie Avenue, Flood Lane, Flood Street, Kenilworth Lane, Kenilworth Street, Paul Street, Woodstock Lane, Woodstock Street					
Suburb/town	Bondi Junction				Postcode	2022
Local Government Area/s	Waverley					
Property description	various					
Location - Lat/long	Latitude				Longitude	
Location - AMG (if no street address)	Zone	MGA Zone 56 (GDA 94)	Easting	338,842.069089444	Northing	6,248,467.77151788
Owner	various					
Current use	residential					
Former Use	residential					
Statement of significance	The Woodstock Heritage Urban Conservation area contains the historic subdivisions of the early and mid 19th century established about Barnett Levey's Waverley Estate, the first attempt to a consolidated residential setting within Waverley and a rare example of Georgian town planning in Sydney's east. The subdivisions, including John B Jones' and Edward Flood's Waverley Crescent Extension Estate, provided the basis for established suburban housing in an area still dominated by isolated grand villas and small vernacular cottages. The Conservation Area has historic, social and aesthetic significance as a cohesive setting of late Victorian Italianate and Federation Style residences. The chronology and quality of residential styles are defining aspects of the location. The former Estates remain a cohesive neighbourhood within close proximity of major traffic routes, the Bondi Junction retail area and the high density residential streets to the east.					
Level of Significance	National <input type="checkbox"/>		State <input type="checkbox"/>		Local <input checked="" type="checkbox"/>	

DESCRIPTION	
Designer	various
Builder/ maker	various
Physical Description	
Physical condition	Various states of condition of properties.

# NSW State Heritage Inventory form

<b>and Archaeological potential</b>	All of the older houses have archaeological potential, particularly in areas of backyards, wells and privies in which household refuse was discarded.					
<b>Construction years</b>	<b>Start year</b>	1850s	<b>Finish year</b>		<b>Circa</b>	<input type="checkbox"/>
<b>Modifications and dates</b>	To date, recent, frequently unsympathetic development has not overwhelmed the core character and quality of the area.					
<b>Further comments</b>						

## HISTORY

<b>Historical notes</b>	<p>The Woodstock Heritage Urban Conservation Area encompasses lands originally within and adjacent to William Foreman's grant acquired by Barnett Levey in 1826. The early land grants of the 1820s and 1830s established the current street pattern of the Woodstock Street Conservation Area.</p> <p>The original land grant of the area was awarded to Barnett Levey and included the area bounded by Birrell Street, South Head Road, Paul Street and Hollywood Avenue. The grant established the original name of the suburb. Levey a theatrical impresario, and devoted follower of Sir Walter Scott's Waverley Novels published between 1814 and 1831 named the estate and his residence Waverley House commenced in 1827 after Waverley the first of Scott's 27 novels published between 1814 and 1831. Whilst remaining an anonymous author until 1827, Scott's authorship was widely acknowledged from the outset. In 1827 the site of Waverley Crescent was subdivided in an attempt to establish a Georgian style crescent of linked residences. By 1830 Levey was forced to sell the Waverley Estate.</p> <p>The lands east of Waverley Crescent were largely purchased by John Paul and G Pane. The purchasers created further subdivisions along the current line of Paul Street. In 1834 the subdivided land to the eastern side of Paul Street was sold to James Doyle and in 1862 resold to James Campbell who erected his residence Bed Eden there in 1863. Lands immediately east of the Levey Estate were sold in 1838 to John B Jones and Edward Flood. Jones' and Flood's land along with grants east were of regular size to Bondi Beach, establishing the current grid pattern.</p> <p>Flood was one of NSW's most successful pastoralists. In 1868 the entrepreneur established the Waverley Crescent Extension Estate bringing into being Geirstein [now Bon Accord Avenue], Kenilworth and Woodstock Streets. Flood continued Levey's reference to the Waverley Novels, the streets being named after the Scott's novels <i>Kenilworth</i> [pub.1821], <i>Woodstock</i> [pub.1826] and <i>Anne of Geirstein</i> [pub.1829]. In this he was not alone some 2000 street in Britain being similarly named after Scott's novels. A further sale of lots on the Waverley Extension Estate held on 6 February 1886 established much of the current streetscape of late Victorian Italianate and Federation Style residences. The broad parallel street formations provided one of the first locations for superior suburban housing in the area. It is still dominated by isolated grand villas and small vernacular cottages.</p> <p>Expansion of Sydney's steam and electric tram system provided an impetus for late Federation housing within the established Victorian streetscapes. The later were concentrated toward the eastern areas of the precinct about Gowrie Street and the eastern extension of Waverley Crescent.</p>
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## THEMES

<b>National historical theme</b>	<p>4 Building settlements, towns and cities.</p> <p>9 Marking the phases of life.</p>
<b>State historical theme</b>	Towns, suburbs and villages-activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages; Land tenure-activities and processes for identifying forms of ownership and occupancy of land and water; Accommodation-activities associated with the provision of accommodation, and particular types of accommodation.

# NSW State Heritage Inventory form

	Persons - activities of, and associations with, identifiable individuals, families and communal groups.
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APPLICATION OF CRITERIA	
<b>Historical significance</b> SHR criteria (a)	The area records the pattern of early 19 <sup>th</sup> Century purchase grants which provided the basis for the later street pattern including the extension of Waverley Crescent Estate.
<b>Historical association significance</b> SHR criteria (b)	The area has historical association with Barnett Levey who was granted part of this Conservation Area. The grant is possibly the most important in the Waverley area and established the original name of the suburb, named after his substantial residence <i>Waverley</i> .  Edward Flood, one of NSW's most successful pastoralists, was involved with expansion of Levey's Waverley Crescent Extension Estate.
<b>Aesthetic significance</b> SHR criteria (c)	The retained street pattern and narrow allotments demonstrates the forms and aesthetic considerations of Waverley during the consolidation resulting from the growth of transport from the 1880s onwards. Late Victorian Italianate and Federation Style residences and small vernacular cottages within the established Victorian streetscapes are dominated by isolated grand villas.
<b>Social significance</b> SHR criteria (d)	The later 19 <sup>th</sup> Century streetscapes of the Woodstock Conservation Area record the change from the early settlement pattern of large isolated villas and small village within Waverley. The largely freestanding houses of the Woodstock Subdivisions demonstrate the arrival of a new strata of population able to purchase and build more substantial housing incorporating provisions for domestic service.
<b>Technical/Research significance</b> SHR criteria (e)	Residences within the Conservation Area provide evidence of the trade skills particularly in masonry, moulded render, decorative tile and iron detailing of the later 19 <sup>th</sup> Century.
<b>Rarity</b> SHR criteria (f)	The spacious set out of the subdivisions, varied stylistic treatments and configuration of residences contrast with the closer settlement of other areas developed in the same period and remain as a rare example of such amenity form the period.
<b>Representativeness</b> SHR criteria (g)	The streetscapes and residences are highly representative of housing sought after by the emerging business and self employed population of the late 19 <sup>th</sup> Century.
<b>Integrity</b>	Streetscapes despite later intrusive construction of point residential flat buildings and some late 20 <sup>th</sup> /early 21 <sup>st</sup> Century residences remain substantially intact. Loss of street fencing and inappropriate planting has detracted from the visual qualities of the setting but remains largely reversible.

HERITAGE LISTINGS	
<b>Heritage listing/s</b>	Waverley Local Environmental Plan 1996 (Amendment No. 3) Item No. C13
	Waverley Local Environmental Plan 2012 Item No. C.16

INFORMATION SOURCES				
Include conservation and/or management plans and other heritage studies.				
Type	Author/Client	Title	Year	Repository
Council research	Colin Brady	na	2012	Council files and Local History Library

# *NSW State Heritage Inventory form*

Book	B T Dowd (ed.) for Council of the Municipality of Waverley	The History of the Waverley Municipality		Waverley Council library
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## RECOMMENDATIONS

<b>Recommendations</b>	
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## SOURCE OF THIS INFORMATION

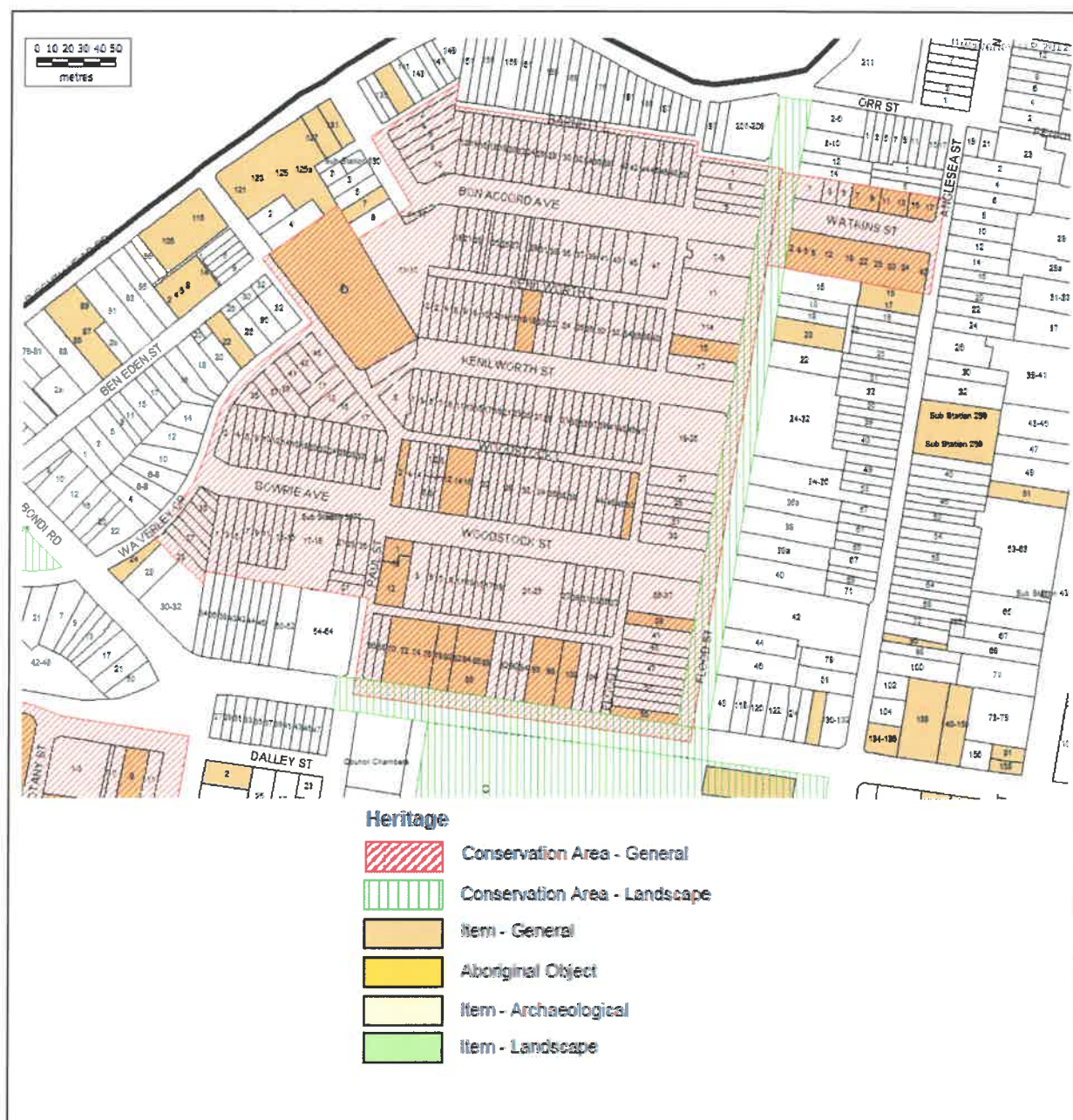
<b>Name of study or report</b>		<b>Year of study or report</b>	
<b>Item number in study or report</b>			
<b>Author of study or report</b>			
<b>Inspected by</b>	Rosanne Paskin		
<b>NSW Heritage Manual guidelines used?</b>		Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
<b>This form completed by</b>	Rosanne Paskin & Colin Brady	<b>Date</b>	Feb 2013



# NSW State Heritage Inventory form

## IMAGES

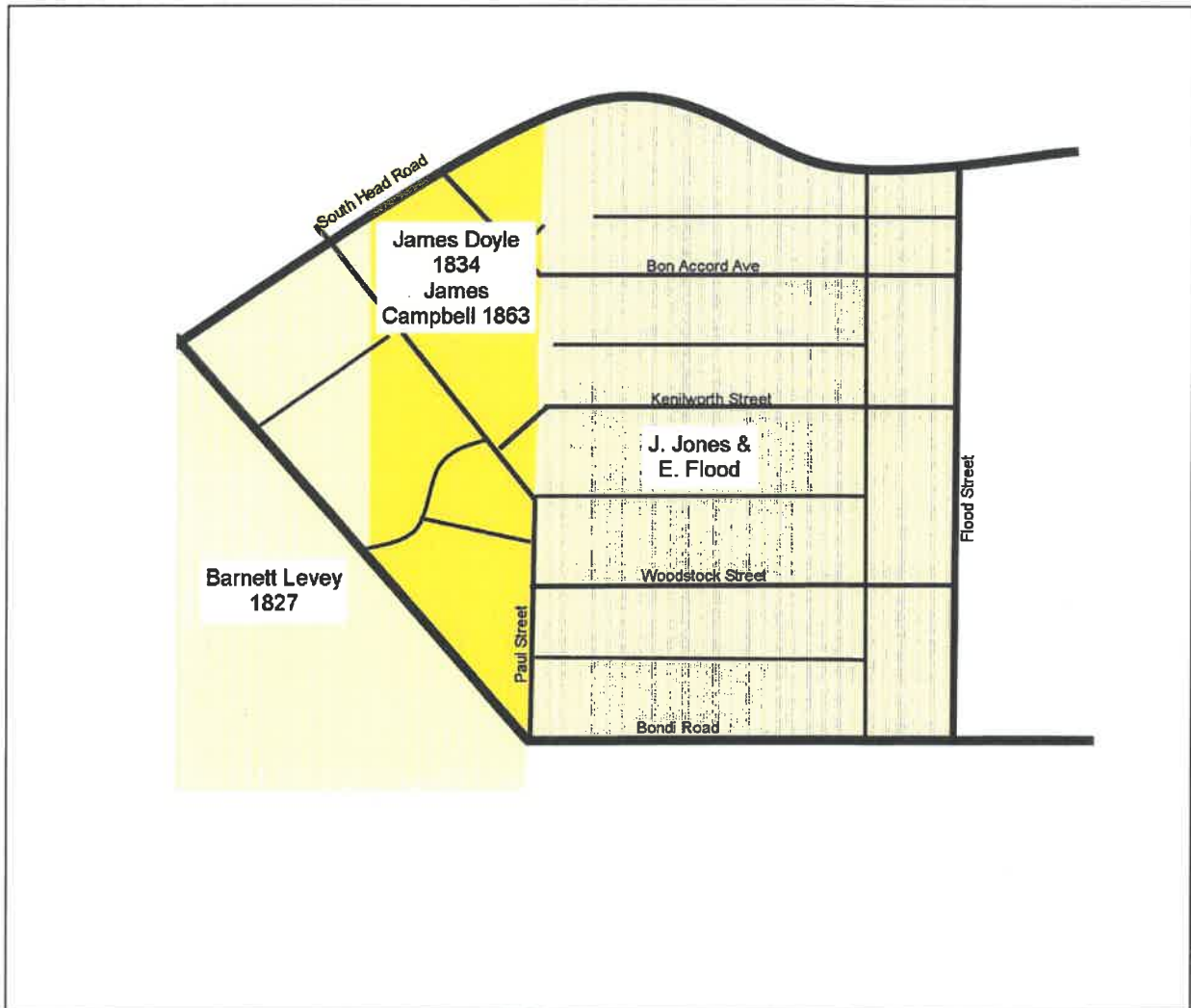
<b>Image caption</b>	Waverley Local Environmental Plan 2012 Schedule 5, Item C.16 Woodstock Street Urban Conservation Area <a href="http://www.legislation.nsw.gov.au/mapindex?type=epi&amp;year=2012&amp;no=540%27">http://www.legislation.nsw.gov.au/mapindex?type=epi&amp;year=2012&amp;no=540%27</a>			
<b>Image year</b>		<b>Image by</b>		<b>Image copyright holder</b>



# NSW State Heritage Inventory form

## IMAGES

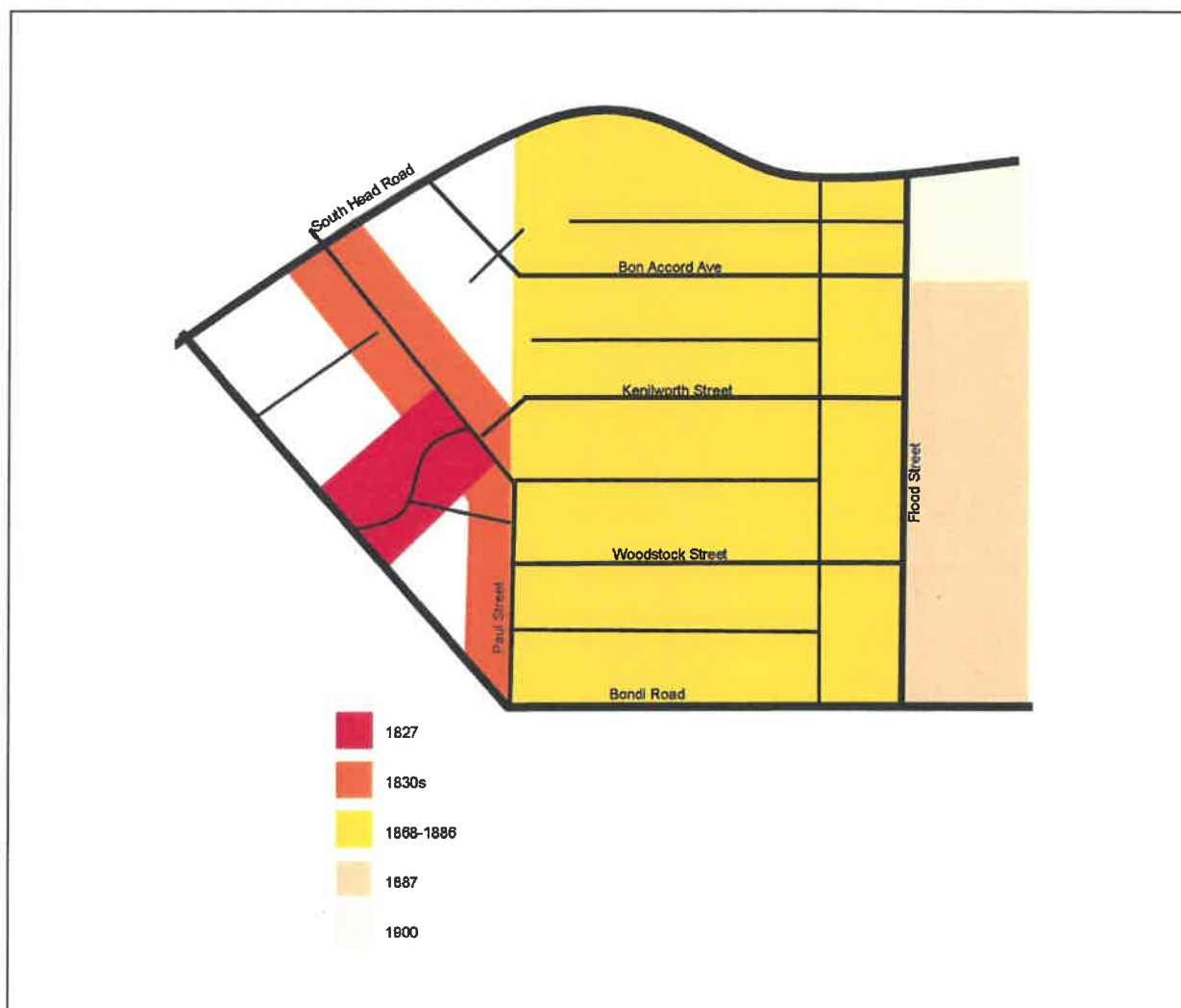
Image caption	Land Grants and Purchases				
Image year		Image by		Image copyright holder	



# NSW State Heritage Inventory form

## IMAGES

Image caption	Major subdivision periods				
Image year		Image by		Image copyright holder	



## **Yenda St UCA – C.17**



## HERITAGE INVENTORY FORM

### ITEM DETAILS

<b>Name of Item</b>	Yenda Avenue Urban Conservation Area						
<b>Other Name/s Former Name/s</b>							
<b>Item type</b>	Conservation Area						
<b>Item group</b>	Residential buildings						
<b>Item category</b>	Free standing and semi-detached residences, and residential flat buildings						
<b>Area, Group, or Collection Name</b>	Yenda Avenue Urban Conservation Area						
<b>Street number</b>	All addresses in Yenda Avenue and Nos 18 to 24 Arnold Street.						
<b>Street name</b>							
<b>Suburb/town</b>	Queens Park					<b>Postcode</b>	2022
<b>Local Government Area/s</b>	Waverley Council						
<b>Property description</b>							
<b>Location - Lat/long</b>	<b>Latitude</b>				<b>Longitude</b>		
<b>Location - AMG</b>	<b>Zone</b>	MGA Zone 56 (GDA 94)	<b>Easting</b>			<b>Northing</b>	
<b>Owner</b>	Multiple						
<b>Current use</b>	Residential						
<b>Former Use</b>	Residential						
<b>Statement of significance</b>	<p>The Yenda Avenue Urban Conservation Area is significant as an attractive, relatively intact and consistent Inter-War speculative subdivision and residential development undertaken by a local builder, William Bartrop, between 1926 and 1928. The restrained California Bungalow style of housing in the Yenda Avenue Urban Conservation Area is significant as being representative of modest housing developed for the lower middle class in the Inter-War period. The development demonstrates greater State and local governance of development following the introduction of various Local Government Acts, Ordinance 71, and Waverley Municipal Council building regulations.</p> <p>The Yenda Avenue Urban Conservation Area is significant as it illustrates the later stages of historical development of the area near Queens Park. Much of the surrounding area had already been developed by the Inter-War period and the steep gully of the Yenda Avenue area was likely to have remained undeveloped until 1926 due to its difficult topography.</p> <p>The streetscape of the conservation area is significant for its distinctive aesthetic characteristics arising from its location in a shaded gully, the mature street tree plantings (eucalypts, jacarandas and bottle brush), and the front gardens, which give the area an attractive cool, green and leafy character.</p>						
<b>Level of Significance</b>	National <input type="checkbox"/>		State <input type="checkbox"/>		Local <input checked="" type="checkbox"/>		

### DESCRIPTION

<b>Designer</b>	William Bartrop (local builder)
<b>Builder/ maker</b>	William Bartrop





## HERITAGE INVENTORY FORM

<b>Physical Description</b>	<p>The Yenda Avenue Urban Conservation Area has a regular subdivision pattern of rectangular similarly sized allotments. The subdivision created Yenda Avenue, an "L" shaped dead-end street which provides access to most of the allotments in the conservation area. The subdivision also created an extension to Arnold Street.</p> <p>The regular subdivision pattern is superimposed onto an original landform of a steeply sided gully. This has necessitated modifications to the development to accommodate changes in levels. The allotments at the eastern and western ends of Yenda Avenue and the two allotments at the eastern end of Arnold Street are set much higher than the street level. This means that the front of the dwelling on each allotment does not directly face the street.</p> <p>Yenda Avenue and Arnold Street are both 15 metres (50 foot) wide with concrete footpaths and kerbs and gutters, and grassed verges. Mature street trees (jacarandas, eucalyptus and bottlebrush) line both Yenda Avenue and Arnold Street, and these, together with the front gardens, contribute greatly to the attractive leafy character of the area.</p> <p>The front fences have a brickwork base, brick piers, and a steel pipe rail spanning between the piers. The brickwork often has a recessed panel featuring a painted rough cast cement render finish. Rough faced sandstone retaining walls and base walls are a prominent feature in the area. A brick stairway connects the western end of Yenda Avenue to Blenheim Lane, providing access to the streets leading to Bondi Junction.</p> <p>The houses in the Yenda Avenue Urban Conservation Area generally display a uniformity of architectural style, form, scale, material, details and colour, which contributes greatly to the visual harmony of the area.</p> <p>The houses have a consistent front setback of 4.5 metres (14 feet) and one of the side walls of each house is at least 900mm (3 feet) from the side boundary in order to provide access to the backyard. The houses in the conservation area are a simplified version of the American California Bungalow style. The houses are generally double fronted single storey bungalows with verandas. One large gable generally spans the whole house, with a smaller projecting gable over the front projecting room. The gable ends face the street and have a rendered and vertical timber batten detail at the apex. The rafter ends are exposed under the side eaves and the projecting gable eaves are timber lined. Sturdy columns support the veranda roof.</p> <p>The houses have dark purple/brown "liver" coloured face brickwork with commons used for the utilitarian sides and rears. Sandstone is used for the bases to the brick walls. The front facades feature sets of decorative timber casement windows, the frames being set on the external brickwork face. These windows originally had their own flat roof and a decorative timber apron below. Geometric leadlight glazing is used in these windows. The windows on the utilitarian side facades are timber double hung windows. The timber joinery elements are painted.</p> <p>The terracotta tiled roofs are low pitched with a gable to the main facade, a hipped roof form at the rear, and overhanging eaves. A skillion roof covered the laundry and back verandah.</p> <p>Car parking structures are not typical of the area with few houses originally having a driveway or car parking area.</p>						
<b>Physical condition and Archaeological potential</b>							
<b>Construction years</b>	<table border="1"> <tr> <td><b>Start year</b></td><td>1926</td><td><b>Finish year</b></td><td>1928</td><td><b>Circa</b></td><td><input type="checkbox"/></td></tr> </table>	<b>Start year</b>	1926	<b>Finish year</b>	1928	<b>Circa</b>	<input type="checkbox"/>
<b>Start year</b>	1926	<b>Finish year</b>	1928	<b>Circa</b>	<input type="checkbox"/>		
<b>Modifications and dates</b>							
<b>Further comments</b>							

### HISTORY

<b>Historical notes</b>	The arrival of the British in 1788 led to local Aboriginal people losing control of their lands and to the
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## HERITAGE INVENTORY FORM

	<p>death of many local Aboriginals through disease. This had a dramatic impact on traditional Aboriginal communities and their relationship to the land.</p> <p>The Yenda Avenue Urban Conservation Area is located in a gully with a creek at the base and sandstone rock sides, and so is likely to have been an area used by the local Aboriginal people due to its access to water and shelter</p> <p>While areas of the Waverley Municipality closer to Old South Head Road and the beaches were settled and occupied by villages and industries early in the European history of the area, the Yenda Avenue Urban Conservation Area remained unoccupied Crown Land for a considerable time.</p> <p>The Yenda Avenue Urban Conservation Area is located on land purchased by Abraham Quinsey on 23 November 1849. The lack of development of the Yenda Avenue Urban Conservation Area was likely due to the undesirability of the land for development when more easily developed sites were available.</p> <p>Towards the end of the nineteenth century much of the land around the present day Yenda Avenue Urban Conservation area had started to be subdivided into small allotments for residential development, however Yenda Avenue Urban Conservation area remained vacant, and the Queens Park area at this time being described as a kind of no-man's land between Waverley and Randwick.</p> <p>The land which comprises the current Yenda Avenue Urban Conservation Area was subdivided into housing allotments in 1926 by local builder William Bartrop. Yenda Avenue was created by this subdivision and Arnold Street extended, the roads being dedicated to Council. The subdivision was generally designed in accordance with Waverley Council regulations of 1920 which required a minimum allotment size of 3,500 square feet (12.86 perches or 325 m<sup>2</sup>) and a minimum frontage of 35 feet (10.7 metres) for double fronted dwellings. The minimum depth was required to be 100 feet (30.5 metres) with a requirement that the width of the property be increased if the depth was reduced. The size of the Yenda Avenue allotments is typical of the smaller block sizes following the Federation period, and reflects increased land and building costs following WW1 as well as the intended lower middle class purchasers or renters of the Yenda Avenue properties. The original subdivision pattern remains with the exception of Nos. 2 and 4 Yenda Avenue where the original allotment has been subdivided so that each semi-detached dwelling sits on its own allotment (DP 1027880).</p> <p>Bartrop also built most, if not all, the houses in the conservation area between the years 1926 and 1928 as part of a small speculative development. The original house designs are typical of modest housing of the Inter-War period. The designs were influenced by single storey bungalow popular in California in the early years of the twentieth century which, by the outbreak of WW1, was the standard housing design for the Californian suburbs. By the early 1920s, speculative builders had embraced the Inter-War California Bungalow idiom, and it reigned supreme in the suburbs until the Great Depression. A key feature of suburban bungalow design was its simplicity and suitability for the ordinary person. The original houses were not large, consisting of only two bedrooms, living room, dining room and small kitchen. The laundry was located in the back verandah. The original houses display a remarkable similarity in design being variations on a standard.</p> <p>Bartrop's Yenda Avenue subdivision and speculative development was one of the many developments which contributed to the boom years of the 1920s. The Inter-War years saw considerable growth in the Municipality of Waverley. The large tracts of land which had been vacant in 1918 were subdivided and built upon so that by 1929, no further subdivisions of any consequence were possible. In the 1920s Waverley was the most intensely urbanised area in the eastern suburbs, averaging 23 persons per acre (9.4 people per hectare) by 1929. Yenda Avenue was one of the later areas to be developed in the area.</p>
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THEMES	
National historical theme	4. Building settlements and towns



## HERITAGE INVENTORY FORM

<b>State historical theme</b>	Towns suburbs and villages: Activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages.
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APPLICATION OF CRITERIA	
<b>Historical significance</b> SHR criteria (a)	<p>The Yenda Avenue Urban Conservation Area is a relatively intact and cohesive Inter-War speculative subdivision and residential development undertaken by a local builder, William Bartrop, between 1926 and 1928 in the boom years of the Inter-War period.</p> <p>The development demonstrates greater State and local government control of building development following the introduction of various Local Government Acts, Ordinance 71, and Waverley Municipal Council building regulations, in the early twentieth century, which sought to improve urban and residential amenity.</p> <p>The Yenda Avenue Urban Conservation Area demonstrates the suburban development of Waverley Local Government Area in the early twentieth century, and in particular the historical development of the area near Queens Park. Much of the area near Queens Park had already been developed by of the Inter-War period and the steep gully of the Yenda Avenue area was likely to have remained undeveloped until 1926 due to its difficult topography.</p> <p>The Yenda Avenue Urban Conservation Area is associated with residential development undertaken for the lower middle classes during the Inter-War years.</p> <p>The restrained California Bungalow design of the houses in the area demonstrates the influence of America on Australia during the Inter-War years, albeit in a conservative manner in the case of the houses in the Yenda Avenue Urban Conservation Area.</p>
<b>Historical association significance</b> SHR criteria (b)	<p>This criterion is not satisfied.</p> <p>The Yenda Avenue Urban Conservation Area has an association with William Bartrop, local builder. However, based on the existing research, it has not been able to be demonstrated that Bartrop is an important historical figure in Waverley.</p>
<b>Aesthetic significance</b> SHR criteria (c)	<p>The Yenda Avenue Urban Conservation Area demonstrates aesthetic characteristics typical of small scale suburban development undertaken for the lower middle class in the Inter-War period. The housing is unpretentious and modest in scale and the individual buildings are representative of single storey double fronted California Bungalows typical of the period. The bungalows have the "liver" facebrick walls, terracotta tiled gable roofs, timber joinery and leadlight windows, fashionable at the time. The decorative features are confined to the front facade, with the side and rear facades being utilitarian in character. The front facade was enlivened with a verandah and set of casement windows, both elements being set under their own flat roofs. Rough faced sandstone blocks are used for retaining walls and as the base coursing for the external brick walls. Garages are not characteristic of the original development.</p> <p>The area has a visual consistency due to the similarity in house design (most by W. Bartrop), scale, siting, the use of a limited palette of materials, low front fences, and the restriction of decorative design elements to the front facade.</p> <p>The conservation area is located in a shaded gully and this, together with the mature street tree plantings (eucalypts, jacarandas and bottle brush) and front gardens, gives the area an attractive cool, green and leafy character.</p> <p>The subdivision includes a brick and concrete stair leading from Yenda Avenue to Blenheim Lane. The stairs also provide access to three dwellings. The stair is an attractive and unusual feature in the public domain and makes an important contribution to the character of the area.</p>
<b>Social significance</b> SHR criteria (d)	<p>This criterion has not been able to be evaluated. However the area has been a conservation area since 1996 and this does imply a continuing level of community regard for the area.</p>
<b>Technical/Research significance</b>	<p>The area has potential to yield information about quarrying in the area.</p>



## HERITAGE INVENTORY FORM

SHR criteria (e)	
<b>Rarity</b> SHR criteria (f)	The Yenda Avenue Urban Conservation Area is rare in the Waverley Local Government Area as it is the only Inter-War residential area of single storey California bungalows. There are two other Inter-War conservation areas however these contain residential flat buildings. The Yenda Avenue Urban Conservation Area is not rare within the Sydney metropolitan area.
<b>Representativeness</b> SHR criteria (g)	The Yenda Avenue Urban Conservation Area is typical of suburban development comprising Inter-War California bungalows.
<b>Integrity</b>	The Yenda Avenue Urban Conservation Area is highly intact.

### HERITAGE LISTINGS

<b>Heritage listing/s</b>	Waverley Local Environmental Plan 1996
	Waverley Local Environmental Plan 2012, Schedule 5, Conservation Area C17

### INFORMATION SOURCES

Include conservation and/or management plans and other heritage studies.

Type	Author/Client	Title	Year	Repository
Heritage Study	Perumal Murphy	Waverley Heritage Study	1990	Waverley Council

### RECOMMENDATIONS

<b>Recommendations</b>	<ol style="list-style-type: none"> <li>Contributory buildings and their original features should be retained, any unsympathetic elements should be removed and original features restored.</li> <li>Neutral buildings may be replaced or altered, so that the property is made compatible with the significance of the area.</li> <li>Intrusive buildings should be replaced or altered so that the property is made compatible with the significance of the area.</li> <li>The existing subdivision pattern should be retained.</li> <li>The pattern of a single free-standing house on each allotment should remain, with the exception of Nos. 2 – 4 which should remain a pair of semi-detached dwellings.</li> <li>Existing front setbacks should be retained.</li> <li>The pattern of small front gardens and larger back yards with a side passage to the back yard should remain.</li> <li>Original garden elements should be retained and restored.</li> <li>Original front fences should be retained and repaired. Unsympathetic fences should be replaced. New fences should reflect the design, material, finishes and scale of original fences in the streetscape.</li> <li>The original building form should be retained for the main body of the house, although attics may be constructed within the existing roof and dormers added.</li> <li>Original external architectural details should be retained, repaired, and/or reinstated, especially with regard to the front facade.</li> <li>Extensions to an existing house should be compatible with the character of the existing house. Contemporary design is acceptable.</li> <li>In order to retain the single storey character of the area, additional floors should not be</li> </ol>
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## HERITAGE INVENTORY FORM

	<p>constructed above the original ground floor, except in the case of attics made within the existing roof space. Additions should preferably be single storey and set behind the original house volume or where the topography allows, under existing houses. Small two storey pavilion style additions may be acceptable in some circumstances. In order to allow additional floor area in a single storey or small pavilion form, consideration should be given to increasing the allowable site coverage. In some circumstances, generally where there is little visibility from the street, attic extensions could be considered.</p> <p>14. The original roof form over the main body of the house should be retained.</p> <p>15. Original external finishes should be retained and reinstated. Original facebrick and sandstone walls should not be rendered and/or painted. Roof tiles should be terracotta tiles to match the originals.</p> <p>16. Parking structures should be set to the side and behind and the main body of the house.</p> <p>17. Sandstone walls should be retained and repaired.</p> <p>18. The street tree plantings should be retained.</p> <p>19. The steps from Yenda Avenue to Blenheim Lane should be retained and any repairs undertaken in a careful and sympathetic manner.</p> <p>20. A heritage impact statement should be prepared for proposed work in the area.</p>
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SOURCE OF THIS INFORMATION			
Name of study or report	Yenda Avenue Urban Conservation Area Heritage Study		2013
Item number in study or report	N/A		
Author of study or report	Kate Higgins		
Inspected by	Kate Higgins		
NSW Heritage Manual guidelines used?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
This form completed by	Kate Higgins	Date	August 2013





## HERITAGE INVENTORY FORM

### IMAGES

<b>Image caption</b>	No. 1 Yenda Avenue				
<b>Image year</b>	2013	<b>Image by</b>	Kate Higgins	<b>Image copyright holder</b>	Waverley Council







## HERITAGE INVENTORY FORM

### IMAGES - 1 per page

<b>Image caption</b>	Yenda Avenue looking south				
<b>Image year</b>	2013	<b>Image by</b>	Kate Higgins	<b>Image copyright holder</b>	Waverley Council





## HERITAGE INVENTORY FORM

### IMAGES - 1 per page

<b>Image caption</b>	Steps from Yenda Avenue to Blenheim Lane				
<b>Image year</b>	2013	<b>Image by</b>	Kate Higgins	<b>Image copyright holder</b>	Waverley Council





## HERITAGE INVENTORY FORM

IMAGES - 1 per page

Image caption	Contributory items map				
Image year	2013	Image by	Tony Lee	Image copyright holder	Waverley Council



## 2: SCHEDULE 5 LEP 2012



# New South Wales Consolidated Regulations

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## WAVERLEY LOCAL ENVIRONMENTAL PLAN 2012 - SCHEDULE 5

### SCHEDULE 5 – Environmental heritage

(Clause 5.10)

#### Part 1 - Heritage items

Locality	Item name	Address	Property description	Significance	Item no
Bondi	Two storey Edwardian pair of terraces	15-17 Anglesea Street	Lots 1 and 2, DP 206590	Local	I1
Bondi	Inter-war Mediterranean/Spanish style substation	36 Anglesea Street	Lot 1, DP 632238; Lot 1, DP 66636	State	I2
Bondi	Victorian/Federation house	96 Anglesea Street	Lot 1, DP 520411	Local	I3
Bondi	Victorian/Federation cottages	59-63 Avoca Street	Lots 1-3, DP 731877	Local	I4
Bondi	Victorian/Federation houses	59-63 Bondi Road	Lots 1-3, DP 506812	Local	I5
Bondi	Federation commercial terrace	65-73 Bondi Road	Lots 1-5, DP 444781	Local	I6
Bondi	Late Victorian commercial terrace	75-83 Bondi Road	Lots 1-5, DP 33244	Local	I7
Bondi	Federation Queen Anne style mixed development	85-101 Bondi Road	Lots 1 and 2, DP 507418; Lots A and B, DP 316258; Lots A, B and C, DP 323173; Lots 1 and 2, DP 315790	Local	I8
Bondi	Early twentieth century post office	127 Bondi Road	Lot 2, DP 182210	Local	I9
Bondi	Late Federation Free Classical Revival style mechanic building	128 Bondi Road	Lot 2, DP 335013	Local	I10
Bondi	Inter-war Art Deco style residential flat building	134A and B Bondi Road (known as 134 Bondi Road)	Lot A, DP 336659; CP SP 11708	Local	I11
Bondi	Early twentieth century building	138 Bondi Road	Lots 2 and 3, <a href="#">Section 1</a> , DP 979732	Local	I12
Bondi	Masonic Centre, Monumental Style	140 Bondi Road	Lot 34, DP 1108671	Local	I13



Bondi	Inter-war Free Classical style mixed development	151-153 Bondi Road	Lot 3, DP 2003	Local	I14
Bondi	Federation Arts and Crafts style mixed development	158 Bondi Road	Lot B, DP 430058	Local	I15
Bondi	Inter-war Georgian Revival style mechanic building	207 Bondi Road	Lot 8-11, DP 13337	Local	I16
Bondi	Twentieth century, all brick church	220 Bondi Road (St Patrick's Church)	Lot 1, DP 549166	Local	I17
Bondi	1930s style residential/commercial building	222-234 Bondi Road	Lot 2, DP 230368	Local	I18
Bondi	Late example of the Federation style	250 Bondi Road	Lot 7, DP 84161	Local	I19
Bondi	Royal Hotel Inter-war Mediterranean style	283 Bondi Road	Lots 1 and 2, DP 1441	Local	I20
Bondi	Federation commercial/residential terrace	298-300 Bondi Road	Lots 2 and 3, DP 4941	Local	I21
Bondi	Late Federation style flat building	301 Bondi Road	Lot 1, DP 6703	Local	I22
Bondi	"Roddymoor", Federation Arts and Crafts style bungalow	303 Bondi Road	Lots 1 and 2, DP 128660	Local	I23
Bondi	Federation house	310 Bondi Road	Lot 5, DP 3635	Local	I24
Bondi	Individually styled 1930s house	32 Boonara Avenue	Lot 31, DP 9503	Local	I25
Bondi	Federation style cottage	20 Castlefield Street	Lot 1, DP 953569	Local	I26
Bondi	Federation style bungalow	25 Castlefield Street	Lots 1-3, DP 1092584	Local	I27
Bondi	Inter-war style mixed development	32 Fletcher Street (known as 50 Dudley Street)	Lots A and C, DP 321112	Local	I28
Bondi	Federation Queen Anne style house	15 Flood Street	Lot 1, DP 725824	Local	I29
Bondi	Victorian Gothic style house	20 Flood Street	Lot 19, DP 80021	Local	I30
Bondi	Federation period, transitional style house	39 Flood Street	Lot 1, DP 924689	Local	I31
Bondi	Federation Arts and Crafts style residential flat building	55 Flood Street (known as	Lot 15, Section G, DP 1640	Local	I32

		108-116 Bondi Road)			
Bondi	Federation style bungalow	10 Imperial Avenue	Lot 4, DP 976891	Local	I33
Bondi	Late Federation style house	12 Imperial Avenue	Lot A, DP 9869	Local	I34
Bondi	1930s house	15 Imperial Avenue	Lot 1, DP 105433	Local	I35
Bondi	Federation Queen Anne style semi-detached residences	20-22 Imperial Avenue	Lots A and B, DP 364019	Local	I36
Bondi	Federation style house	24-26 Imperial Avenue	CP SP 70219; Lot 109, DP 1051129	Local	I37
Bondi	Federation style house	28 Imperial Avenue	Lot 11, DP 5640	Local	I38
Bondi	Federation Arts and Crafts style semi-detached residences	25-35 Imperial Avenue	Lots 1 and 2, DP 219876; Lots A and B, DP 88899; Lots A and B, DP 541482	Local	I39
Bondi	Inter-war Californian Bungalow	43 Imperial Avenue	Lot 20, DP 667605	Local	I40
Bondi	Inter-war Californian Bungalow	45 Imperial Avenue	Lot B, DP 178448	Local	I41
Bondi	Inter-war residential flat building	47 Imperial Avenue	Lot 22, DP 13337	Local	I42
Bondi	Inter-war residential flat building	49 Imperial Avenue	Lot 23, DP 13337	Local	I43
Bondi	1920s style bungalow	58 Imperial Avenue	Lot 63, DP 9503	Local	I44
Bondi	Old stone house	16-18 Moore Street	Lots 1 and 2, DP 536933	Local	I45
Bondi	Late Victorian villa	1 Ocean Street	Lot A, DP 344489	Local	I46
Bondi	Inter-war bungalow	21 Ocean Street	Lot B, DP 381299	Local	I47
Bondi	1920s bungalow	23 Ocean Street	Lot A, DP 381299	Local	I48
Bondi	Federation Filigree style residence "Beatrice", "The Rectory"	34 Ocean Street	Lot 6, Section 3, DP 979732	Local	I49
Bondi	Federation Gothic style, St Matthew's Church	34a Ocean Street	Lot 6, Section 3, DP 979732	Local	I50
Bondi	1920s bungalow	49 Ocean Street	Lot 1, DP 75745	Local	I51
Bondi	Federation Queen Anne style dwelling, "Melrose"	65 Ocean Street	Lot 19, Section B, DP 3426	Local	I52
Bondi	Federation brick cottage	77 Ocean Street	Lot 13 Section B, DP 3426	Local	I53

Bondi	Federation house	225 Old South Head Road	Lot 1, DP 738524; Lot 1, DP 934617	Local	I54
Bondi	House and remnant Federation garden	225 Old South Head Road	Lot 1, DP 738524; Lot 1, DP 934617	Local	I500
Bondi	Stone cottage	18 Park Parade	Lot 23, DP 667185	Local	I55
Bondi	Late Victorian Italianate style house	14 Penkivil Street	Lot 5, DP 900389, CP SP 44456	Local	I56
Bondi	Victorian Italianate style house	16 Penkivil Street	Lot 1, DP 1037003	Local	I57
Bondi	Victorian Italianate style dwelling	51 Penkivil Street	Lot B, DP 432393	Local	I58
Bondi	Federation house	81 Penkivil Street	Lot 81, DP 1043012	Local	I59
Bondi	Edwardian style, brick cottage	20 Philip Street	Lot 60, DP 4126	Local	I60
Bondi	Federation weatherboard cottage	13 Stephen Street	Lot 48, DP 5184	Local	I61
Bondi	Early twentieth century semi-detached residences	2-12 Tasman Street	Lots 1-6, DP 253162	Local	I62
Bondi	Early twentieth century terraces	2-40 Watkins Street	Lots A-E, DP 442836; Lots 1-5, DP 444403; Lots A-E, DP 442633; Lots 1-5, DP 33816	Local	I66
Bondi	Federation terraced pair	7-9 Watkins Street	Lots 3 and 4, DP 442730	Local	I63
Bondi	Federation terraced pair	11-13 Watkins Street	Lots 5 and 6, DP 442730	Local	I64
Bondi	Federation terraced pair	15-17 Watkins Street	Lots 7 and 8, DP 442730	Local	I65
Bondi	Late Victorian villa	6 Watson Street	Lot 55, DP 86311; Lot 1, DP 1090655; Lot 9, DP 5860	Local	I67
Bondi	Late nineteenth century, semi-detached residences	60-62 Watson Street	Lots 1 and 2, DP 591646	Local	I68
Bondi	Federation timber cottage	69 Watson Street	Lot 78, DP 2584	Local	I69
Bondi	Bondi Public School, School Grounds	3 Wellington Street	Lot 1, DP 812880	Local	I501
Bondi	Late nineteenth century, public school building, Bondi Central Public School	3-11 Wellington Street	Lot 1, DP 812880	Local	I70
Bondi	Late Victorian villa, Scarba Home	30 Wellington Street	Lot 2, DP 212809	Local	I71

## Draft Heritage Assessment – Independent Expert Panel Meeting 1

### Agenda

Date: 4 March 2021

Time: 9.30am - 1.30pm

Location: Council Chambers, Cnr Paul St and Bondi Road

### Attendees:

Name	Title	Initials	Name	Title	Initials
Kate Denny	Heritage Consultant Lucas Stapleton Johnson	KD	Tim Williams	Manager, Urban Design and Heritage, Urban Planning Policy and Strategy, Waverley Council	TW
Roy Lumby	Heritage Consultant Tanner Kibble Denton	RL	Colin Brady	Heritage Architect Waverley Council	CB
Sylvia Hrovatin	Community Representative	SH	Anne McGovern	Strategic Planner (Heritage) Waverley Council	AM
Barbara Sims	Elder and traditional owner La Perouse Land Council	BS	Fleur Mellor	Strategic Planner (Heritage) Waverley Council	FM

### Apologies:

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### Agenda items:

No.	Item	Action
1.0	<b>Apologies &amp; Introduction: Tim Williams – Outline of general discussion points covering Urban Conservation Areas as a whole</b>	
2.0	<b>Welcome to Country – Traditional Owner Barbara Sims</b> <b>Talk - Connecting to Country</b>	
3.0	<b>Discussion on draft Heritage Assessment</b> <b>Documents provided:</b> <ol style="list-style-type: none"> <li>1. Brief history of Waverley (extracted from Volume 1 of the draft Heritage Assessment) – titled: <i>Historic and Architectural Overview</i></li> <li>2. Fact Sheet: <i>Heritage listing – how it impacts on development</i> (Uploaded to Waverley Have Your Say webpage during public exhibition of the draft Heritage Assessment in response to common questions)</li> <li>3. Summary Sheets for each new draft urban conservation area (extracted from Volume 1 of the draft Heritage Assessment)</li> <li>4. Full Heritage Inventory Sheets for each draft UCA (provided to panel as email attachments)</li> </ol>	
3.1	<b>Bondi Road Urban Conservation Area</b> <ul style="list-style-type: none"> <li>▪ Discussion on public feedback</li> <li>▪ Heritage Architect to address queries</li> <li>▪ Draft Recommendation to Council</li> </ul>	
3.2	<b>Bondi O'Brien Estate Urban Conservation Area</b> <ul style="list-style-type: none"> <li>▪ Discussion on public feedback</li> <li>▪ Heritage Architect to address queries</li> </ul>	

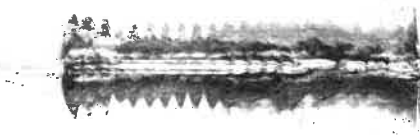


	<ul style="list-style-type: none"><li>▪ Draft Recommendation to Council</li></ul>	
3.3	<b>Bondi Inter-War Urban Conservation Area</b> <ul style="list-style-type: none"><li>▪ Discussion on public feedback</li><li>▪ Heritage Architect to address queries</li><li>▪ Draft Recommendation to Council</li></ul>	
3.4	<b>Avoca Estate Urban Conservation Area</b> <ul style="list-style-type: none"><li>▪ Discussion on public feedback</li><li>▪ Heritage Architect to address queries</li><li>▪ Draft Recommendation to Council</li></ul>	
4.0	<b>Discussion</b>	
	<ol style="list-style-type: none"><li>1. Panel comments on Waverley's draft urban conservation areas</li><li>2. Panel comments on the role and use of UCAs as a tool for heritage protection</li><li>3. Panel comments on other planning options for protection of heritage buildings</li><li>4. From Panel's experience, which planning frameworks are most effective in NSW for protecting and conserving heritage buildings?</li></ol>	



<p>Meeting 1: AGENDA and DISCUSSION Draft Heritage Assessment Independent Expert Panel</p>	
3.1 - Bondi Road UCA	
<p>Draft Heritage Assessment proposes a new Heritage Conservation Area on Bondi Road from Denham St to Wellington/Watson St (see map)</p>	
<p><b>Statement of Significance:</b>  <i>The commercial and residential Bondi Road streetscape between Wellington/Watson streets and Denham Street demonstrates the historic subdivision of early gentry estates in response to improved tram transport and speculative land booms of the period 1881-1939, producing a setting of Federation and Inter-War styles that is cohesive in scale, massing and alignment. Later replacement of remaining early structures has eroded the cohesion of the setting, which remains notable for its detail, extended groupings and demonstration of the early- to mid-20th century history of building types and the society of Waverley.</i></p>	
Public feedback	
Supportive of UCA	
	<p><i>I commend Council on the proposal to protect the section of Bondi Road running from Denham St to Watson St, but for the life of me I cannot fathom why it stops there. If [that section] is deemed worthy of preservation, surely the entire stretch of Bondi Rd up to Park Parade – the vast majority of which includes structures of very similar vintage – should be included in this initiative. Furthermore, the mooted development of Bondi Rd [in the Village Centres Strategy] ... must never be allowed to happen. If that level of change occurs, not only is the “village” atmosphere of the Bondi Rd shopping strip gone forever, the proposed preservation of the section east of Watson St is rendered tokenistic at best.</i></p>
	<p><i>I commend the Council officers on the draft Heritage Assessment documents and the associated public consultation. I believe it is very important that heritage is conserved in the Waverley LGA. I read Vols 1 and 2 in its entirety. Support all recommendations in HA. Very supportive of Bondi Rd UCA. Have an apartment in 2-storey shop-top housing building 1930, mostly intact example of a working class [Inter-War] apartment building ... this part of Bondi's social history is fast</i></p>

	<i>disappearing ... building makes a contribution to the heritage character of the streetscape and the locality".</i>
	<i>I am disappointed that so few of the historic buildings on Bondi Road west of Wellington Street have been proposed for listing. I strongly value the existing shopping precinct with its low height and small diverse multi-cultural businesses. I fear that boulevard-style development will price these local shops out and we will end up with bland consumer culture instead of the strong local character of the existing buildings and businesses.</i>
	<i>Heritage is conservation is very important to maintaining the history and feel of Bondi. We need to keep the landscape/conservation of Bondi Rd from Park Ave to Denham Street. There are more heritage houses and shops after Watson Street leading up to Park Parade. These lovely old houses and shop fronts add to the character on both sides of Bondi Rd, which is the main entry to Bondi Beach and sets the vibe and feel for the area. We do not need excessive buildings like the ones that were allowed in the 70s. I support conservation of large streetscapes.</i>
	<i>Waverly has some amazing buildings that should be kept. Waverly is also densely populated already. The whole of Bondi Rd needs its beautiful buildings preserved. We don't need thousands more people on roads and public transport that in non-Covid times is choked above capacity. Stop thinking about money and think about the people and the community and making it better for everyone who is here. Make it something for us to be proud of and that people want to come and visit for more than just the beach.</i>
	<i>I feel it would be beneficial to extend the Bondi Road Urban Conservation Area all the way up to Waverley Park, so that it runs from Park Parade to Denham St. There are some beautiful shopfronts along that strip too and it would be a shame to potentially lose those to modern high-rise buildings. It would really change the feel of Bondi Rd if they were to go.</i>

	<p><i>Bondi Road is part of Australia's history and beauty. I support the new UCA on Bondi Road and support the extension of the urban conservation area from Park Parade to Denham St.</i></p>
	<p><i>I support the conservation of heritage in the LGA. Bondi post office sold - big mistake.</i></p>
	<p><i>Built, natural and cultural heritage are all vital - the streetscapes and old buildings, houses and shapes. The buildings and streetscapes and heights on Bondi Road need to be preserved.</i></p> <p><i>I write today mainly re Bondi Road. I am very concerned the streetscape right up and down the road will go - I support keeping all of it. There will always be developers putting pressure on to develop areas in Waverley and we MUST ensure our built and natural heritage is preserved - look at Oxford street and other areas protected and cherished in Paddington and Woollahra. We have already destroyed much of Bondi Junction and need now to make sure we don't let any more of the streetscapes go. Please - ALL of Bondi Road must be protected - not just one or two sections - any increase in building height will create terrible shadows and wind tunnels. Look what happened in Bondi Junction.</i></p>
	<p><i>I do not want Bondi Road (my local shipping centre) turned into a bland, generic streetscape. This has already started to happen. Take for example the latest development on the north side of Bondi Rd between Penkivil and Ocean Streets: how could this ugly concrete box have been approved? ... Completely out of keeping with the heritage facades found elsewhere on Bondi Rd (and not so much as a trace of greenery to be seen). This adds zero amenity to the local community. It'll be yet another point that car owners will come belting out of their driveways over the footpath, terrorising pedestrians. These sorts of developments benefit no one apart from developers ... you give the developers everything they want and in turn they will sweep a few crumbs from their table, a few trees here, some bike parking there ... Are residents ever accurately informed about the impact such a massive building project would have on their local centre ... One of the nicest things about Bondi Road are the street facades, which recall</i></p>

	<p>older, gentler times. If these are torn down, the local history is lost and Bondi Rd becomes generic and boring. I think it is important that the Bondi Rd UCA extends from Park Parade to Denham St – there is too much history or heritage to lose. So many of the original facades need little more than a bit of painting – then people wouldn't think the street was such a dump.</p>
	<p>We strongly support the proposal for a new UCA on Bondi Road and most importantly support the extension of the UCA from Park Parade to Denham St.</p> <p>The "village feel" due to the unique buildings which relate to our heritage of Bondi Rd will be lost. We need to preserve its uniqueness. Otherwise Bondi Rd will look like any other area in Sydney. Just another road with a wind tunnel ... That would not create an area where locals engage and connect with their community.</p> <p>There needs to be a balance between Bondi Rd being a vibrant street and not just a movement corridor.</p> <p>Whilst it is pleasing to see that the Waverley Council has announced a new UCA along Bondi Road between Watson St and Denham St, this basically is only a very small section of Bondi Road, only 450 metres. This heritage must be extended up to Park Parade, at least, if the UCA is to have any impact. The area between Watson St and Park Parade also has similar heritage significance. If the new heritage area along Bondi Rd is not extended, all the issues listed above will still persist.</p>
	<p>In relation to the proposed Bondi Road Urban Conservation Area, I believe that it should be extended to the west to the intersection of Park Parade/Anglesea St.</p> <p>The proposed western limit at Watson St excludes some of the most attractive contributors to the Bondi Road streetscape, despite the intrusive 1960s/70s elements.</p> <p>As well as maintaining the historical appearance of Bondi Rd from its time as a tram corridor, these buildings also provide a human scale shopping strip which promotes access on foot from the surrounding areas. As the current Covid-19 pandemic has shown, the availability of a range of local shops within walking distance is of enormous benefit to the local community which would otherwise be pushed into private vehicles or potentially unsafe public transport for essential shopping needs.</p>

	<p><i>The human scale of the Bondi Road shopping strip would be irreparably damaged by redevelopment into 6 storey mixed use buildings of the kind exemplified by the structures that have been constructed on the north side of Bondi Road between Ocean St and Penkivil St. Not only do they lack architectural merit and clash with the predominant built form, their driveway crossings and other street design features are pedestrian unfriendly.</i></p> <p><i>The western end of the Bondi Road shopping precinct (between Watson/Wellington streets and Park Parade/Anglesea St) is of as least as much value from a built and cultural heritage value as the eastern section between Denham St and Castlefield/Boonara. Please give serious consideration to the extension of the Bondi Road UCA to include the whole of the shopping strip.</i></p>
<b>Objections to UCA</b>	
	<p><i>We strongly object to the Bondi Road UCA and the Heritage Assessment and do not want our properties of the immediate area surrounds affected by such a heritage classification. The original character of the buildings and facades have been changed over many years along this shopping strip/block (from Denham St to Boonara Ave) with numerous maintenance and building works that have taken place. We do not believe this strip/block of land (with our properties within it) should be classified as "heritage" by Waverley Council.</i></p>
<b>Comments from Council Officers</b>	
	<p>It is noted that 12 of the 13 submissions above are supportive of the draft Bondi Road UCA. The one objection to the draft UCA notes the effect of cumulative change on the character of the buildings in Bondi Road. While change has occurred over time, this does not negate the consistency and character of the remaining built fabric, which can still be understood as a setting of Federation and Inter-War styles that is cohesive in scale, massing and alignment. Although some later development has eroded the cohesion, the setting remains notable for its detail, extended groupings and demonstration of early Waverley's building types and society.</p>

**Draft Panel recommendation – subject to panel input:**

**The Independent Expert Panel:**

1. Notes that 13 public submissions were received on the Bondi Road UCA public feedback.
2. Supports the new draft conservation area and notes that public submissions sought the extension of the conservation area to Park Parade and Anglesea St. The panel notes that it is not possible to extend the conservation area as part of this draft Heritage Assessment, but recommends that the extension be considered as part of future projects on Bondi Road.
3. Agrees that the commercial and residential Bondi Road streetscape between Denham St and Park Parade forms a setting of Federation and Inter-War architecture styles that are cohesive in scale, massing and alignment and remain notable for their ability to demonstrate the history of building and society in Waverley.
4. Supports the view that as the main entry to Bondi Beach, these buildings make a significant contribution to the heritage, strong local character and prized village feel of the street and locality.
5. Supports future development that maintains the historical appearance of Bondi Rd from its time as a tram corridor and the retention of the human scale streetscape that promotes walkability and places where local people can engage and connect.
6. Notes that Covid-19 has demonstrated that the availability of local shops within walking distance is of great benefit to the sustainability of local communities and that that aims of sustainability and walkability should help guide future development.

**Over-arching recommendations relevant to all draft Conservation Areas:**

7. Recommends the conservation areas be more strongly considered in the assessment of Development Applications by doing the following:
  - a) Comprehensive and detailed Development Control Plans and Design Guidelines be prepared to guide future development in the Urban Conservation Area to protect these special character areas.
  - b) Council investigate other mechanisms to protect internal and external heritage fabric to buildings in conservation areas.
  - c) Council investigate the use of floor space ratio bonuses in conservation areas and that they be subject to the retention of core (internal and external) fabric and streetscapes.



### 3.2 - Bondi O'Brien Estate UCA

**Draft Heritage Assessment proposes a new Heritage Conservation Area on the lands of the original O'Brien estate from Edward St to O'Brien St (see map)**

#### **Statement of Significance**

*Substantially occupying the south-western portion of the Roberts estate (1810) and the O'Brien estate of 1851 the O'Brien Estate Urban Conservation Area is defined by the forms and streetscapes resulting from initial subdivisions of open lands within the O'Brien Estate nearest to the formed roadways of Old South Head and Bondi roads.*

*Regular transport - initially horse-drawn and, later, steam and then electric trams - encouraged ageing members of the O'Brien family to selectively subdivide readily accessible areas of the estate whilst retaining the original homestead, associated grounds and family mausoleum.*

*Regular transport - initially horse-drawn and, later, steam and then electric trams - encouraged ageing members of the O'Brien family to selectively subdivide readily accessible areas of the estate whilst retaining the original homestead, associated grounds and family mausoleum.*

*The initial subdivisions of the Federation period 1890-1919 saw construction of semi-detached and freestanding residences about the southern side of the valley in response to improved tram transport and the beginnings of aquatic recreation at Bondi Beach.*

*Resulting streetscapes of generous freestanding residences to the upper slopes and more close-set semi-detached residences to the lower slopes and valley floor reflected the relative amenity of the subdivisions and the continuing influence of the O'Brien Homestead and grounds, which remained a feature of the valley until the later 1920s.*

*The subsequent Inter-War period, 1919-1939, saw the emergence and dominance of a new building type, the residential flat building. It was employed extensively within new subdivisions of the remaining grounds to the O'Brien Homestead and on sites of opportunity within existing streets to the southern and northern slopes of the valley. The residential flat building was even more prolific in reclamation of the Bondi sand drifts to the valley floor and northern side of the Bondi Valley.*

*Despite the Great Depression of 1929-1934, the momentum of construction continued unabated until the outbreak of World War II. It established a setting of brick and tile, employed in the varied Revival styles of the Inter-War years, moving toward the beginnings of Modern architecture evident in the Functionalist designs of the late 1930s.*

*The speed of development saw a consistency of streetscapes characteristic of boom periods and emphasized by the avenue planning of major traffic routes including Campbell Parade to the south-east and Blair Street, Warners Avenue and Curlewis Street, signifying the beginning of the automobile age in metropolitan Sydney.*

Public feedback	
Supportive of draft UCA	
Bondi Beach Precinct Committee	<i>Bondi Beach Precinct strongly supports adoption of the draft Waverley Heritage Assessment. From 2012 on, the current committee has actively supported the preservation of the built heritage story in the Bondi Basin and to that end organised many well attended and well-received relevant events for the residents.</i>
	<i>The heritage of Bondi, both built and cultural, are what make Bondi special. Developers are destroying our community. It's distressing, upsetting and needs to stop. Beautiful, well considered modern additions to Bondi are welcome, within reason. This is vital for the protection of the Bondi's great look and feel, and future success as a vibrant, desirable place to live and visit. Developers are tearing down heritage homes at an alarming rate. Bondi is being ruined by ill thought out, ugly modern blocks. Once the beautiful heritage buildings are gone, they are gone forever. We need to draw a line in the sand, and protect what we have left. Heritage buildings should be looked after and cared for and enhanced - they're great homes that people want to live in, not bulldozed for a cheap and nasty block. No-one wants that other than Developers. For those that want to modernise their home, they should be required to keep and where necessary restore their home's heritage facade. It would create a far more beautiful liveable and desirable Bondi.</i>
	<i>Heritage is important because our history is preserved via these buildings. They give Bondi a sense of cohesion. I can't express how important this is to Waverley. In these times of rampant destruction of our historical buildings, you must support this action to maintain our connection with our history. Not only will it keep our roots visible, it will stop rampant over-development from being an option to greedy developers whose only interest is to buy anything in Bondi, knock it down and build units. These beautiful old buildings need your protection. Please support this important proposal. For our future and the future of Waverley. Any recommendation that stops the current rampant over-development is a good thing. Developers don't care about</i>

	<i>maintaining our history. These old buildings with their beautiful old names and often Spanish styles are an important part of Bondi. I don't mind updating them to suit a more modern life. But the destruction of them is so very sad. I am very supportive of the conservation of these streetscapes?</i>
	<i>I support the proposals in Heritage Assessment, and urge Council to act to implement these promptly. My belief is that we are suffering from gross over-development with bad design and little respect to history and character.</i>
	<i>Excited to be in the new UCA.</i>
	<i>Fascinating that Bondi was private land up to the beginning of the 20<sup>th</sup> century.</i>
	<i>I am a resident of an Inter-War flats building, am supportive of the heritage listing of my home in Hasting Parade and would like to see more buildings listed. I believe this is the right thing to do to protect the heritage of Bondi. Too many heritage homes are knocked down.</i>
	<i>I believe in saving the unique heritage of Sydney's houses. There aren't many left. Every day I see another veranda turned into an ensuite; or the front of houses built in the 1800s turned into what looks a mobile home, complete with metal shutters. 88 &amp; 90 O'Brien Street need protection. I don't care if this affects the price. Sydney has been good to me, and this is my way of thanking her. I want this house protected beyond my lifetime.</i>
	<i>I am delighted that Waverley Council is reviewing local heritage sites in the municipality. Conserving these buildings and sites can only improve the reputation and appeal nationally as well as abroad. Maintaining the unique urban landscape is important. The rich heritage of our streetscapes, art deco buildings as well as residential building styles associated with the inter-war years helps build our ongoing identity in Australian culture. I own a unit in one of the buildings identified in the draft heritage plan. I lived in that unit for many years. I believe it's important to retain Bondi's unique identity, not only for present residents but for future generations and visitors to</i>

	<i>the area. It is important for town planning to retain the rich environment of the past and preserve its uniqueness.</i>
	<i>Conserving heritage in the LGA is quite important, so that we don't end up with a whole range of cheap or ugly buildings, and to protect the beautiful natural environment and aesthetics with native trees and wildlife. Our property is in the proposed Bondi O'Brien Estate Urban Conservation Area. We support this.</i>
	<p><i>Heritage is very important to me. Waverley has a long history of occupation by both Aboriginal people and settlers since 1788. That occupation, as recorded durably in art, landscape and structures, is a reminder of our shared history and the changes in technology, design, workmanship and styles over that period. While change is inevitable, we owe it as custodians of the present to pass on that record to future generations. The heritage of our area is a key aspect of its culture and beauty, and we should ensure that the change that does occur does not detract from future enjoyment of those. I fully support the addition of the Bondi O'Brien Estate, Bondi Basin Inter-War, Avoca and Bondi Road Urban Conservation Areas. I am particularly concerned at the exploitation of planning provisions for provide affordable housing or seniors living which bypass zoning controls and encourage the replacement of buildings which contribute to the heritage, amenity and liveability of Bondi. These replacements are invariably designed to maximise profit at the expense of the public domain and the public interest. The buildings proposed or intended for demolition for redevelopment often offer more affordable housing than the supposedly "affordable" apartments or boarding houses that are proposed to replace them.</i></p> <p><i>Another negative in the planning system is the use of Voluntary Planning Agreements to allow excessive and usually unsympathetic buildings. The bias in favour of development in the planning system as a whole and the likelihood that court appeals will undermine attempts to uphold the limits in planning documents make it vital that Council and community members can give greater weight to the contribution of heritage in the planning process.</i></p>

	<i>As a homeowner in Bondi for over 35 years, I have witnessed the loss of particular styles of dwellings through unsympathetic development. I care deeply about my neighbourhood &amp; don't want greedy developers destroying more buildings.</i>
	<i>I support the proposals in Heritage Assessment, and urge Council to act to implement these promptly.</i>
	<p><i>The heritage character of the area is one of the reasons I moved here and enjoy living here. Heritage buildings are human scale and connect us to how life was lived in the past. They provide a historical record of the built environment.</i></p> <p><i>I support the new conservation areas of Bondi Inter-War, Bondi O'Brien Estate, Avoca Estate. I support the Bondi Road UCA extending from Park Parade to Denham St and I support providing incentives to spruce up facades. Most of the streetscape is intact. I support the protection of the trees in the Dickson Estate Landscape Conservation Area. Adaptive re-use is better than demolition but retention of the heritage in its original built form is best.</i></p>
	<p><i>I live in the proposed O'Brien Estate UCA, and have seen appallingly unsympathetic developments, and I hope that the UCA control will reduce such damage.</i></p> <p><i>Over many years, Waverley Council has appeared to be much less sympathetic to heritage matters than, say, Woollahra Council. Heritage should not be regarded by developers or by Waverley Council itself as an optional extra. It requires investment, and initiatives like this are very, very welcome.</i></p> <p><i>Act quickly, please. Already too much of Waverley's heritage has been lost!</i></p>
<b>Objections to UCA</b>	
	<i>I think it's outrageous you want to classify most of the suburb into a heritage area! Most of the buildings here, especially the units, are of no significant value and are mostly an eyesore. We welcome new development and even complete tear down of those sort of buildings. I didn't move here to live in a heritage zone. I want to continue to live in a modern and developing suburb which allows</i>

	<p><i>property owners to express their creativity and diversity within their OWN PROPERTY (within all current legal requirements). That's what makes Bondi beach great. We don't want to live in a dying suburb or a frozen snapshot of the past capturing the ugliness with very few houses actually worth preserving. You should focus on public heritage buildings and leave the private property to the people it belongs to. I've always dreamed of owning a house in Bondi, completely tearing it down and building my dream house here. Bondi is my home. I don't see why you have any right to take that away from us.</i></p>
	<p><i>I am completely against the "zoning" of whole areas as Urban Conservation Areas and in particular, my area of Bondi Beach, to the western end - relatively far from the beach. The characterisation that this will add value to the properties is preposterous and bordering on a blatant lie. Any heritage classification will simply pander to the leftist Greens who are no doubt driving this. It will limit the ability of property owners to sell and limit their ability to renovate. It will also significantly increase the cost of a renovation when heritage consultants are required for every minor change desired. I work in The Rocks where there are wonderful buildings worth retaining and restoring. If our area was of that nature then one could understand the desire to put heritage constraints on the area. But this is not the case. All that is being done, or being tried to be done, is reduce the value of our properties and retain our neighbourhood as the poor cousin to areas like Bellevue Hill, Vaucluse and Rose Bay.</i></p>
	<p><i>I am strongly opposed. This whole review is from the biased perspective that this is what the community wants with the onus on busy owners to object. No doubt if the activity was done in reverse with the proposal being no change to heritage status and people needing to object if they want change, you would get a different outcome. People that do not own land in the affected areas should have no say in how we develop our land beyond the existing DCP. Obscene.</i></p>
	<p><i>This letter is in regard to the council proposal to update the Local Environment Plan Schedule 5. Though we appreciate the view to maintain the integrity of the area</i></p>



	<p><i>and its history we feel it should be considered case by case ... i.e. individual government historical landmarks and not as an overall zone in a suburb. Reminding Waverley Council that the Essence of Bondi Beach belongs to the youth of Australia, not just the wealthy to mute the development of dwellings so close to the beach with such an overwhelming demand to live by this iconic beach would significantly remove the middle-class youth out of the market as it has done by the re-zoning of neighbouring Paddington and now looking like a ghost town.</i></p>
	<p><i>Genuine heritage items only should be preserved, but this is an obvious attempt by Council's ulterior motive to gain power and control over planning and development in direct contradiction to the spirit of the SEPP codes for exempt and complying development after the implementation of the medium-density SEPP codes in NSW. I am not a builder.</i></p> <p><i>This sets a dangerous precedent where Council is not acting in the best interests of the residents of Waverley, but rather for the Council's own power and financial benefit. Most of the properties in the proposed conservation area, especially those further away from the beach, are bungalows and mid-century dwellings which have no heritage features or significance and are commonplace across Sydney. These are not consistent with other areas of Sydney characterised as heritage conservation areas which are only such zoned for Federation or Victorian terraces or turn of the century. Only these types of dwellings should be considered as individual heritage items. Waverley Council is applying a blanket rule for very few individual cases and taking away the rights of residents for Council's own benefit. We will seek remedies via Member of Parliament and the Land and Environment Court as a class action.</i></p>
	<p><b>PETITION AGAINST WAVERLEY COUNCIL LOCAL ENVIRONMENT PLAN SCHEDULE 5 ENVIRONMENTAL HERITAGE LIST DRAFT HERITAGE ASSESSMENT PROPOSED CHANGES, INCLUDING BUT NOT LIMITED TO, OUR PROPERTY AFFECTED BY BEING:</b></p> <ul style="list-style-type: none"> <li><i>• Within a proposed new Urban Conservation Area;</i></li> <li><i>• Within an existing Urban Conservation Area that is proposed to be increased or reduced in size;</i></li> </ul>

	<ul style="list-style-type: none"> <li>• A draft individually listed heritage item; or</li> <li>• Adjacent to a proposed new or amended Landscape Conservation Area. The residents of Rickard Avenue, Bondi Beach are AGAINST the above mentioned and AGAINST being within a proposed Urban Conservation Area. We DEMAND that Rickard Avenue, Bondi Beach (including all its property addresses) be EXCLUDED from being within a proposed new Urban Conservation Area and this EXCLUSION be clearly identified by reference, definition and denoted by hash and border exclusion markings in any planning maps and associated planning gazettal's, LEP and DCP. RICKARD AVENUE WILL TAKE EVERY AVAILABLE MEASURE TO BE EXCLUDED. Please find formal Petition included.</li> </ul>
	<p>I truly value the essence of maintaining properties that need to be protected by heritage laws. However, the council's proposal to 'ring fence' an area where most properties don't meet heritage principals is fundamentally flawed. We completely oppose the position of council to redefine/extend the area ... We believe this will have a number of negative impacts across social and financial aspects of the community and potential buyers in the future. This proposal is not approved. We understand as Australians we need to protect and maintain our past and would be supportive of properties that have been genuinely assessed as heritage, to be protected. However, we find the proposal of extending the area within this document to be excessive and invalid. The council's statement that listed properties with well-maintained heritage features attract a premium is totally misleading in this context. Heritage properties that are genuine will be able to demand prices that reflect this, however those of us who don't own genuine heritage properties will not be able to demand these prices, and yet will be expected to pay exorbitant fees to make any changes or modifications to our properties. Taking into account, we may not be given the opportunity to do anything, or worse, our properties devalue if this proposal was to be approved. This proposal would also mean that to make any changes to existing properties we would now be required to apply for a DA via heritage. This is completely unreasonable and would waste time, money and resources for properties that aren't even heritage! Bondi is and always will be, a</p>

	<p><i>place where people come to live, visit, and play, and thrives on the spirit and culture of its residents. So for Council to suggest such a proposal is not just jarring it's offensive and reckless by its very nature and not in the spirit of its people. This proposal needs some serious re-thinking and fine tuning. In addition, residents affected by the proposed changes need to be properly briefed. I don't believe the communication has been clearly understood or heard, and the council need to be more proactive in their approach to such a significant change. Let's maintain the principals and credibility of Heritage and not become complacent.</i></p>
<b>Response from Council's Officers</b>	
	<p><b>Do conservation areas create “dying suburb or a frozen snapshots of the past”?</b>  The planning system allows for change in a managed way, with heritage issues being one part of the Development Assessment process associated with conservation areas. It allows for sympathetic development of heritage places through an approvals process that ensures the retention of the significance of a streetscape or property. This process helps maintain the quality and desirability of an area.</p> <p><b>Do conservation areas “capture the ugliness with very few houses actually worth preserving”?</b>  Conservation areas contain buildings that contribute to the heritage fabric of the area, and others that do not contribute. Both can be developed within existing planning system.  The buildings and streetscapes in Bondi have been assessed using the NSW Heritage Office 7 criteria. Most buildings of heritage significance within Waverley's draft conservation areas meet more than one of those criteria for heritage listing.</p> <p><b>Do conservation areas limit the ability of property owners to sell a property?</b>  Evidence gathered in the Waverly LGA shows that being in conservation does not limit an owner's ability of sell. Property market analysis shows that heritage residences</p>

	<p>in Waverley are in high demand and frequently sell at a premium.</p> <p><b>Does owning a heritage building in a conservation area significantly increase the cost of a renovation?</b>  Minor changes to heritage buildings can be completed using a Heritage Exemption Certificate, at limited cost. Renovation work to non-contributory buildings is completed using a standard DA with limited input required from a heritage consultant.  Heritage buildings in conservation areas are required to meet standard DA regulations including FSR, zoning, building height, setbacks and overshadowing, with particular attention paid to preservation of historic facades. The DA rules do not prevent second-storey additions on such buildings.</p> <p><b>Does heritage listing prevent demolition of a property?</b>  Heritage listing does not mean a property cannot be demolished. It requires an extra level of assessment as part of a DA. Demolition is also possible if the condition of a building is poor and the repair cost too onerous, or if there has been a loss of integrity over time. If approval is sought for demolition, a Heritage Impact Assessment may need specific expert advice and this could add to costs</p> <p><b>Are areas with historical significance like The Rocks the only places worth retaining and restoring?</b>  Many of the buildings in The Rocks are highly significant heritage items in the story of the nation's development. Their level of heritage listing reflects their national importance. The Federation and Inter-War buildings of Bondi contained in the two proposed conservation areas meet the criteria for listing as buildings of historical significance at a local level.</p> <p><b>Do conservation areas conflict with the spirit of the Codes SEPP for exempt and complying development?</b>  If the heritage building is within a Heritage Conservation Area, certain types of development may still be carried out without a DA. However, there are limitations, which are detailed in the SEPP. This prevents an area of established character being changed without consideration to its heritage, context and streetscapes and without</p>
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notification to neighbouring properties. Demolition and erection of a new dwelling will require a DA rather than a Complying Development Certificate under the Codes SEPP for individually listed buildings and those in conservation areas. A DA in these circumstances will result in increased costs, including a heritage professional, but this requirement adds a layer of protection to areas of established character and keeps neighbours notified of proposed changes, which they generally appreciate.

**Is the size of the conservation area excessive?**

The draft conservation area has been assessed not on size but on the significance of the buildings within it as a group. The draft UCA is smaller than many conservation areas in Sydney containing buildings of a similar age, including Paddington, Queens Park, North Sydney and Mosman.

**Have residents affected by the proposed changes been properly briefed on the conservation area's impact?**

The draft Heritage Assessment was on public exhibition for 13 week – which was 7 weeks longer than required. All owners were notified of the proposed changes, with more than 7000 letters sent to owner's addresses. Council's Heritage Planners were available to discuss the recommendations for the full 13-week period of public exhibition. Half way through that period, Council uploaded a fact sheet - *Heritage Listing - how it impacts on development* - to the draft Heritage Assessment Have Your Say webpage. It provided feedback to common questions about heritage listing arising out of the public consultation on the draft Assessment.

The feedback on Rickard Avenue's inclusion in the draft Bondi O'Brien Estate UCA and the petition that followed requested that the whole street be removed from the UCA. The petition provided with no detail as to the nature of the objection to its inclusion or did not include any reasons why the street should not be included.

The letter and petition provide limited evidence beyond personal opinion to support Rickard Avenue's exclusion from the Conservation Area.

The type of additions and renovations likely to be approved by Council in a Conservation Area such as this

	<p>one are very much those already existing in Rickard Ave - except for some very tall walls to street frontages that would not be allowed under existing controls.</p> <p>It is recommended the petition authors look at Queens Park to familiarize themselves with the positive outcomes achievable for streetscapes in conservation areas.</p> <p>The petition and the issues raised should be peer reviewed by the independent panel.</p> <p>Note on heritage affecting property prices:  <b>27 Lamrock Ave, Bondi</b></p> <ul style="list-style-type: none"> <li>• Freestanding, unrenovated 1920s house</li> <li>• Located in the draft Bondi O'Brien Estate UCA</li> <li>• Sold during the draft Heritage Assessment's public exhibition period</li> <li>• Selling price: \$4,960,000 - \$460,000 above reserve.</li> <li>• Reported in Domain, 15/10/20</li> </ul>
<p><b>Draft Panel recommendation – subject to panel input:</b></p>	
<p>The Independent Expert Panel:</p> <ol style="list-style-type: none"> <li>1. Notes that 20 public feedback submissions were received on the draft Bondi O'Brien Estate UCA.</li> <li>2. Supports the new draft conservation area defined by the built forms and streetscapes resulting from initial subdivisions of open lands within the O'Brien family's Homestead and grounds, which remained a feature valley to the 1920s.</li> <li>3. Supports the conservation of the character and diversity of architectural styles that emerged from the rapid Inter-War development at Bondi that saw a consistency of streetscapes characteristic of boom periods.</li> <li>4. Notes the petition regarding the inclusion of Rickard Avenue into the Bondi O'Brien Estate Urban Conservation Area and acknowledges Council officers' attempts to engage in discussions with signatories of the petition to ascertain their concerns about heritage listing and the impacts of inclusion in the UCA.</li> </ol> <p>The panel supports the inclusion of Rickard Street into the draft UCA, noting that the information contained in Council's Fact Sheet <i>Heritage Listing – How It Impacts on Development</i> highlights that inclusion in a conservation area does not impose onerous restrictions on the development of residences within historic built settings</p>	



when compared with standard Development Application matters and individually listed heritage items.

5. Recommends the conservation areas be more strongly considered in the assessment of Development Applications by doing the following:
  - a) Comprehensive and detailed Development Control Plans and Design Guidelines be prepared to guide future development in the Urban Conservation Area to protect these special character areas.
  - b) Council investigate other mechanisms to protect internal and external heritage fabric to buildings in conservation areas.
  - c) Council investigate the use of floor space ratio bonuses in conservation areas and that they be subject to the retention of core (internal and external) fabric and streetscapes

### 3.3 -Bondi Inter-War UCA

**Draft Heritage Assessment proposes a new Heritage Conservation Area in Bondi Basin from O'Brien St to streets north of Blair St (see map)**

**Statement of Significance:**

*Occupying the north-eastern areas of the Bondi basin, the proposed UCA demonstrates the town planning principles of Inter-War suburban planning, combining broad planted avenues with the emerging form of the residential flat building. Contiguous rows of speculative semi-detached residences and focal intersections of mixed-use buildings provide visual balance and amenity despite the density. Comparison with development of coastal lands at Merewether in NSW and Sydney's harbour-side suburbs to the north demonstrates the cohesion of varied forms achieved in the Bondi Basin through the combined factors of town planning, variation of building types, consistency of materials and condensed period of construction. The resulting setting retains an ongoing identity in Australian culture*

**Public feedback**

**Support for UCA**

Bondi Beach Precinct Committee	<i>Bondi Beach Precinct strongly supports adoption of the draft Waverley Heritage Assessment. From 2012 on, the current committee has actively supported the preservation of the built heritage story in the Bondi Basin and to that end organised many well attended and well-received relevant events for the residents.</i>
	<i>I support the proposals in Heritage Assessment and urge Council to act to implement these promptly. As a 25+year resident of Bondi Beach, where I have raised my family and continue to live amongst the varied community, I have long been concerned at inappropriate over-development which threatens to damage the character and village atmosphere that make Bondi unique. Without the preservation of the Bondi Basin Inter-War area and the O'Brien Estate area, we stand to lose the very thing which not only attracts the visitors to drive the tourist economy, but also supports our lively family community who are the beating heart of the villages. The Bondi area is world famous and of significance because of its history as well as natural beauty. The preservation of both aspects is vital to sustain that status community.</i>
	<i>I support the proposals in Heritage Assessment, and urge Council to act to implement these. Thank you.</i>

	<i>[The Heritage Assessment's] history of the area is very clear ... it is great that Council is educating people in an interesting way.</i>
	<i>Happy to find out [my] property is in the draft Inter-War UCA. [I do] not want rampant development of Bondi basin.</i>
	<i>Pleased the streetscapes are being protected from development.</i>
	<i>Very happy the streetscapes are being preserved.</i>
	<i>As a long-time resident of Bondi and a former councillor, [I am] very happy to be in the new Bondi Inter-War UCA.</i>
	<i>Very supportive of heritage, the retention of original Bondi buildings and the Bondi Inter-War UCA.</i>
	<i>I live in Bondi Beach for more than 35 years and it pains me to see how many original buildings were lost to development over the years. Bondi Beach is the closest thing Australia has to a historic beach side Riviera of the famed 1920s and 1930s. I can't imagine that similar misguided "modernisation" would be allowed for example in Cannes or Nice.</i>
	<i>I support the proposals in Heritage Assessment, and urge Council to act to implement these promptly. I am a long-term resident and property owner of Bondi having purchased in Roscoe Street in 1993 where I've lived since. Bondi has many buildings, areas, landscapes that are specifically a part of the fabric of what it is to be a local, and more broadly a rich part of Waverley's cultural history. I applaud the work being done to save its history. As a sort after holiday destination it is so important that we do not allow the character and charm of Bondi (and Bondi Beach) to be eroded and ultimately lost in the name of over-development. We need to conserve its rich history for our future generations.</i>
	<i>Preserving heritage items preserves the village feel locals love about their respective area. Particularly in Bondi precinct where the desire to build new and bigger</i>

	<i>developments: these destroy community and push locals out. Bondi / O'Brien precinct including Wellington St between O'Brien and Hall St is really critical to retaining a complete village and not jamming in more and more apartments and retail.</i>
	<i>I am supportive of the proposal to expand the UCA to the area spanning Wellington St. I would prefer this zone was expanded to include Wellington St all the way to the Curlewis St boundary as there are beautiful Art Deco buildings (including mine) and I constantly see the views being dwarfed by large new constructions not in the keeping with the aesthetics of the area.</i>
	<i>I would have liked to comment, especially in the light of the demolition proposal of 79, 81, 83, 85, 87, 89, 91, 93, 95-97, 99 &amp; 101- 103 Wellington Street DA - 268/2020. I have lived at 42 Simpson St for over 20 years in one of the few remaining weather board cottages in the area that has not been demolished but restored sympathetically according to heritage values. Please check as to why I am not on your mailing list as I am most interested in maintaining Bondi's heritage which is under threat.</i>
<b>Objections to draft UCA</b>	
Hones Lawyers, representing anonymous objectors, covers points raised in the Heritage Assessment report by GBA Heritage.	<p><i>We act for properties in Simpson Street and Wellington Street and lodge this submission on the draft Heritage Assessment. Our clients object in the strongest terms to the draft HA and particularly to the proposed Bondi Inter-War HCA. In support of this submission, we enclose a report by GBA Heritage.</i></p> <p><i>As you will note, the GBA report concludes that the proposed Inter-War HCA is of far too wide geographic scope, and consists of a significant majority of buildings which detract from its heritage significance, such that it will be incoherent, not achieve its stated aims and indeed diminish the heritage values in those smaller portions of the proposed HCA where Inter-War residential flat buildings are concentrated. The adjacent proposed O'Brien Estate suffers from the same issues.</i></p> <p><b>Unreasonable restriction on planning and property rights</b></p> <p><i>To contrast with this, the imposition of such an enormous proposed HCA, over the vast majority of dwellings in that area which have no heritage value or significance, is a</i></p>

*disproportionate and unreasonable imposition on the owners of those dwellings. This will prevent those owners from carrying out many renovations, or building new dwellings via CDC under Parts 4 and 3 of the Codes SEPP (either for new builds, or any renovation to a first floor, or which affects the front wall).*

*Instead, on each occasion, a DA will be required to be lodged at great cost, with extensive documentation (including heritage reports which are irrelevant to the vast majority of properties in the proposed HCA), which is an unreasonable imposition both on the property owners, and the resources of Council's planning staff. Indeed, the volume of DAs will likely double or triple (when the proposed Bondi O'Brien estate is included). Thus the vast majority of properties in the southern and western portions of the proposed HCA, including Simpson St and Wellington St, will have their property and planning rights restricted, for very little appreciable gain.*

***Unreasonable scope of draft HCA lacks heritage value.***

*This is particularly unreasonable in the vicinity of Simpson St and Wellington St, which are at the edge of the proposed HCA (indeed, the other side of Simpson St in this vicinity falls outside the proposed HCA, demonstrating its unreasonable geographic scope). As Mr Brooks notes, these southern and western portions of the proposed HCA have a very low proportion of coherent, intact Inter-War RFBs or semi-detached dwellings. Those items are greatly outnumbered by properties which are not characteristic of the proposed HCA, such as: single dwellings, modern residential flat buildings, modern semis, and buildings heavily altered in the last century.*

*This destroys the coherence, and indeed relevance of the proposed HCA – with so few actual contributory/heritage items in the southern and western portions, fragmented and interrupted by so many diverse dwelling types of different eras and appearance – the proposed HCA will have no value. When DAs are lodged, the heritage assessments will be meaningless, given the vast majority of dwellings in these regions do not contribute to the heritage values.*

*Indeed, on our calculations, well under 5% of the properties in the proposed HCA are listed as heritage items in the WLEP 2012 (closer to 1-2%). We are not aware of any HCA in NSW which has such a low proportion of*

heritage items. The proposed HCA stretches the very concept of a HCA, in having inconsistent, modern and non-contributory items vastly outweigh the actual heritage items. Indeed, it appears that under the draft HCA, only one additional property is proposed to be designated a heritage item in the entire proposed HCA. This is, frankly, absurd – to impose serious restrictions on the ability of the vast majority of properties to redevelop, to protect such a small proportion of heritage items. Thus, casting the net so wide geographically achieves a perverse outcome of diluting and diminishing heritage values which the proposed HCA is intended to protect.

Further, as Mr Brooks notes, the proposed HCA is not actually related to the distribution of Inter-War RFBs and semi-detached dwellings. Rather it is simply an adoption of the boundaries of the old O'Brien estate, with no actual relevance to the distribution of heritage items or high concentration of I-W RFBs. This is, again, an unreasonable application of the Council's powers.

**Proposed HCA will be liable to challenge**

In our view, were Council to impose the proposed HCA over such a wide and diverse area, particularly the south-west portion (including Simpson and Wellington St), then it would be open to challenge in the Land and Environment Court on a number of grounds. Given the serious impacts on the ability to redevelop, and on property values from such a designation, we are confident many property owners would be willing to bring such a challenge (including our clients). We trust this will not be necessary. A far better solution to the proposed HCA would be, as Mr Brooks recommends, either far smaller, more focused HCAs, particularly around the north-eastern portion of the proposed HCA (i.e. existing HCA C4, Mitchell St, Blair and Warners Ave, to Wairoa Ave and Brighton Boulevard). Such a reduced HCA will have a greater proportion of intact Inter-War RFBs and semis. This will improve the cohesiveness of the proposed HCA, and thereby better protect its heritage values. More importantly, it will reduce the entirely unreasonable restrictions the proposed HCA will impose on the vast majority of non-contributory dwellings, which have simply been caught in an unreasonably wide net.



	<p><i>Bondi is a planning mess. The best solution would be to allow development to modernise the area. That said, the art deco architecture should be retained. Bondi Basin Inter-War UCA zoning should be redrawn to place the border on the south side of O'Donnell St rather than the north side ... as there is very few inter-war flats and therefore no distinct architectural reason for its inclusion. Further, the south side of O'Donnell street is zoned as medium density while the north side is zoned low density. ... For consistency, the north side should be excluded. Waverley needs to look forward and less looking back. The area is a mess and the best solution is to allow development and facilitate progress ... It seems like a bunch of lefties are trying to sell the benefits of conservation but are hiding the implications for development ... Look forward not back ... Council would be better placed using rating payers money to improve the streetscape than bothering with all this historical stuff.</i></p>
<p><b>Comments from Council Officers</b></p>	
<p>It is noted that the objection contained in the letter by Hones Lawyers focuses on the Wellington St and Simpson St vicinity of the draft Bondi Inter-War UCA. This area is the subject of a DA that seeks the demolition of Inter-War semi-detached houses and flat buildings on Wellington Street.</p> <p>Council's Heritage Officers do not agree with Hones Lawyers' contention that the area contains a very low proportion of coherent, intact Inter-War RFBs or semi-detached dwellings. The Development Assessment for the sites has been lodged with council and its assessment is ongoing, with input from Council's Heritage Architect. The draft UCA has not prevented this DA being lodged for assessment.</p> <p>The lawyers' letter argues that less than 5% of the properties in the proposed UCA are listed as heritage items in the WLEP 2012. This does not equate with the buildings having no heritage significance. Council's last heritage assessment was conducted almost a decade ago. It is the reason Council undertook another Heritage Assessment of the LGA's historic building last year, which it is required to do periodically.</p> <p>Detailed historical research revealed that the 2012 LEP Schedule 5 heritage list required updating to reflect the growing affection for, and heritage significance to the LGA of its stock of Inter-War buildings. They provide significant historical character to the area and are held in high esteem by the community. Research conducted as part of the draft Heritage Assessment produced a growing body of knowledge about the architects of the Inter-War period and the significant architectural legacy they left Waverley and greater Sydney. That</p>	

legacy is the subject of ongoing study to help inform a DCP guidelines for managing these building's future.

Council heritage planners chose to use conservation areas at Bondi specifically because it captures the Bondi basin's rapid development history and its large-scale Garden City landscaping principles overlay.

It also relieves property owners of the more restrictive planning rules associated with individual heritage listing. Feedback from Bondi residents reveals that they love the Inter-War buildings and the character they create. The residential property sales market shows the buildings are highly sought after and regularly outperform buildings in terms of price.

The draft UCA does not represent a disproportionate and unreasonable imposition on the owners of those dwellings. The UCA will not prevent owners from carrying out renovations and upgrades of their properties. It will require only that heritage be considered as part of the DA process.

Public and Precinct Committee feedback on the draft Heritage Assessment reveals that residents are committed to and insistent on the protection of Bondi's heritage streetscapes and are opposed to large-scale redevelopment of the area's fine-grade streetscapes. Concerns have also been raised across the LGA about the damage the Codes SEPP is doing to the heritage fabric of the area.

The size of the UCA is not large when compared with other historic areas of Sydney, including Queens Park, Paddington, Mosman, Haberfield, Hunters Hill and North Sydney.

A UCA's heritage significance can be based on the type of architecture it contains, but it can also be based on the historical period in which it emerged and the consistency. Despite economic depression of 1929-1934, the momentum of Inter-War construction in the Bondi basin continued unabated until the outbreak of World War II, establishing a setting of brick and tile employed in the varied revival styles moving toward the beginnings of modern architecture evident in the Functionalist designs of the late 1930s. This underlies the draft Bondi O'Brien Estate and the Bondi Inter-War UCAs, which have architectural, historical, aesthetic and streetscape significance.

Council is aware, as argued in the Hones' letter, that the draft conservation areas, if endorsed, may increase the number of heritage DAs with associated planning issues. This will not impact significantly on the planning rights of property owners. The majority of DAs required for renovation work in the area will not necessitate costly heritage assessments.

It is also not accurate that heritage listing detrimentally affects property prices in Waverley – the past year alone has seen property records broken in the Bondi Basin, with many properties selling for hundreds of thousands of dollars over their reserve price. Among the reasons for this are the prized heritage streetscapes of the Bondi basin that emerged in the Federation and Inter-War years and are now around 100 years old.

**Draft Panel recommendation – subject to panel input:**

**The Independent Expert Panel:**

1. Notes that 16 public submissions were received on the draft Bondi Inter-War UCA, with the majority in support.
2. Supports the draft Bondi Inter-War UCA, which demonstrates the town planning principles of Inter-War suburban planning, combining broad planted avenues with the emerging form of the residential flat building.
3. Supports future development in the Bondi basin that maintains the historical streetscapes that contribute to the heritage and the strong local character of the area.
4. Supports the retention of the human-scale streetscapes that promotes walkability and places where locals can engage and connect.
5. Recommends the conservation areas be more strongly considered in the assessment of Development Applications by doing the following:
  - a) Comprehensive and detailed Development Control Plans and Design Guidelines be prepared to guide future development in the Urban Conservation Area to protect these special character areas.
  - b) Council investigate other mechanisms to protect internal and external heritage fabric to buildings in conservation areas.
  - c) Council investigate the use of floor space ratio bonuses in conservation areas and that they be subject to the retention of core (internal and external) fabric and streetscapes.

3.4 Avoca Estate UCA	
<p><b>Draft Heritage Assessment proposes a new Heritage Conservation Area south of Bondi Rd from Denham St to Avoca St (see map)</b></p> <p><b>Statement of Significance:</b>  <i>Demonstrates the forms and streetscapes of commuter-based housing resulting from subdivision of mid-19th century villa residences. The area has historic, aesthetic and social significance as a demonstration of Waverley's evolution from isolated gentleman's residences to close-set suburban housing. Aesthetically significance streetscapes of cohesive form and scale.</i></p>	
<b>Public feedback</b>	
<b>In support of UCA</b>	
	<i>Heritage is very important. We live in a house that is over 100 years old - it should now be heritage. Tamarama Street is so busy with cars. The heritage houses have been damaged for that transport – the street is narrow and so dangerous from much rushing cars. All houses on Tamarama Street are over 100 years old. The traffic is very bad, the noise and vibration is so strong that it is destroying our property. Tamarama Street should have been heritage years ago.</i>
	<i>I value the streetscapes of old Waverley and dislike the houses that clash with the character of the area. I am very supportive of the UCA.</i>
	<i>Concerned that old houses in the Avoca estate are allowed to be knocked down</i>
	<i>I feel it is very important to document the history of the area we live in. There are so many amazing stories to be told. Re Avoca Estate: Living on Tamarama St, we're concerned about the increased traffic on our road. We would like to see if it would be possible to make it a no through road or to develop a traffic plan so that the traffic is balanced with other streets in the Avoca Estate - Jackaman, Tasman and Philip. We feel that the current use of Tamarama St as a busy thoroughfare undermines the heritage merit of the street and the coherence of the broader Avoca Estate. This would better integrate Tamarama St into the broader Avoca Estate. It would also ensure a more appropriate use of the street befitting its</i>

	<p><i>proposed status as one of Waverley's most important heritage streetscapes. It would improve the street's heritage merit by driving investment in the maintenance and improvement of housing stock. And also importantly, it would improve the safety of people living here, particularly the increasing number of young children.</i></p>
	<p><i>Capturing and preserving buildings and streetscapes from the past, such that they can be enjoyed by future generations. I'm very supportive of the Avoca Estate UCA and protecting the buildings that make up the streetscapes of this defined area. This UCA area has a large proportion of Federation buildings, which are mostly in their original forms. In particular Tamarama St has quite possibly the largest proportion of such buildings in the UCA, a large proportion unrenovated which should be preserved. For too long this street has been neglected and used as a thoroughfare to Bondi. This proposal will give this street the credit and protection it deserves, and is long overdue. As such, council should strongly consider the traffic management through the Avoca UCA. Tamarama St bears the brunt of the traffic in the area, and in my opinion a higher volume and average speed than is safe for such a narrow street. The road surface is in a poor condition as a result and is not maintained to the same standard as other streets in the Avoca UCA. Consideration should be made to blocking, or severely restricting, the street to through traffic. This was previously successfully conducted in Avoca St, and would align Tamarama St to the same heritage merit as the remainder of the UCA. The flow-on effect would be more investment in the street, which in turn would lead to greater conservation of the building stock on the street that has yet to be renovated. If the status quo is maintained, the busy street would continue to deter investment and undermine the principle of the proposed Avoca UCA - Avoca Street itself being a working example ... Very supportive of protecting the streetscapes of the new Avoca UCA. It has a large proportion of Federation and Inter-War residences, which are predominately untouched. This proposal will aid in their preservation.</i></p>
	<p><i>I support creating a cohesive neighbourhood and preserving the unique character of the Avoca Estate while accepting stylistically appropriate updates and</i></p>

	<p>renovations. Reading the history of the neighbourhood was really interesting and made me feel much more connected to my community ... Tamarama St is a major thoroughfare for our neighbourhoods. This makes it much different and less cohesive than the other much quieter streets of the rest of the estate. I support the proposal to change Tamarama St into a no-through street on the basis of the heritage assessment but also on the basis of public safety. It's a very narrow street and we often deal with cars either aggressively accelerating after the speed bump or coming down Tamarama St in the wrong direction. Uber directs drivers to travel southbound on Tamarama St. This is illegal and dangerous. The other streets in the Avoca Estate have created a cohesive and community feel as they aren't a major thoroughfare to local traffic trying to bypass Bondi Rd. I'm not aware of any successful heritage project that accommodates excessive traffic particularly when many drivers on a daily basis ignore road rules ... Many residents on Tamarama St are in favour of making a no-through-street on the grounds of heritage and safety. I hope it is a position you are willing to consider.</p>
	<p>As a resident of Tamarama St, I love the idea of a designated heritage neighbourhood ... I got lost in history of the neighbourhood and loved how history is reflected in the street names and parks. ... I am concerned by that high amount of traffic, often speeding, and cars travelling the wrong direction on Tamarama St. It doesn't seem to make a lot of sense that Tamarama St is a small, narrow street but carries more traffic than Alfred St and perhaps the equivalent to Watson St (and is much narrower than Tasman, Jackaman and Avoca streets which are part of the Avoca Estate). A busy thoroughfare doesn't seem to align with the goal of creating a cohesive heritage zone. ... If changing it to a no through street isn't a viable option, I'd like to open a conversation to adding another speed bump at the Phillips Street end and somehow work to stop cars going in the wrong direction. I join my neighbours in supporting changing to a no through Street on the grounds of heritage and safety.</p>
	<p>We need to retain some of the original architecture and style that can't be replicated in this modern mass-produced world. It makes it unique. However this also</p>



	<p><i>needs to include information about the original inhabitants, the First Nations people.</i></p> <p><i>To make it possible for a new Urban conservation area I am providing feedback on traffic flow. The proposed Avoca UCA cannot be taken seriously unless Tamarama St is turned back into a safe residential street. Currently it is a major arterial road for traffic heading to Bondi Beach. The current volume of traffic undermines the heritage merit. The traffic needs to be brought into line with the other residential streets in the proposed Avoca Estate UCA. We propose that Tamarama St be closed off to through traffic. This will allow the street to be integrated into the broader Avoca Estate and return it to a more appropriate use befitting its proposed status as one of Waverley's most important heritage streetscapes. Importantly, it improves the safety of people living on the street, particularly the many young children. It will stop the countless oversize trucks and buses getting stuck at the end of the street as they try and turn into Farrellys Ave. Tamarama St is a very narrow residential street, it's not meant to be a thoroughfare. This proposed UCA is the appropriate time to make Tamarama St a no through road (like the council did with Avoca Street 25 years ago).</i></p>
	<p><i>I am writing about the draft Heritage Assessment. I support the heritage protections proposed in the plan but I do not think it goes far enough. I have lived in Waverley for a long time and progressively I have seen a loss of so many of the heritage buildings. It is continuing. Stronger protections are needed. The proposal helps but it needs to go further. My specific comments are:</i></p> <p><i>1: Heritage has been so badly managed since the 1960s and there are many parts of our suburbs that are quite frankly now ugly, due to poor planning decisions, and a general "free for all" for developers. Even in recent times demolition of many heritage buildings has been allowed.</i></p> <p><i>2: Listing the Avoca Estate for heritage protection – I live in those streets and think it is a good idea to protect them. I support this. It might help particularly on Bondi Road where there are a lot of heritage buildings, many in poor condition and so ripe for developers to look at them for demolition. Far too many buildings in the Waverley LGA will still have no heritage protections – e.g. the row of terrace houses on the southern side of Bondi Road at the</i></p>

	<p><i>top near the intersection with Council Street. This is just one example, but there are many others. The Council should further review other buildings and strengthen the heritage protections, as they are not strong enough and not enough heritage is protected.</i></p> <p><i>Please stand firm on the Youth Hostel in Fletcher Street. I see that Council is proposing to add this to the Heritage list. It is already the subject of a demolition proposal. It is an intact art deco example of sea side architecture. It adds so much character to our suburb. Please stand firm on the proposal to list this as demolition of that building would be yet another loss of Waverley heritage. There is so little left given the mistakes of the past.</i></p>
	<p><i>It is proposed that Tamarama Street be included in the Urban Conservation Area which I think is a wonderful proposal. The streetscape tells the story of a bygone era, a quiet, family friendly street. The street however does not feel like a bygone era, far from it in fact. It is very busy, with cars and trucks speeding and weaving their way through the back street of Bondi in an effort to get where they are going faster! It's dangerous.</i></p> <p><i>My kids can't play in the front or ride their bike. The community doesn't come out onto the street as it is just too busy, dangerous and unpleasant. It is damaging the social fabric of the area - an area that is considered significant enough to be turned into an Urban Conservation Area. Council should consider blocking Tamarama Street to through traffic as part of the Heritage Assessment. It would also support the residents in building a community.</i></p>
	<p><i>Keeping heritage within the area is important for future generations to appreciate the past. Nobody wants to live in an over-developed array of buildings without consensus. Heritage allows history to be preserved, whilst accommodating improved designs. I support Tamarama St being heritage listed on the grounds that Tamarama St ceases to be a through road. Tamarama St. In order to be consistent with the heritage, the street should be a dead end, like Avoca St. Tamarama St is not safe for children with speeding traffic ... [and is] unsafe in general (truck and cars continually driving up against the one-way flow). The one way nature ... has made it a haven for speeding</i></p>

motor bikes at night ... Appropriate traffic measures are lacking (speed cameras, traffic flow inhibitors - eg at least 2 x chicane). It seems the only appropriate measure is to remove the thoroughfare nature to preserve the local streets as a safe, low-traffic, slow-speed environment. I have personally undertaken in excess of 200 hours of renovations to undo and repair appalling workmanship on our old girl (our semi). There are issues with the Federation style houses that lead to mould, damp air, poor air quality, dangerous materials (asbestos in the soil) which all cause significant health issues. The plan has failed to take into account that some measures like skylights, opening areas of the house to promote airflow, changing windows to modern standards, removing walls of lime mortar only, reconstructing front porches are done so to facilitate improved health for the occupants. It seems somewhat perplexing that health is relegated behind 'theme.' The report cannot claim that heritage will not be detrimental to pricing when all feedback from the agents and industry clearly trends towards significant detrimental impact to owners. There was no supported evidence from an independent body to support the statements made regarding the potential for property value increases made by the report. In order to offset the detrimental impact of heritage listing, it would seem a counterbalance is required of equal measure. Such a measure would be for example closing off Tamarama St and easing restrictions around off-street parking rules. Access to grants was a deceptive play on fact. Architects familiar with the process have been quick to point out, that by accessing the grants the property becomes a named heritage site resulting in more restrictions.

Keeping high-density development out of Tamarama is essential to the future of the area. Stopping through traffic on Tamarama St will help to restore Federation of the area and address the safety issues. Speeding traffic, wrong way traffic and excessive traffic have made the street unsafe for young children that is consistent with a heritage area like Avoca Street. Without the balance of closing Tamarama St as a thoroughfare like Avoca St, the owners in Tamarama St will see significant depreciation in the values of their properties. We have invested time, effort and significant resources for our homes and deserve the right to protect homes from significant financial detriment.

	<p><i>We have also spoken to builders who have advised that proposed works will be limited and costs will increase by at least 30%. Agents have advised the valuations are most likely to reduce by between 15-25%...</i></p> <p><i>Please listen to the pleas of residents who stand to lose hundreds of thousands of dollars. We are not developers, we just want the right to be respectfully heard and action taken. We do not need lip service, rather we need clear action ... There is a strong community sense that 'council is just doing what they want and don't care about residents. Unless we are a big developer who can donate significant funds we will not be heard.'</i></p> <p><i>The dip in Tamarama Street is still an active water course. It would be amazing to see that watercourse restored to natural beauty.</i></p>
<b>Objections to the UCA</b>	
	<p><i>The creation of new conservation areas is not justified and is not in the best interests of ... the residents who live in the area. It is unjustified and creates an unwanted restriction and obstacle to development and the ability of the property owners to adapt to the rapid changes in society and our daily lives. The statement of significance relates to sub-divisions and the layout of the area, however this has been significantly changed and altered in recent decades. The majority of properties are modern and do not have any heritage significance and the streetscape has also been changed with new road alignments, gutters, road surfaces and the removal of vegetation in the road reserves. We strongly object to the creation of the Avoca Conservation area. We need progress and more efficient methods of development and more flexible and efficient ways to complete modifications of our houses. The community, our lifestyles and the needs of people are rapidly changing and adding an unnecessary layer of an unjustified conservation area of no significant benefit to the LGA, the Community and in particular, the people who have to suffer the restrictions, obstacles, delays and costs of living in and owning a property in an area the Council propose to be changed to an urban conservation area.</i></p>

	<p><i>I would like to voice my strong disapproval of the proposal to create a heritage conservation area in the Avoca St area for the following reasons:</i></p> <p><i>1) The nature of the area is already of mixed architectural styles.</i></p> <p><i>2) The creation of a UCA will dramatically reduce the freedom of residents to maintain and improve their properties.</i></p>
	<p><i>Denham St should be removed from UCA.</i></p>
<p><b>Comments from Council's Heritage Officers</b></p>	
	<p>It is not the case that conservation areas present an obstacle to development of owner's properties. The planning system allows for change in a managed way, with heritage issues being one part of the Development Assessment process associated with conservation areas. It allows for sympathetic development of heritage places through an approvals process that ensures the retention of what is significant in a streetscape or property. This process helps maintain the quality and desirability of an area.</p> <p>Conservation areas contain buildings that contribute to the heritage fabric of the area, and others that do not contribute. Both can be developed within existing planning system. The presence of modern buildings in a conservation area does not necessarily affect its heritage significance.</p> <p>The buildings and streetscapes of the Avoca Estate have been assessed using the NSW Heritage Office 7 criteria. Most buildings of heritage significance within Waverley's draft conservation areas meet more than one of those criteria for heritage listing.</p> <p><b>Does owning a heritage building in a conservation area significantly increase the cost of a renovation?</b></p> <p>Minor changes to heritage buildings can be completed using a Heritage Exemption Certificate, at limited cost. Renovation work to non-contributory buildings is completed using a standard DA with limited input required from a heritage consultant.</p>

Heritage buildings in conservation areas are required to meet standard DA regulations including FSR, zoning, building height, setbacks and overshadowing, with particular attention paid to preservation of historic facades. The DA rules do not prevent second-storey additions on such buildings.

**Does heritage listing prevent demolition of a property?**

Heritage listing does not mean a property cannot be demolished. It requires an extra level of assessment as part of a DA. Demolition is also possible if the condition of a building is poor and the repair cost too onerous, or if there has been a loss of integrity over time. If approval is sought for demolition, a Heritage Impact Assessment may need specific expert advice and this could add to costs.

**Were residents affected by the proposed changes properly briefed on the impact of conservation areas?**

The draft Heritage Assessment was on public exhibition for 13 week – 7 weeks longer than required. All owners were notified of the proposed changes, with more than 7000 letters sent to individual owner's addresses. Council's Heritage Planners were available to discuss the recommendations for the full 13-week period of public exhibition. Half way through that period, Council uploaded a fact sheet - *Heritage Listing - how it impacts on development* - to the draft Heritage Assessment Have Your Say webpage. It provided feedback to common questions about heritage listing arising out of the public consultation on the draft Assessment.

The type of additions and renovations likely to be approved by Council in a Conservation Area such as this one are very much those already existing in the Avoca Estate - except for some tall walls to street frontages that would not be allowed under existing controls.

It is recommended owners look at Queens Park to assess the positive outcomes achievable for streetscapes in conservation areas.

**Being in a conservation area does not limit the ability of property owners to sell a property?**

Evidence gathered in the Waverly LGA shows that being in a conservation area does not limit an owner's ability of



	sell. Property market analysis shows that heritage residences in Waverley are in high demand and frequently sell at a premium.
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**Draft Panel recommendation – subject to panel input:**

**The Independent Expert Panel:**

1. Notes that 14 public submissions were received on the draft Avoca Estate UCA, the majority in support.
2. Supports the new draft Avoca Estate UCA as a significant grouping of attached and semi-detached housing of the Federation and early Inter-War period constructed on progressive subdivisions of former Villa Estates established in the 1850s on the south side of Bondi Road that demonstrate the forms, details and streetscapes resulting from extension of tram services along Bondi Road of the late 19<sup>th</sup> Century.
3. Recommends that council assess traffic management through the Avoca UCA. Consideration should be given to blocking or severely restricting the street to through traffic. This would align Tamarama St with the same heritage merit as the remainder of the UCA.
4. Recommends the conservation areas be more strongly considered in the assessment of Development Applications by doing the following:
  - a) Comprehensive and detailed Development Control Plans and Design Guidelines be prepared to guide future development in the Urban Conservation Area to protect these special character areas.
  - b) Council investigate other mechanisms to protect internal and external heritage fabric to buildings in conservation areas.
  - c) Council investigate the use of floor space ratio bonuses in conservation areas and that they be subject to the retention of core (internal and external) fabric and streetscapes.

#### 4.0 Discussion

1. Further Panel comments on Waverley's draft urban conservation areas
2. Further Panel comments on the role and use of UCAs as a tool for heritage protection
3. Further Panel comments on other planning options for protection of heritage buildings
4. From Panel's experience, which planning frameworks are most effective in NSW for protecting and conserving heritage buildings?

## Draft Heritage Assessment – Independent Expert Panel Meeting 2

### Agenda

Date: 8 March 2021

Time: 9.30 am to 1.30pm

Location: Council Chambers – Queens Park Room

### Attendees:

Name	Title	Initials	Name	Title	Initials
Kate Denny	Heritage Consultant Lucas Stapleton Johnson	KD	Tim Williams	Manager, Urban Design and Heritage, Urban Planning Policy and Strategy, Waverley Council	TW
Roy Lumby	Heritage Consultant Tanner Kibble Denton	RL	Colin Brady	Heritage Architect Waverley Council	CB
Steven Thomson	Community Representative	ST	Anne McGoverne	Strategic Planner (Heritage) Waverley Council	AM
			Fleur Mellor	Strategic Planner (Heritage) Waverley Council	FM

### Apologies:

### Agenda items:

No.	Item	Action
1.0	<b>Apologies &amp; Introduction - Tim Williams</b>	
2.0	<b>Discussion on draft Heritage Assessment – amendments to existing conservation areas</b> <b>Documents provided:</b> <ol style="list-style-type: none"> <li>Brief history of Waverley (extracted from Volume 1 of the draft Heritage Assessment) – titled: <i>Historic and Architectural Overview</i></li> <li>Fact Sheet: <i>Heritage listing – how it impacts on development</i> (Uploaded to Waverley Council's Have Your Say webpage during public exhibition of the draft Heritage Assessment in response to common questions from the public)</li> <li>Summary Sheets for each draft amended urban conservation area (extracted from Volume 1 of the draft Heritage Assessment)</li> <li>Character Studies for each draft amended urban conservation area (extracted from Local Character Statements project)</li> </ol> <b>Full Heritage Inventory Sheets for each amended UCA (provided as attachments)</b>	
2.1	<b>Palmerston Estate Urban Conservation Area – proposed reduction in size</b> <ul style="list-style-type: none"> <li>Discussion on public feedback</li> <li>Heritage Architect to address queries</li> <li>Draft Recommendation to Council</li> </ul>	
2.2	<b>Charing Cross Urban Conservation Area - proposed extension in size</b> <ul style="list-style-type: none"> <li>Discussion on public feedback</li> <li>Heritage Architect to address queries</li> <li>Draft Recommendation to Council</li> </ul>	
2.3	<b>Yanko-Lugar Brae Urban Conservation Area - proposed extension in size</b> <ul style="list-style-type: none"> <li>Discussion on public feedback</li> <li>Heritage Architect to address queries</li> <li>Draft Recommendation to Council</li> </ul>	



2.4	<b>Grafton Street Urban Conservation Area - proposed extension in size</b> <ul style="list-style-type: none"><li>▪ Discussion on public feedback</li><li>▪ Heritage Architect to address queries</li><li>▪ Draft Recommendation to Council</li></ul>	
2.5	<b>Dickson Estate Landscape Conservation Area – new draft LCA</b> <ul style="list-style-type: none"><li>▪ Discussion on public feedback</li><li>▪ Heritage Architect to address queries</li><li>▪ Draft Recommendation to Council</li></ul>	
2.6	<b>Calga Reserve inclusion in South Bronte Landscape Conservation Area</b> <ul style="list-style-type: none"><li>▪ Discussion on public feedback</li><li>▪ Heritage Architect to address queries</li><li>▪ Draft Recommendation to Council</li></ul>	
3.0	<b>Discussion</b> <ul style="list-style-type: none"><li>• BCA's modified compliance standards for heritage buildings.</li><li>• Planning frameworks in NSW that are most effective for conserving internal fabric identified for retention, conservation and/or upgrading.</li><li>• Ways of managing the impact of exempt and complying development provisions (Codes SEPP) in conservation areas?</li><li>• Best practice in the management of colour use in conservation areas.</li><li>• How best to manage signage in heritage areas.</li><li>• Best practice for street trees of heritage significance</li></ul>	

**Meeting 2:  
AGENDA and DISCUSSION  
Independent Expert Panel**

**2.1 - Palmerston UCA reduction**

**Draft Heritage Assessment proposes a reduction in the size of the existing Palmerston Urban Conservation Area (see map)**

**Statement of Significance:**

*Inter-War flats buildings to the corner of Palmerston Avenue and Dickens Street provide a benchmark for the beginnings of stylistic change of the residential flat building from Inter-War to Post-War periods.*

**Public feedback**

**Support for existing UCA but opposed to reduction in size of UCA**

	<p><i>Disregarding our heritage lessens the quality of our experience of this wonderful place. Despite some protections, there has been too much unsympathetic development in Waverley.</i></p> <p><i>Very happy to endorse all of these proposals in the draft Heritage Assessment, although not the reduction of the area of the Palmerston Street UCA, which strikes me as establishing a retrograde precedent. If something has been valued as heritage, it only gains value over time.</i></p>
	<p><i>I strongly oppose the Palmerston Street area being unlisted from the heritage group of area. These inter-war flats are of significance, especially as they are a coherent grouping which has remained intact. It would seem that these could be demolished and if even one is gone the group could lose its significance.</i></p>
	<p><i>I read with some concern that a number of the blocks of flats in Palmerston Avenue may lose their Heritage Listing. These flats as a group represent an era in the history of Waverley and so need to be preserved as a group. Once the group is broken up by demolishing some of them it will have lost much of its heritage value. As a result it will then be asserted by developers that the remaining items should also be demolished. It is a death by 1000 cuts! The blocks that replace them will, like the one replacing the Waverley</i></p>

	<p><i>Bowling Club, result in larger structures that choke the already heavy traffic and overshadow the houses in the area creating an ugly concrete jungle.</i></p> <p><i>If the Corona virus epidemic has taught us anything it is that these high-density air-conditioned structures become incubators that breed disease and kill. We should build with a view to learning this lesson. Do not remove the Heritage listing. Preserve this part of our history.</i></p>
	<p><i>I see on the Waverley website that there is a proposal to reduce in area the current conservation area along both sides of Palmerston Ave from Dickson St to Brown Street. The buildings in this area comprise a coherent group of inter-war and post-war flat construction. Their value is in keeping the whole grouping to show how these buildings form a complete landscape. The buildings are intact and have been altered very little, if at all, on their exteriors since they were constructed.</i></p> <p><i>I see also on the list of proposed conservation items that there are a number of individual flat buildings from this period under consideration for inclusion in a conservation document. Considering this, and the clearly perceived value in retaining this architecture, it is substantially more worthwhile to conserve the cohesive grouping in Palmerston Ave. I strongly oppose the reduction in conservation area along the length of Palmerston Ave, on both sides, and wish to have this opposition recorded. I am keen to see the removal of the reduction, and hence the conservation area retained along Palmerston Ave from Dickson to Brown Street, Bronte.</i></p>
<b>Support for reduction in size of UCA</b>	
	<i>Pleased the UCA has been reduced in size.</i>
<b>Response by Council Officers</b>	
	<p>Concerns that the coherent group of inter-war and post-war flat buildings on Palmerston Street, Bronte, are to be excised from the UCA are unfounded.</p> <p>The significant apartment buildings to the west of Dickson St in the existing Palmerston UCA remain within the extent of the reduced UCA boundary.</p>



	<p>The confusion appears to have arisen from confusion over the way the existing UCA and the reduced UCA were mapped in the draft Heritage Assessment.</p> <p>The intention of the UCA reduction is to keep the historically significant inter-war and post-war flat buildings on Palmerston Street, west of Dickson Street, wholly within the UCA, while removing the less significant streetscapes east of Dickson St from the UCA.</p> <p>Council officers agree with respondents that there is value in keeping the whole apartment building grouping to ensure the streetscape is conserved as a record of the transition of architectural styles from Inter-War to Post-War development. The buildings are intact and are little altered.</p> <p>Question for the panel: does the reduction of the area of the Palmerston Street UCA establishing a retrograde precedent for other UCAs?</p>
<b>Draft Panel recommendation – subject to panel input:</b>	
<p><b>The independent Expert Panel:</b></p> <ol style="list-style-type: none"> <li>1. Supports the reduction of the Palmerston UCA to the mapped new boundaries.</li> <li>2. Recommends the conservation areas be more strongly considered in the assessment of Development Applications by doing the following: <ol style="list-style-type: none"> <li>a) Comprehensive and detailed Development Control Plans and Design Guidelines be prepared to guide future development in the Urban Conservation Area to protect these special character areas.</li> <li>b) Council investigate other mechanisms to protect internal and external heritage fabric to buildings in conservation areas.</li> </ol> </li> </ol>	

## 2.2 - Charing Cross UCA extension

**Draft Heritage Assessment proposes an extension in the size of the Charing Cross Heritage Conservation Area (see map)**

The existing Charing Cross HCA covers Waverley's oldest and most intact commercial centre, dating from its days as a small service village on the road to Coogee and on to Governor Lachlan Macquarie's watchtower at La Perouse, erected in 1822. The centre pre-dates Bondi Junction as Waverley's commercial hub and was established from land grants made in the 1830s. In 1859, Waverley was inaugurated as a municipality at Charing Cross (then known as Madden's Corner). Its long history remains visible in the streetscapes, characterised by rare, mid-Victorian shops interspersed with two-storey retail facades of late-Victorian, Federation and Inter-War styles, and Post-War infill. The proposed HCA extension includes buildings of those eras including Henry, John and Edmund streets (the Cannonbury Estate) to the west, and along Victoria and Prospect streets to the east.

### **Statement of Significance:**

*The streetscapes retain notable 19th and early 20th buildings of both state and local heritage significance. The high integrity of the built form in the area records the historic evolution of a place from an early village east of Sydney. The slowing of growth in post-World War 2 ensured the preservation of the historic fabric of Charing Cross.*

### **Public feedback**

#### **Support for the draft UCA extension**

#### **Queens Park Precinct Committee feedback**

*The Queens Park Precinct Committee is pleased with Council's interest and efforts in undertaking this heritage assessment.*

*Local residents in Queens Park, one of the oldest and best preserved areas in Waverley, have shown strong interest in heritage preservation over the years at both our public meetings and in contacts with the committee.*

*The committee has considered the document and has attached some comments and suggestions in response. We welcome the addition of a number of new urban and landscape conservation areas and the expansion of others.*

*1: We note that one aim of the study is to "educate and inform Waverley's residents about heritage protection" and support this as an important action.*

*2: We also support further "analysis and assessment of Waverley's cultural heritage" and "ongoing research".*

	<p>3. The committee supports the extension of the Charing Cross and Grafton St UCAs.</p> <p>4. The detailed history provided of each of the proposed new heritage areas was very interesting and informative. If this information is to be included in a public document on Council's website, perhaps the same analysis of existing areas, including Queens Park Conservation Area, could also be included.</p> <p>5. With the addition of a number of new UCAs and LCAs, we believe that all heritage areas and Special Character Areas should be consolidated in one part of the DCP and listed in the index. Currently, Queens Park and Charing Cross conservation area are Annexures to Part B of the DCP and do not appear in the index. This lack of prominence belies their importance. On the other hand, Special Character Areas (Bondi Heights, North Bondi and Ben Buckler) are located at the start of Part C <u>and</u> appear in the index.</p>
Charing Cross Village Precinct	<p>The Heritage Assessment is a great document. Some issues in Charing Cross:</p> <p>A recurrent problem in Charing Cross village heritage strip is when alterations are made to heritage buildings for contemporary uses, and these apparently require compliance with current BCA standards, particularly for fire rating. This can result in significant and lasting damage to heritage buildings. This is always a problem in restoration and/or recycling heritage buildings, and some help towards addressing gaps to improve outcomes will be welcome. For example:</p> <ul style="list-style-type: none"> <li>• Heritage Office have guidelines for restoration of heritage buildings and how to meet contemporary building standards</li> <li>• BCA modified compliance standards for heritage buildings</li> <li>• Upgrade the DCP chapter (villages?) to identify and deal with conservation of heritage buildings, including in the conservation area where buildings may not be individually listed.</li> <li>• Identifying internal fabric for retention and conservation and/or upgrading</li> <li>• Exempt and complying provisions apply to heritage buildings and/or conservation areas.</li> </ul>

## Objections to UCA extension

*I totally disagree with putting Henry Street under heritage listing when the vast majority of homes have been rebuilt and show little resemblance to 1840-1930 or pre-1950 architecture. Bronte Rd Charing Cross has historical significance.*

*Henry Street, in Queens Park, should not be heritage listed. There are 40 houses/blocks of apartments in this street. Of the homes, maybe one shows an example of 1850-1930 architecture (as per your designated "Construction Years" in the NSW State Heritage Inventory form); and maybe six to eight are examples of houses built between 1931 and 1950. One of these houses is dilapidated and actually unliveable (no one has resided there for years) and few of these houses would be considered fine architectural examples of the era. The red and brown brick apartment blocks are not reflective of the period you wish to preserve. The majority of buildings in Henry Street display contemporary architecture. We have several brand new homes in our street, and in fact new house construction is currently occurring. Given the mixed character of Henry Street, why is there a need to put a heritage listing over the entire street? I think it is highly unreasonable to put heritage listing restrictions over the properties of current homeowners. Council already has measures available to list homes of heritage significance.*

*Why not use that tool to preserve significant historical buildings in the area? Why blanket the entire street via a conservation ruling, when most homes have little heritage significance?*

*I am supportive of the facades in Bronte Road, Charing Cross, being preserved. However, you need to address prior approvals that are a blight on the aesthetics of the area - notably the Commonwealth Bank being painted a lurid yellow; EzyMart signage of bright blue and orange; garish signage belonging to nail bars. I could add further examples; the point is ... I don't think you can push for heritage status on one hand; yet approve ostentatious signage as noted above on the other.*

<b>Comments from Council Officers</b>	
<b>Heritage buildings: BCA compliance; impact of Code SEPP DCP comppliance</b>	<p>Upgrading heritage buildings to meet BCA standards, while retaining fabric of historical significance, remains a challenge. BCA fire compliance is one problematic area and has resulted in damage to heritage significance at Charing Cross.</p> <p>Council officers would welcome the Expert Panel's input on the following issues:</p> <ul style="list-style-type: none"> <li>• Knowledge of helpful guidelines for restoration of heritage buildings to meet contemporary building standards and BCA's modified compliance standards for heritage buildings.</li> <li>• Planning frameworks in NSW that are most effective for conserving internal fabric identified for retention, conservation and/or upgrading.</li> <li>• Ways of managing the impact of exempt and complying development provisions (Codes SEPP) in conservation areas</li> <li>• DCP Best practice in the management of colour use in conservation areas and how best to manage signage in heritage areas.</li> </ul>
<b>Heritage and Modern buildings in the same area – does it diminish the value of a UCA</b>	<p>Henry Street, John and Edmund Streets are worthy of inclusion in the extended Charing Cross UCA as part of the historic Cannonbury estate begun during the late Victorian building boom that had a significant impact on the layout and character of Waverley.</p> <p>It does not necessarily diminish the area's historical significance that there are new or modern buildings as part of the streetscape. Conservation areas can include buildings that contribute to the heritage significance of the streetscapes and buildings that do not.</p>
<b>Restrictions on owners in UCAs</b>	<p>Conservation areas do not impose unreasonable restrictions on owners. It simply means that heritage must be considered as one of the factors that decide how a building can be developed – in the same way that Floor Space Ratio is a factor in the development potential of a site. Conservation areas also impose fewer restrictions on property owners than individual listing.</p>

**Draft Panel recommendations – subject to panel input:**

**The Independent Expert Panel:**

1. Supports the extension of the Charing Cross UCA to the mapped new boundaries.
2. Recommends that the detailed history provided for each of Waverley's heritage areas be included in a public document on Council's website.
3. Recommends the conservation areas be more strongly considered in the assessment of Development Applications by doing the following:
  - a) Comprehensive and detailed Development Control Plans and Design Guidelines be prepared to guide future development in the Urban Conservation Area to protect these special character areas.
  - b) Council investigate other mechanisms to protect internal and external heritage fabric to buildings in conservation areas.
  - c) Council investigates the use of incentives in UCAs and heritage items to encourage the retention of core (internal and external) original and early fabric and streetscapes.



### 2.3 - Yanko-Lugar Brae UCA extension (formerly known as the Evans St UCA)


Draft Heritage Assessment proposes an extension of the Evans St Urban Conservation Area, to be renamed Yanko-Lugar Brae UCA (see map)

#### Statement of Significance:

*The proposed UCA extension demonstrates Waverley's early colonial history of marine villa land grants at Bronte which can still be traced in the extant subdivision patterns, street names and built forms. Subdivision of the estates was emblematic of and served to shape the set-out of streets and built pattern within the area and provided a legacy of house (Lugar St, Brae St, Lugar Brae Ave, Yanko Ave) and family names (Macpherson St, Evans St).*

#### Public Feedback

##### Support for draft UCA extension

<p><b>Bronte Beach Precinct Committee feedback:</b></p> 	<p><i>The BBPEC supports the expanded Urban Conservation Area of Evans Street to include retail and residential parts of Macpherson St, Chesterfield Lane, Yanko Ave, Gardyne St, Bronte Rd, Lugar Brae Avenue, Lugar St, Brae St, Evans St, Rose St, Violet St and Albert St.</i></p> <p><i>As well, it is pleased to see the amended Landscape Conservation Area of the South Bronte headland – Calga reserve.</i></p>
<p><b>Queens Park Precinct Committee feedback</b></p>	<p><i>The Queens Park Precinct Committee is pleased with Council's interest and efforts in undertaking this heritage assessment.</i></p> <p><i>Local residents in Queens Park, one of the oldest and best preserved areas in Waverley, have shown strong interest in heritage preservation over the years at both our public meetings and in contacts with the committee.</i></p> <p><i>We welcome the addition of a number of new urban and landscape conservation areas and the expansion of others</i></p> <p>...</p>
	<p><i>We very strongly support heritage and the extension of the existing Evans St HCA. We would like our area to exist as a conservation area - especially being so close to the church on Lugar Brae Ave (having existed since 1881) and the existing Federation home (the original rectory for the Church) ... Our aim is to protect this area. We believe that the subdivision DA proposal [at 2 Leichhardt St] amounts to heritage pillaging at the expense of a beloved, highly</i></p>

	<i>desirable neighbourhood with a proud historical heritage. 2 Leichhardt St is a Federation home flanked directly by two heritage listed buildings including the Lugar Brae Church built in 1881 and well over 50 heritage listed dwellings in the direct vicinity. It is believed that our home 4 Leichhardt St, Bronte, was constructed as a family dwelling between 1890 and 1915 ... We are very against this block being subdivided and developed.</i>
	<i>I located the relevant Yanko-Lugar Brae Inventory and skimmed the first 200 pages of Volume II. I would like to compliment you on this professional document. It is a wonderful and interesting read. I will definitely submit formal feedback and continue the read tomorrow. Thank you very much. There is more history than I have ever been aware of ... These publications must be promoted and supported by the GM and Councillors. It is like a PhD publication.</i>
	<i>Waverley has many extremely important historical sites and Bronte, my suburb, is a beautiful part of Waverley LGA (and Sydney). We cannot reinvent history and must preserve what we have. Styles must be maintained. The draft Heritage Assessment is great work - thank you.</i>
<b>Objections to UCA extension</b>	
	<i>The current heritage area adequately covers genuine heritage areas however the very large catch-all proposed area has minimal heritage significance &amp; would have substantial negatively impact to these properties. I believe at present that Waverley Council is falsely marketing heritage as a positive. Your heritage listing factsheet advised of "benefits" which I see as negatives. There is a 2/3 majority bias already on the panel with 2 heritage officers and one public, so this needs to change to better reflect dissenting views from what heritage views are. Would also like the Macpherson St shops removed from the HCA.</i>
	<i>I think it is important that specific heritage buildings are protected but I don't agree with the area specified in this assessment including Violet Street. I'm supportive of protecting beautiful heritage homes such as in Evans Street or Brae Street ... but I strongly oppose to</i>

	<p><i>including Violet Street. The development approval process already regulates developments enough with exorbitant cost attached. Heritage listing is putting even more restrictions, more processes, more administration and more cost on home owners for little to no value. Please make regulations easier and more cost-effective to be followed.</i></p>
	<p><i>Heritage only adds administration and overhead costs to property owners.</i></p> <p><i>I'm definitely supportive of heritage home protection on streets like Evans Street but, for example, Violet Street's inclusion will only add administration, bureaucracy, frustration and cost to individual homeowners. Also, large developers are still able to move past council on clear heritage items like preserving the Bronte RSL sub-branch.</i></p> <p><i>#bringbackthemeatraffle</i></p>
<b>Comments from Council Officers</b>	
<b>2 Leichhardt St DA</b>	<p>Comments relating to 2 Leichhardt St involved a DA for a modern dwelling to be built at the rear of the existing double-fronted Victorian house, which is not currently listed as an individual heritage item on Schedule 5 of the LEP, but is within the boundaries of the draft UCA extension. During the DA exhibition process, neighbours commissioned a heritage report on 2 Leichhardt St to submit as part of their objection to the development. The heritage report revealed that the house was built as the rectory of the nearby heritage-listed Lugar Brae Church. As part of the DA objection process, local residents also signed and lodged a petition with Council objecting to the DA. The DA was later withdrawn. Neighbours would like 2 Leichhardt St individually listed as a heritage item to prevent demolition or redevelopment of the site using the Codes SEPP. Council officers will consider this outside the draft Heritage Assessment process. The DA assessment process is separate to the draft Heritage Assessment.</p>
<b>Why increase the size of the Evans St UCA</b>	<p>Council officers do not believe the current Evans Street UCA adequately covers the "genuine heritage" of this area of Bronte. The Evans St UCA covers only a portion of the historically significant break-up of the lands of the large Marine Villa estates that characterised the early history of</p>

	<p>Bronte, beginning with the extant Bronte House. As the statement of significance for the draft UCA extension states, the area demonstrates Waverley's early colonial history of marine villa land grants at Bronte which can still be traced in the extant subdivision patterns, street names and built forms. Subdivision of the estates was emblematic of and served to shape the set-out of streets and built pattern within the area and provided a legacy of house (Lugar St, Brae St, Lugar Brae Ave, Yanko Ave) and family names (Macpherson St, Evans St).</p>
<b>Heritage and property prices</b>	<p>Waverley Council do not "falsely market heritage as a positive". Opinions are based on evidence from sale prices in the area for heritage properties, which reveal the market views heritage as a highly prized commodity.</p>
<b>Peer review of draft Heritage Assessment</b>	<p>The use of a heritage expert panel ensures that dissenting views on heritage are heard by an expert and objective panel and all recommendations are peer reviewed. It also ensures that Council's draft Heritage Assessment adheres to the standards expected of the wider heritage consultant industry.</p>
<b>Village centres and heritage</b>	<p>While one objector wanted to see shops at Bronte removed from the UCA extension, shop owners in the area surveyed for Council's Village Centres Strategy actively sought to have the shops heritage listed in some way.</p>
<b>DAs and heritage</b>	<p>The DA approval process for heritage buildings does not put onerous restrictions, processes, administration and cost on home owners for little value.</p>
<b>Heritage affects owners' ability to sell a</b>	<p>Evidence gathered in the Waverly LGA shows that being in conservation does not limit an owner's ability of sell. Property market analysis shows that heritage residences in Waverley are in high demand and frequently sell at a premium.</p>
<b>Heritage and renovation costs</b>	<p>Owning a heritage building in a conservation area does not significantly increase the cost of a renovation. Minor changes to heritage buildings can be completed using a Heritage Exemption Certificate, at limited cost.</p>

	<p>Renovation work to non-contributory buildings is completed using a standard DA with limited input required from a heritage consultant.</p> <p>Heritage and all other buildings in conservation areas and across the LGA generally are required to meet standard DA regulations including FSR, zoning, height and overshadowing. The DA rules do not prevent second-storey additions on heritage buildings.</p>
<b>Draft Panel resolution - subject to panel input</b>	
<p>The Independent Expert Panel:</p> <ol style="list-style-type: none"> <li>1. Supports the extension of the Charing Cross UCA to the mapped new boundaries.</li> <li>2. Recommends that further research be carried out on 2 Leichhardt Street to determine whether it should be listed as an individual heritage item on Waverley's updated Schedule 5 list. As a future and separate process to the draft Heritage Assessment.</li> <li>3. Recommends that the historical research in the draft Heritage Assessment be promoted and published on Council's website or other document</li> <li>4. Recommends that Council actively raise the profile of heritage in the LGA with events and open days involving items and places of heritage significance.</li> <li>5. Recommends that Council investigates listing more items on its significant trees register [Waverley Cemetery adjacent to St Thomas Street on Fig Tree Lane; Ellesmore, 23 Evans St (cnr Evans and Violet streets)] and identify potential tree avenues in heritage areas.</li> <li>6. Recommends the conservation areas be more strongly considered in the assessment of Development Applications by doing the following: <ol style="list-style-type: none"> <li>a) Comprehensive and detailed Development Control Plans and Design Guidelines be prepared to guide future development in the Urban Conservation Area to protect these special character areas.</li> <li>b) Council investigate other mechanisms to protect internal and external heritage fabric to buildings in conservation areas.</li> <li>c) Council investigates the use of incentives in UCAs and heritage items to encourage the retention of core (internal and external) original and early fabric and streetscapes.</li> </ol> </li> </ol>	

#### 2.4 - Grafton St HCA - extension

**Draft Heritage Assessment proposes an extension of the existing Grafton St UCA (see map)**

**Statement of Significance:**

*The UCA is a remnant of the historic Grafton Estate, now bisected by Syd Einfeld Drive, and the late-Victorian and Federation commercial streetscape of Oxford St. The Oxford St streetscape is the last commercial remnant in west Oxford St and remains historically consistent in character and form. The UCA's surviving built and natural fabric demonstrates important historical phases of the area's development, including late-19th and early 20th century speculative subdivision and commercial development responding to the growth of public transport (tramways) in mid-19th century Sydney. The area is also significant for its association with the growth of the heritage conservation movement in the 1960s. It was an early example of an area that received recognition by the National Trust and the Australian Heritage Commission through local community efforts.*

**Public feedback**

**Supportive of UCA extension**

Queens Park Precinct Committee	<p>The Queens Park Precinct Committee is pleased with Council's interest and efforts in undertaking this heritage assessment.</p> <p>Local residents in Queens Park, one of the oldest and best preserved areas in Waverley, have shown strong interest in heritage preservation over the years at both our public meetings and in contacts with the committee. We welcome the addition of a number of new Urban and Landscape Conservation area and the expansion of others.</p> <p>The committee supports the extension of the Grafton St UCAs, the latter hopefully ensuring the preservation of the western end of Oxford St in Bondi Junction.</p>
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**Objections to UCA extension**

	<p><i>I request the extension of Grafton Street UCA be rejected. I reside at 23 Grafton St - a dilapidated terrace house and one of four joined buildings. Recent DA approvals have changed the area from a village atmosphere into a densely populated strip of high-rise apartment blocks. Development approvals for 'The Gateway' project (194-214 Oxford St &amp; 2 Nelson Street Bondi Junction), the development at 59 Grafton Street (DA 482/2017A) and 55 Grafton Street (DA 155/2018) will effectively lock our premises into a dark hole, trapped in a wind tunnel</i></p>
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between high-rises. The time to create the heritage conservation area has passed. The quality of living from the once peaceful neighbourhood has been destroyed and the area now feels commercial to bordering on industrial with noise emanating from business behind, Syd Einfeld Drive in front (which recently had sound barriers erected on the Woollahra side and reflects sound towards the Waverley side), and the endless construction on already approved projects.

To apply heritage restrictions now will leave a pocket of low-rise surrounded by high-rise and will be a slap in the face of residents who stayed. The village atmosphere has gone and can never be recovered.

Your draft proposal states that the Grafton Estate is bisected by Syd Einfeld Drive. That occurred in the late 70s/early 80s. This page also states the section is 'abutted by high rise'. This acknowledges that Waverley Council recognise the situation the residents have been put in. The history of the area has already been lost with the estate being split by Syd Einfeld Drive and through the development surrounding the area. Your report references Oxford St as 'an important remnant of the visual presentation of Bondi Junction in the late 19th and early 20th century, now abutted by high-rise towers of the modern era'. This argument is lost through the development approval of 194-200 Oxford Street. You now have towering high-rise with a small pocket of low-rise and then back to high rise. It goes onto say: 'remains historically consistent in character and form' which I again say it is not for the reasons mentioned above.

There are about 3 properties along Grafton Street that retain some aesthetic characteristics from heritage era. No one can enjoy them due to the hole that has been created by development both existing and approved. These qualities can be found elsewhere in the Waverley LGA including York Rd, St Games Rd, Ruthven St, Mill Hill Rd, Ashton St, Rawson Ave and Denison St. More exist. These areas are not considered in your report strangely. These properties are not rare. In closing, I wish for you to kindly reject the proposed extension of the HCA along Grafton Street and Leswell Street.

	<p><i>I have received notice of your draft Heritage Assessment that relates to the properties I own at 232-236 Oxford St and 9-13 Nelson St, Bondi Junction.</i></p> <p><i>As 232 Oxford Street (the Nelson Hotel) is already an item of environmental heritage, I am less concerned at its inclusion in the heritage conservation area. However, I do express concern at the inclusion of my properties adjoining the Hotel as the objectives and heritage provisions will severely limit the potential for redevelopment and the enlivenment of this part of Bondi Junction. Also, as a major stakeholder, I am particularly disappointed that I have not been invited to participate in any consultation in the preparation of controls that may greatly inhibit the development potential of my properties in the future.</i></p> <p><i>Would you please note my concerns and ensure that I am invited to any consultation in the future that would seek to impose controls on my properties?</i></p>
	<p><i>Objection to the proposed inclusion of the block of properties 8, 10, 12, 14, 16 Leswell St, Bondi Junction, into the UCA extension on the following grounds:</i></p> <p><i>1. Conformity to the eastern side of Leswell St:</i></p> <p><i>8-16 Leswell St is in the immediate vicinity of commercial buildings on the eastern side of Leswell St, forming part of the business district surrounded by high-rises within the same block.</i></p> <p><i>This side of Leswell St contrasts with the western side of Leswell St, which comprises mainly of Victorian-era terrace houses.</i></p> <p><i>The proposed inclusion of 8-16 Leswell St into the HCA extension creates an apparent discrepancy with the existing commercial high-rise within the same block.</i></p> <p><i>2. Economic Value:</i></p> <p><i>Bondi Junction is a commercial, retail and transport hub, being Sydney's fifth largest business district and the largest retail centre in the eastern suburbs. The proposed inclusion of 8-16 Leswell St into the HCA extension impedes the utilisation of economic resources to accommodate future population growth in Sydney.</i></p> <p><i>3. Heritage significance already destroyed:</i></p> <p><i>This block was originally designed and built as a terrace of eight houses from 2-16 Leswell St. The terraces were dissevered, and completeness destroyed when 4 and 6</i></p>

	<p><i>Leswell St were demolished in the past for the construction of Hegarty Lane. 2 Leswell St became a standalone. The historical value of the terraces were already severely compromised and the significance of the properties already diminished.</i></p> <p><i>4: Increased compliance costs for existing owners: The cost of maintenance and insurance for properties included in the HCA extension would be substantially higher for existing owners budgeted for current conditions due to high compliance costs to conform with the historical character of the properties. The proposed inclusion of 8-10 Leswell St into the HCA extension will increase the compliance cost for existing owners. Therefore, 8-16 Leswell St should not be included in the proposed heritage conservation area extension due to its diminished historical significance, increased compliance cost for existing owners and these properties being within the same block on the eastern side of Leswell St for part of the business district surrounded by high-rises.</i></p>
<b>Comments from Council Officers:</b>	
 affect local heritage	It is noted that the Grafton Street UCA will be affected by the proposed development at 194 Oxford Street - which was approved, despite significant local objections, by the NSW Government.
<b>Reasons for heritage listing</b>	The Grafton Street UCA has been listed as a heritage area since the 1960s and its importance also relates to its association with the growth of the heritage conservation movement in the 1960s. It was an early example of an area that received recognition by the National Trust and the Australian Heritage Commission through local community efforts.
<b>Long-term effects of nearby development on heritage</b>	The quality of living in the once peaceful neighbourhood, as described by an objector, will not be destroyed by an extension of the UCA. The area has been affected by traffic noise since the 1970s. Extension of the UCA may help to improve the manner in which the area is treated in planning matters in the future.
<b>High-rise and heritage</b>	The history and village atmosphere of the area have not been lost. The area's historic buildings remains an

	important remnant of the visual presentation of Bondi Junction in the late 19th and early 20th century. The adjacent high-rise buildings serve to highlight the ongoing heritage significance of this last piece of early Bondi Junction which grew with the arrival of tram transport in the mid to late Victorian era. Its significance is supported by a number of individually listed heritage items within the street block.
<b>Heritage preserves important character</b>	While the aesthetic characteristics from the era can be found elsewhere in the LGA, none retain the Victorian street shop-front character along the first road to Waverley like this section of Oxford Street. The objector mentions York Rd, St Games Rd, Ruthven St, Mill Hill Rd, Ashton St, Rawson Ave and Denison St as similar in character. Most of these streets have also had their heritage significance acknowledged by placing them in UCAs.
<b>No change in planning regulations in UCAs of long standing</b>	Heritage provisions will not now severely limit the potential for redevelopment because the area has been operating under the conditions of a UCA since the 1970s. All stakeholders have been given the opportunity – via the 13-week public exhibition period on Council’s Have Your Say webpage - to respond to the new controls that are flagged by draft UCAs. All owners were notified by council letter of the draft Assessment.
<b>Old and new Waverley</b>	It is the case that 8-16 Leswell St are in the immediate vicinity of commercial buildings on the eastern side of Leswell St. The contrast between the two eras of development - Victorian-era terrace houses and modern towers – exemplify the development history of Waverley from its days as a small village to the east of Sydney.
<b>Heritage educates about change</b>	The UCA extension does not impede the utilisation of economic resources to accommodate future population growth in Sydney. It helps residents better understand the history of Waverley’s growth.
<b>Lost heritage fabric</b>	While the Leswell St terraces were originally designed and built as a row of eight houses, with 2 later demolished for the construction of Hegarty Lane, the

	historical value of the remaining row of terraces remains despite the loss.
<b>Heritage significance in various forms</b>	The UCA is a remnant of the historic Point Piper estate of the important early colonial figure of Captain John Piper. It also has historical significance dating from its ownership by Solomon Levey and Daniel Cooper, both important figures in the development of the eastern suburbs generally. Its surviving built and natural fabric demonstrates important historical phases of the area's development, including the growth of public transport (tramways) in mid-19th century Sydney. The area is also significant for its association with the growth of the heritage conservation movement in the 1960s.
<b>Draft Panel recommendation – subject to panel input:</b>	
<p>The Independent Expert Panel:</p> <ol style="list-style-type: none"> <li>1. Supports the extension of the Grafton Street UCA to the mapped new boundaries.</li> <li>2. Council renew dialogue with the Heritage Office about how the insurance industry responds to conservation areas to reduce costs for owners.</li> <li>3. Recommends the conservation areas be more strongly considered in the assessment of Development Applications by doing the following: <ol style="list-style-type: none"> <li>a) Comprehensive and detailed Development Control Plans and Design Guidelines be prepared to guide future development in the Urban Conservation Area to protect these special character areas.</li> <li>b) Council investigate other mechanisms to protect internal and external heritage fabric to buildings in conservation areas.</li> <li>c) Council investigates the use of incentives in UCAs and heritage items to encourage the retention of core (internal and external) original and early fabric and streetscapes.</li> </ol> </li> </ol>	

## 2.5 - Dickson Estate Landscape Conservation Area

Draft Heritage Assessment proposes a new Landscape Conservation Area to include mature street trees planted in Depression era on land that was once the Dickson estate (see map)

### Statement of Significance:

*Cohesive groupings of heritage fig street trees, most dating back to Great Depression unemployment relief tree planting programs of the 1930s. The Landscape Conservation Area has historic, aesthetic and social significance as a demonstration of the evolution of Waverley from isolated gentleman's residences to close-set suburban housing of the Federation and Inter-War periods. The streetscapes also have social significance as a demonstration of Depression-era work schemes. Aesthetic significance includes streetscapes of cohesive planting, type, scale form and alignment.*

### Public feedback

#### Support for draft LCA

How important is it to you to that heritage is conserved in the LGA? *Very important*  
 Please specify why. *Part of a diverse community feel Trees are overlooked in their place making capability. It's more than just tree ... it's the area around the tree and sight lines available to appreciate the tree.*  
*Feel that the amount of information docs are not sufficiently widely disseminated to be worth the effort.*  
*Waverley Aboriginal heritage – this is very important work.*  
 Are you supportive of the conservation of those, sometimes large, streetscapes? *Very supportive.*  
*Francis St has wonderful trees and they make it the best street in Bondi.*

#### Objection to draft LCA

*It's a balance, sometimes you have to move on from the past. Dickson LCA - preservation of fig trees has its upsides from a landscape perspective but many downside risks that need to be accounted for and managed if the intention is to permanently protect these trees. Fig trees are notorious for invading sewer pipes. Council should take stock of current and likely health and cost issues for residents by permanently preserving these trees. Council should redesign and proof sewerage to avoid this issue as it is very foreseeable. It would be negligent to not take this into account - fig trees attract fruit bats which are associated with health risks to humans and damage to*



	<i>cars. A control plan should be in place should the numbers escalate - there is insufficient traffic speed measures/control for cars going up/down Ewell/Stephen/King at speed.</i>
<b>Comments from Council Officers</b>	
<b>Street tree management</b>	Council has a well-established street tree management program that is responsive to issues raised by residents, including fruit bat infestation and sewer invasion by tree roots.
<b>Tree succession planning</b>	Council is also developing a tree succession planning policy with end-of-life options for species replanting or change. This is beyond the scope of the draft Heritage Assessment. Within Landscape Conservation Areas, specific species of trees that underlie the historic significance of the area are preserved for their lifetime or until they become a public danger. An interpretation strategy and consideration of new plant species should then be considered.
<b>Draft Panel recommendation – subject to panel input:</b>	
<p>The Independent Expert Panel:</p> <ol style="list-style-type: none"> <li>1. Supports the new Dickson Estate LCA to the mapped new boundaries.</li> <li>2. Investigate traffic calming measures for cars using Ewell St, Stephen St and King St within the draft LCA.</li> <li>3. Recommends the conservation areas be more strongly considered in the assessment of Development Applications by doing the following: <ol style="list-style-type: none"> <li>a) Comprehensive and detailed Development Control Plans and Design Guidelines be prepared to guide future development in the Urban Conservation Area to protect these special character areas.</li> <li>b) Council investigate other mechanisms to protect heritage fabric in conservation areas.</li> <li>c) Council investigates the use of incentives in UCAs and heritage items to encourage the retention of core (internal and external) original and early fabric and streetscapes.</li> </ol> </li> </ol>	

## 2.6 – Calga Reserve Landscape Conservation Area

**Draft Heritage Assessment proposes an extension of the existing South Bronte Headland new Landscape Conservation Area to include the adjacent Calga Reserve (see map)**

### **Statement of Significance:**

*South Bronte Headland Landscape Conservation Area (LCA) has significant value as a natural and cultural landscape. The location is significant for its long history of seaside bathing and for its association with the beginnings of the surf lifesaving movement. It supports the soon to be state-heritage-listed Bronte Ocean Pool (and its former array of dressing sheds) and the c.1911 Bronte tram cutting. It also has historic associational value with Bronte Park.*

*The headland has significant aesthetic value based in its dramatic sandstone cliff-scape and the expansive views north toward Bondi Beach from the southern side of Bronte. It is associated with civic consciousness and the municipal development of modern conveniences and amenity for locals. The area's scenic features are held in high esteem by locals and tourists who utilise Calga Cutting and the adjoining Calga Reserve to traverse the coastal walkway from Bronte to Coogee. The headland, including the Calga Cutting, is well-known and esteemed as a prominent corridor of coastal public land, with dramatic topographical and geological attributes combined with sweeping ocean views.*

*The headland also has local historic value as part of the Bronte arrival experience for tram travellers from the early 1910s. The Calga Cutting, carved from the sandstone for the former tram track, has technical value as an engineering exemplar of early 20th-century municipal council coastal landscape civic works that improved access to the city's beaches. Similar projects occurred at Tamarama Marine Drive and the development of the Havelock Avenue tram cutting at South Coogee (c.1901).*

### **Public feedback**

#### **Support for draft LCA**

<p>Bronte Beach Precinct Committee member</p>	<p>This letter is to advise that I fully support and welcome both the new listings to the urban conservation areas. It is heartening to see such good work from Council, and in light of the buildings we have lost over the years or have had some of their heritage significance degraded, I hope we might see less loss of our heritage in future ...</p> <p>The extension of the urban conservation areas of Lugar Brae is also supported as is the extension of the Calga Reserve from The Cutting. In order to avoid the domination of the Reserve by the built form perhaps Council would consider extending the Conservation area to include Calga St.</p>
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#### **Objections to extension of LCA**

**None received**

**Draft Panel recommendation – subject to panel input**

**The Independent Expert Panel:**

1. Supports the inclusion of Calga Reserve into the South Bronte Landscape Conservation Area to the mapped new boundaries.
2. Investigate and assess a possible further extension of the South Bronte LCA to include Calga St to prevent Calga Reserve being dominated by significant changes in the scale of the built form along Calga Street as part of a future body of work.
3. Recommends the conservation areas be more strongly considered in the assessment of Development Applications by doing the following:
  - a) Comprehensive and detailed Development Control Plans and Design Guidelines be prepared to guide future development in the Landscape Conservation Area to protect these special character areas.
  - b) Council investigate other mechanisms to protect heritage fabric in conservation areas.
  - c) Council investigates the use of incentives in UCAs and heritage items to encourage the retention of core (internal and external) original and early fabric and streetscapes.



## Draft Heritage Assessment – Independent Expert Panel Meeting 3

### Agenda

Date:	11 March 2021
Time:	9.30 am to 12.30pm
Location:	Council Chambers

### Attendees:

Name	Title	Initials	Name	Title	Initials
Kate Denny	Heritage Consultant Lucas Stapleton Johnson	KD	Tim Williams	Manager, Urban Design and Heritage, Urban Planning Policy and Strategy, Waverley Council	TW
Roy Lumby	Heritage Consultant Tanner Kibble Denton	RL	Colin Brady	Heritage Architect Waverley Council	CB
Louise Mitchell	Community Representative	LM	Anne McGovern	Strategic Planner (Heritage) Waverley Council	AM
			Fleur Mellor	Strategic Planner (Heritage) Waverley Council	FM

### Apologies:

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### Agenda items:

No.	Item	Action
1.0	Apologies & Introduction - Tim Williams	
2.0	<b>Discussion</b> <b>Discussion on draft Heritage Assessment – individual items</b> <b>Documents provided:</b> <ol style="list-style-type: none"> <li>1. Brief history of Waverley (extracted from Volume 1 of the draft Heritage Assessment) – titled: <i>Historic and Architectural Overview</i></li> <li>2. Fact Sheet: <i>Heritage listing – how it impacts on development</i> (Uploaded to Waverley Council's Have Your Say webpage during public exhibition of the draft Heritage Assessment in response to common questions from the public)</li> <li>3. Summary Sheets for each draft individual listed items (extracted from Volume 1 of the draft Heritage Assessment)</li> <li>4. Objections to and Council Officer comments on contested heritage items</li> <li>5. Draft Expert Panel recommendations</li> </ol>	
2.1	<b>58 Campbell Parade, Bondi – objection to draft Schedule 5 listing</b> <ul style="list-style-type: none"> <li>▪ Discussion on public feedback</li> <li>▪ Heritage Architect to address queries</li> <li>▪ Draft Recommendation to Council</li> </ul>	
2.2	<b>19 Ocean St, North, Bondi – objection to draft Schedule 5 listing</b> <ul style="list-style-type: none"> <li>▪ Discussion on public feedback</li> <li>▪ Heritage Architect to address queries</li> <li>▪ Draft Recommendation to Council</li> </ul>	
2.3	<b>309-311 Bondi Road, Bondi – objection to draft Schedule 5 listing</b> <ul style="list-style-type: none"> <li>▪ Discussion on feedback</li> <li>▪ Heritage Architect to address queries</li> </ul>	



	<ul style="list-style-type: none"><li>▪ Draft Recommendation to Council</li></ul>	
2.4	<b>5 Penkivil Street, Bondi – objection to draft Schedule 5 listing</b> <ul style="list-style-type: none"><li>▪ Discussion on public feedback</li><li>▪ Heritage Architect to address queries</li><li>▪ Draft Recommendation to Council</li></ul>	
2.5	<b>160 Bondi Road, Bondi – objection to draft Schedule 5 listing</b> <ul style="list-style-type: none"><li>▪ Discussion on public feedback</li><li>▪ Heritage Architect to address queries</li><li>▪ Draft Recommendation to Council</li></ul>	
2.6	<b>25 Denham Street, Bondi – objection to draft Schedule 5 listing</b> <ul style="list-style-type: none"><li>▪ Discussion on public feedback</li><li>▪ Heritage Architect to address queries</li><li>▪ Draft Recommendation to Council</li></ul>	
2.7	<b>28 Park Parade, Bondi – objection to draft Schedule 5 listing</b> <ul style="list-style-type: none"><li>▪ Discussion on public feedback</li><li>▪ Heritage Architect to address queries</li><li>▪ Draft Recommendation to Council</li></ul>	
2.8	<b>7 Ethel Street, Vaucluse – request removal from existing Schedule 5 listing</b> <ul style="list-style-type: none"><li>▪ Discussion on public feedback</li><li>▪ Heritage Architect to address queries</li><li>▪ Draft Recommendation to Council</li></ul>	


**Meeting 3:  
AGENDA and DISCUSSION  
Independent Expert Panel**

**58 Campbell Parade, Bondi**

**Objection to listing property as a draft Individual Heritage Item on Schedule 5 of LEP**

58 Campbell Parade is within the curtilage of the Bondi Beach Urban Conservation Area. The Bondi beachfront has local, state and national heritage significance. The E2 Bondi Beachfront Area as noted in the DCP acknowledges this unique quality and provides a range of controls to help ensure new work supports what is significant.

**Item as listed in draft Heritage Assessment:**

<b>5</b>	<b>58 Campbell Parade</b>	<p><b>Inter-War: 1930s</b> Four-storey Inter-War residential flat building in late Art Deco style. Original face brick with central vertical raised decorative element. Side bays with window pairs on either side.</p> <p><b>History:</b> The building's late Art Deco style has transitional elements of Functionalist architecture emerging at the end of the Inter-War era as the building boom in the Bondi basin continued and took up sites of opportunity remaining from the Federation subdivision of the O'Brien Estate on the southern side.</p> <p><b>Significance:</b> The building has aesthetic and historical significance as an Inter-War flat building defining the Campbell Parade Conservation Area.</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	
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**Objectors' comments**

*I would like to formally object to Waverley Council Heritage Assessment regarding recommendations for individual heritage listings, in relation to 58 Campbell Parade, Bondi. Noting the proposed listing information was very limited and lacking substantial research. We then engaged John Oultram Heritage to do a detailed assessment into the*



Meeting 3:  
AGENDA and DISCUSSION  
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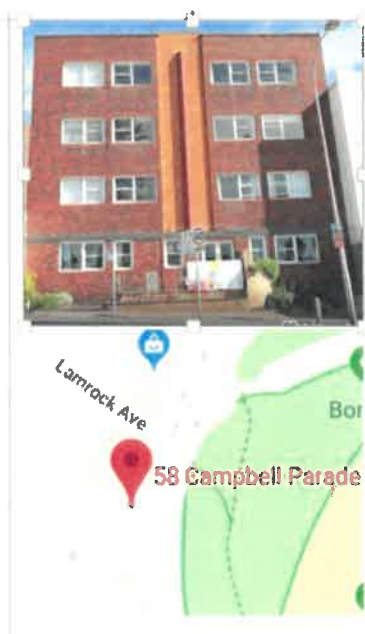
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	<p><i>heritage value of 58 Campbell Parade attached below, he concluded:</i></p> <p>58 Campbell Parade is a modest and poor example of an inter-war functionalist/art deco style apartment building that has no features of note and that has lost some of its original detail. The property does not meet the heritage manual criteria for identification as a place of local significance.</p> <p>It is not in the public interest to devalue the level of significance required for listing nor is it good heritage practice as it brings into question the whole basis for listing and the quality that must be apparent if a property is to meet the required threshold.</p> <p><i>We then engaged four other top-tier heritage experts to express their view of objecting the listing of 58 Campbell Parade, a summary of their views are below:</i></p> <p><b>Jennifer Hills (President of the Art Deco Society):</b> The submitted Heritage Assessment by John Oultram includes well researched historical information, and clear detail physical analysis. A full assessment of the significance of the building confirmed it does not reach the threshold for listing as a heritage item. The analysis is detailed and I agree with its findings. The assessment of significance follows the established methodology, and I concur with its findings that the existing site has low significance as an individual heritage item for its contribution to the Bondi Beach HCA.</p> <p><b>James Phillips (authored in conjunction with Waverley Council a guide to restoring inter-war residential flat buildings, winning the National Trust Award).</b> It is questionable as to whether the building would rate contributory in the conservation area. Given its utilitarian facade and the changes to it at ground level, there is little justification in Contributory status for the building. This conclusion is also that of Urbis.</p> <p><b>Stephen Davies (past chair of NSW Heritage Council)</b> It has poor detailing, an awkward interior layout and poor amenity with inadequate access. The contribution that the builder makes as an aesthetic example is low and the elements that are therefore proposed to be conserved are not elaborated on in the Council survey. I support the conclusion of the Oultram Assessment. The property does</p>
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	<p>not meet the heritage manual criteria for identification as a place of local significance.</p> <p><b>Zoltan Kovacs:</b> On the basis of this brief review of the Oultram report, I agree with its statement of significance and conclude that the place does not exhibit heritage significance at a level where its listing is warranted. Furthermore, I find the staff report to be too brief and - consequently - unconvincing in a matter that carries such enormous responsibility as heritage listing, therefore I support the objections of the strata corporation to the draft planning proposal.</p> <p><i>We have spent considerable time, effort and money preparing these submissions to express our strong objection to heritage listing 58 Campbell Parade, as relayed by the five experts above it does not meet the threshold for a heritage listing. I hope the council listens to these experts and does not proceed with heritage listing this building.</i></p>
<b>Comments by Council Officers</b>	
<b>Background</b>	<p>The objectors commissioned a heritage assessment report by the consultants Oultram Heritage, and obtained comments about the building's significance from other heritage professionals. Oultram Heritage sought to discover from Council who the architect for the building was, but the original approval documents could not be located.</p>
<b>Further research</b>	<p>After the Oultram report was submitted as part of the public exhibition of the draft Heritage Assessment, Council officers made further searches and located the original 1938 approval documents for 58 Campbell Parade.</p> <p>The documents revealed that the building's architect was the noted Inter-War architect Percy Gordon Craig. Council officers contacted Oultram Heritage by email to pass on that information and asked him to advise if his clients would like to provide an updated report to Council.</p> <p>The email provided the following information:  <i>Thank you for your feedback on the Waverley Heritage Assessment in relation to 58 Campbell Parade. We have since undertaken a second search of Council records to try to locate the original approval documents from 1938, with some success. They are attached above for your</i></p>

**CRAIG, Percy Gordon.**  
 Architect. Est. 1912. Address: 17  
 Castlereagh St., Sydney, N.S.W. Born:  
 Bathurst, N.S.W., March 14, 1888. Son  
 of Chas. and Martha (nee Catt), Craig  
 of Stirling, Scotland and Hastings, Eng.  
 Educated: Petersham Public School. Be-  
 gan career with Grandfather, Henry Catt  
 (then a retired Architect in Sydney),  
 1904. Apprenticed to Mr. W. Grantham,  
 Leura, Blue Mountains, 1906, to learn  
 building trade. In 1910 joined Common-  
 wealth Oil Co. at Newnes, N.S.W. Went  
 to Katoomba and began practice on own  
 account, 1912. Remained until he went  
 into military service, returning after-  
 wards to Sydney where he began pro-  
 fessional career, 1919. Has a number of  
 important buildings to his credit. Pres-  
 byterian Church, Katoomba; Belmore  
 Hall, Randwick; St. John's Ambulance  
 Station, Maroubra; Reconstruction Show  
 Room and offices in Castlereagh St.,  
 City; William House, William St.; Resi-  
 dence for Chas. Stuart, Bellevue Hill;  
 Gowanbeyan Hotel, Harbord Beach Hotel,  
 Manly; Roofing and Asphalt Ltd. Fac-  
 tory, Waterloo; Factory and Bonds  
 Store, Camperdown; Shops and Residen-  
 ces, Rand Rd., Woollahra and Walsen  
 House, Bligh St., Sydney (in associa-  
 tion). Has written many articles on  
 General Architecture. Married: Gladys  
 Garratt only daughter of Herbert Garratt  
 of Sydney, March 17, 1929. Clubs: Mil-  
 lions; N.S.W. Golf. Recreations: Golf  
 and tennis. Creed: Presbyterian. Home  
 address: 38 Kent Rd., Rose Bay, Sydney,  
 N.S.W.

information. As you can see, the architect noted on the plans is Percy Gordon Craig, whose office was at 17 Castlereagh St. We have begun some preliminary research. Our findings to date include:

1: The City of Sydney's William Street South Conservation Area describes him as a prominent Inter-War architect.

<https://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=2424418>

2: He designed a building of local significance in the above conservation area:

William House was constructed c 1928 to the design of architect Percy Gordon Craig. He designed several hotels, including the Harbord Hotel in 1928, and a residential hotel and shops at Earlwood in 1931. He was also involved with the design of large building in Sydney, Watson House, at 9 Bligh Street in association with Henry Budden in 1927, which was recently demolished.

<https://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=2421419>

3: The State Library has a file of documents that link him to Walter Burley Griffin and John Smith Murdoch, designer of Old Parliament House. A National Trust magazine article also links the three architects – citing information from a highly regarded thesis on Murdoch's architectural legacy.

4: Percy Gordon Craig designed the Art Deco Orion Theatre in Campsie (extant).

5: He wrote an exhaustive entry in the 1929 edition of Who's Who in Australia detailing his buildings to that date (see left)

6: The State Library has a drawing of a commercial building he completed in Earlwood.

7: His office at 17 Castlereagh St placed him in the midst of significant artists and architects of his era.

Apologies for the time it has taken to find the original approval documents to identify him as the architect of 58 Campbell Parade. Could you please advise if you would like to update your report to Council as part of the draft


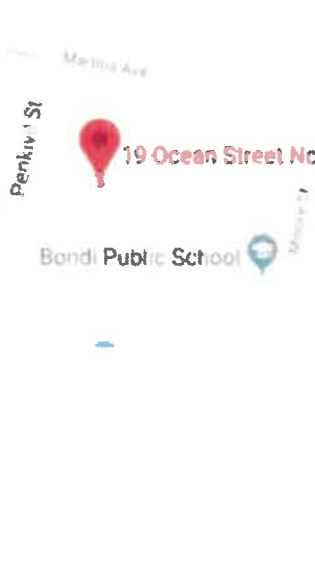
	<p><i>Heritage Assessment Feedback process, taking in the new information?</i></p> <p>Oultram Heritage submitted an updated report to Council with limited change to the assessment of significance of the building at 58 Campbell Parade, Bondi.</p>
<b>Significance</b>	<p>Based on the above information, Council Officers have updated the statement of significance for the building at 58 Campbell Parade:</p> <p><i>The building by Percy Gordon Craig represents the final stage of the Inter-War architecture story, before post-war Modernism took hold. The façade represents the dropping off of the affectations of the past as local architects began responding to the changes flowing from Europe. The building is of architectural, streetscape, aesthetic, historical significance at a local level.</i></p>
<b>Ownership</b>	<p>Information provided to Council shows that the objectors to the heritage listing represent 5 of 16 apartment owners in the building.</p>
<b>Draft Panel Recommendation – subject to input from panel:</b>	
<p>The Independent Expert Panel:</p> <ol style="list-style-type: none"> <li>1. Recommends that the building at 58 Campbell Parade, Bondi, be listed as an Individual heritage item on Schedule 5 of the Waverley LEP.</li> <li>2. Further research be carried out on the Inter-War architects who helped establish the character of Waverley to inform a Development Control Plan to better conserve Waverley's Inter-War building stock.</li> </ol>	

## 19 Ocean St North, Bondi

### Objection to listing property as a draft Individual Heritage Item on Schedule 5 of LEP

The building at 19 Ocean Street has been proposed for individual listing as part of a group of three Inter-War residential flat buildings (17, 17a and 19 Ocean Street) high and back from the street.

### Item as listed in draft Heritage Assessment:

29	19 Ocean St North	<p><b>Inter-War</b> Freestanding Georgian Revival-style three-storey flats building named <i>Yagobie</i>. Constructed before 1930 (<i>Sands</i>). Original face brick offset with rendered banding above windows and entrance. Simple symmetrical façade features rosette detailing on a rendered lintel cornice at the top of each of four columns spreads into three bays across façade. Circular feature below balconies on rendered banding. Entrance recessed in middle portion of façade's vertical bays. Stained glass windows above classical entrance portico. Stepped terracing to main façade entry. Balconies have been enclosed. Sandstone garage at street level.</p> <p><b>History:</b> Inter-War flat building in Waverley was supported by access to nearby tram transport along Bondi Road. Built on land that once formed mid-Victorian-era gentlemen's estates along Bondi Road.</p> <p><b>Significance:</b> Rare example of Chicago School-style flats. Original face-brick with decorative classical motifs. Enclosed balconies detract. Distinctive and remnant Inter-War flats group in the streetscape</p> <p><b>Level of Significance:</b> Local</p> <p><b>Integrity:</b> Substantially intact</p>	 
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### Objection to listing

Waverley Council have proposed to place this building as a heritage listing. Over the years the original features of the building have been removed and, based on this, this building does not warrant heritage listing as an individual item of significance. Attached is the Heritage Assessment Report from Urbis that confirms this.

#### Urbis assessment of significance:

The heritage assessment finds the significance of 19 Ocean St North to be unsubstantiated for the following reasons:



	<ul style="list-style-type: none"> <li>• Though the overall form has been retained, the building is assessed to be a restricted example of Inter-War flat accommodation, lacking commitment to an identifiable style.</li> <li>• The subject site has been substantially altered, including the removal of period features such that it is no longer identifiable as an expression of a particular style.</li> <li>• The Waverley LGA contains numerous, quality expressions of the Inter-War, across a variety of styles and arrangements. Comparatively, the subject site is assessed to fall short of the general calibre of Inter-War fabric within the Waverley LGA.</li> </ul> <p>In light of the aforementioned alterations, the subject site is now inconsistent with the historic streetscape character of Ocean St and the broader Waverley LGA.</p>
<b>Support for listing</b>	
	The unique identity and environment of Bondi are defined by its heritage. As strata owner, I agree to listing the Ocean St buildings. These form a significant Inter-War apartment streetscape alongside the adjacent heritage bungalows. Their raised prominence is pleasing and impressive and they offset the extreme modernity of the Mirvac development on the other side of the road, allowing for an historically layered streetscape.
<b>Comments from Council Officers:</b>	
<b>Streetscape significance</b>	Council officers concur with the comments by above, that the buildings at 17, 17a and 19 Ocean Street, Bondi, form a significant Inter-War apartment streetscape. The buildings are now between 80-100 years old.
<b>Original fabric substantially intact</b>	Some original features of the building have deteriorated or been removed, this does not disqualify it from heritage listing. Nor does the mix of styles identifiable across the sites – indeed a key feature of Inter-War architecture is its use of Revival styles (as documented in Waverley’s award-winning <i>Inter-War Fact Sheets</i> ).
<b>Significant Inter-War examples</b>	While Waverley contains numerous, quality expressions of the Inter-War period of architecture, across a variety of styles, this does not mean that the subject site falls

	short of the reaching the benchmark of significant Inter-War fabric within the LGA.
<b>Streetscape value</b>	The three significant streetscape buildings are not now inconsistent with the streetscape character of Ocean St and the broader Waverley LGA. Rather, their impressive raised prominence serves to offset the extreme modernity of the nearby Mirvac, allowing for an historically layered streetscape.
<b>Draft Panel recommendations – subject to input from panel:</b>	
<p>The Independent Expert Panel:</p> <ol style="list-style-type: none"> <li>1. Recommends that the buildings at 17, 17a and 19 Ocean Street, Bondi, be listed as Individual heritage items on Schedule 5 of the Waverley LEP.</li> <li>2. Recommends that Council prepare a DCP with comprehensive and detailed Design Guidelines to help conserve and protect the established Inter-War character of Waverley.</li> </ol>	

**Objection to listing property as a Draft Individual Heritage Item**

**Statement of Significance:**

Federation matching pair of sandstone semis. Bullnose verandas with tin roof and turned timber posts. Original tile roof on both and original chimneys. Sandstone fence. Federation shops built in response to tramline extension, with shops servicing growing population. Development driven by subdivision boom.

**Objectors' comments**

*Our semi is wedged between a myriad of extremely ugly and certainly non-heritage worthy apartment blocks. Considering that these are in various states of repair and often full of backpacker party-makers, we often think it may be time to move to a quieter street. It would have been nice to consider heritage listing when there were actually a number of sandstone semis left, rather than replacing them all with apartment blocks.*

*As we can't wind back time, I bought this house knowing that it is zoned with the ability to sell to developers. This was seen as a future option for either me or my children. Especially when living between these apartment blocks becomes too difficult with noise levels and lack of privacy as apartment blocks are extended upwards or as tenants become more transient as Bondi occupancy changes. I would be very concerned if you are saying that selling to a developer is no longer an option.*

*I have received a letter notifying of the proposed Heritage Assessment. On review of the information on the website, I am writing to strongly object to my property being included. Although I understand the need to protect areas of Bondi to preserve heritage values, this is not appropriate and too late for our property and would cause unfair disadvantage and burden. The reasons for my objection are:*

*My property, including the attached semi, are isolated in your proposed plan amid apartments that are zoned for medium density and that are not subject to restrictions under heritage requirements. These surrounding apartments have been allowed to be completed with little*

	<p>regard for heritage or aesthetic streetscape values. A variety of styles, designs, building materials have been used. An earlier heritage assessment at a time when a more significant number of original semis still existed would have been valuable. An individual small property can only provide very limited sense of streetscape in this surrounding and the benefit does not justify the excessive burden and extra cost imposed. From time to time in the future, I may find it necessary to make additions or protect privacy or amenity of our house amidst this higher density living area. A heritage listing would cause a significant hindrance to our ability to react to issues and make adjustments. For example the apartments at 307 Bondi Rd have a high proportion of transient tenants due to lower rents which have in the past led to excessive impact from parties and noise. If this escalates, there may be a need to make modifications to reduce the noise impact. The requirement to complete an exemption for any changes is an undue, unfair and imposing overhead. The need for heritage consultants causes an unfair cost that will impact us as owners significantly. I have owned and lived in this property since 2001 and maintained the look and feel of the front face of the property in keeping with its original look. This continued through many repairs such as front bull nose roof, chimneys and window bars. Both 309 and 311 have been maintained in this way, however the rear of 309 has been modernised to accommodate a more modern living style, in keeping with other properties in the area. A heritage listing may have prevented this and therefore posed an unfair restriction on the amenity of the house. Could you please inform me if there is a further opportunity to voice my objection to this heritage assessment.</p>
	<p>My property is one of two that are being proposed for heritage assessment, owned with my husband. I own another property at Birrell St, Bondi. Both properties have being earmarked for heritage listing in a space of a month. This is grossly unfair, &amp; I vehemently oppose this proposal from council. A heritage home is indicative of not only the property itself, but its surrounding structures. Unfortunately, Bondi Rd in general has been compromised years ago by the heavy development due to the R3 zone. Listing anything heritage on Bondi Rd is</p>

	<p><i>undue &amp; a burden to owners as we have purposely bought these properties for a reason, to someday maybe expand or develop or help our kids stay in the eastern suburbs where they were born and raised. We understand &amp; are not insensitive to maintaining heritage sites. However it's contradicting, it's zoned R3 ie: medium-density housing is allowed. Placing a heritage tag on my property limits any future prospective buyers. There will be cost increases in renovating, not to mention the continuous application costs that are attached to heritage and scrutiny of maintaining a heritage building. This does not appeal to anyone and will devalue the site. Please reconsider your proposal as it will adversely affect the status of my home with little benefit of heritage advantage to the community.</i></p>
<b>Comments from Council Officers:</b>	
<b>Listing stifles development</b>	<p>Council officers note that a heritage-listed house, Cottesloe, across the road from these semi-detached buildings proposed for listing has recently had DA approval for medium-density development at the back of the listed house.</p> <p>Heritage listing of the buildings will not preclude first-floor additions at the rear, for example, nor would it preclude a range of adaption and alteration including combination of the two semis into a single residence with 2 storey addition on rear.</p>
<b>Isolated example</b>	<p>The sandstone semi-detached dwellings appear isolated because they are rare examples of their type in the area. There is no evidence that other sandstone semis were built nearby. They remain a rarity of the area because most sandstone architecture in Waverley is associated with the existence of a local quarry. It is likely these houses were built to support the tourist industry fostered by the growing interest in sea bathing in the decade after ocean swimming in daylight hours was legalised. The semis' unusual fabric and location serves to highlight their heritage significance. A core aspect of their aesthetic value is the cohesion of the pair.</p>

<b>Streetscape rarity</b>	The semis' rarity does not make them obsolete examples of a certain period of Waverley's history development. Their rarity makes them more noteworthy.
<b>Excessive cost burden</b>	All buildings need maintenance. All buildings require DAs to make additions. There is scope within the DA process for accommodating significant additions to heritage listed houses, and design approaches that will help protect privacy and amenity, even in a high-density that has been in existence since the 1960s.
<b>Heritage exemptions</b>	Heritage Exemption Certificates are available for works proposed to be carried out on a site that are considered minor and do not have an impact on the significance of the heritage item. The certificate means a DA will not need to be lodged for approval of the works. This helps reduce the cost of approvals.
<b>Heritage affects property values</b>	Evidence gathered in the Waverley area from studies of the property market shows that heritage listing has not detrimental effect on prices. Heritage features are highly sought after because of their rarity.
<b>Draft Panel recommendation – subject to panel input:</b>	
<p>The Independent Expert Panel:</p> <ol style="list-style-type: none"> <li>1. Recommends that the buildings at 309, 311 Bondi Road, Bondi, be listed as Individual heritage items on Schedule 5 of the Waverley LEP.</li> <li>2. Recommends that Council prepare a DCP with comprehensive and detailed Design Guidelines to help conserve and protect the established Federation character of Waverley.</li> </ol>	



## 5 Penkivil St, Bondi

### Objection to listing property as a Draft Individual Heritage Item

#### History:

Victorian freestanding double-storey hilltop late Victorian villa of Italianate and Filigree styles largely intact. Double-fronted with asymmetric plan form with projecting gable roof bay on left side. Arched sandstone lintel and arched portico on ground and first floor. Rendered with stripped classical detailing. Tower encloses the left end of the upper balcony, with iron filigree to the right. Sandstone arched garages at street level. Broad sandstone stair entry through arched gate in sandstone retaining wall. 5 Penkivil Street is known as Summerton and once overlooked Schneider's Garden with views to Bondi. The centre of the garden was called Bondi Glen. Schneider was a well-known Waverley landscape gardener. The land formed part of the early Mamhead estate, and was built on a street named after George Penkivil Slade. The land was owned by Edward Flood and J. B. Jones, who had previously bought two 10-acre portions on Bondi Road. They also purchased 14 acres for £210, between Anglesea Street and Penkivil Street, extending north to Old South Head Road. The grant was issued on February 27, 1839. This land was subdivided before 1885 by J. Newman, of Mamhead Lodge. Robert Newman was in occupation in 1867. The Lodge was later known as Mamhead Flats. The estate had frontages to New Street and Old South Head Road. A portion of the south end of the early subdivision between Penkivil and Anglesea streets and Bondi Road became Slade's subdivision about the 1880s. Slade was a Sydney solicitor whose second name was Penkivil. It is on this grant that the present Bondi-Waverley School of Arts and the Masonic Hall now stand. (Dowd) San Jose was No 1 in 1900, occupied by Mrs M MacKenzie.

#### Statement of Significance:

The Victorian villa demonstrates significant streetscape character and remains of aesthetic significance as an example of the evolving form of the Victorian freestanding townhouse. The residence is of aesthetic and historic significance as a dramatic streetscape remnant of large Victorian villa development on a raised site with views to Bondi Beach over Schneider's Glen (Thomas Hogan Reserve). Level of Significance: Local Integrity: Substantially intact.

#### Objectors' comments

1: House is last, small, now isolated and poor original example. It is not appropriate to retain and promote it as representative of Bondi in the early 1900s. The only reason it has not been redeveloped already is the 9m street frontage, a much smaller frontage than any of the grand estates, such as 2 Penkivil St ... No other historic or recent houses exist on this side of Penkivil St between Old South head Rd and 54 Penkivil St ... The area lacks heritage qualities due to demolition of all other heritage buildings in the area.

	<p>2: The property is no longer appropriate to the location, in its isolation and does not contribute to Waverley Council's direction for the character of the street ... Waverley Council has recently approved demolition and redevelopment of remaining houses at 9, 67-69 Penkivil St. Council minuted "proposal exhibits design excellence and is appropriate to the location" when approving 9 Penkivil house demolition and replacement with a block of flats. Nor does the form at 5 Penkivil match or follow the development of all the adjoining sites in terms of height, setback, bulk and scale ... The building as it exists today cannot provide impetus for revitalising the neighbourhood. It is an isolated hilltop building surrounded and overlooked on all sides by redeveloped high-density residential flat buildings.</p> <p>3: The property lacks almost all original features, has poor street access and requires major repair due to significant cracking at the front ... The only original feature is the sandstone front wall which has been painted over to blend in the previous crack repairs ... The Waverley Council protected Norfolk Pine and its roots at 7 Penkivil has contributed to major cracking. The cracking has also been contributed to by the movement of high level sandstone footings bearing on loose sand...The property does not attract a price premium for heritage character due to the lack of adjoining heritage properties, overlooked by high-rise apartments and the outdated 42-step access to the front door.</p> <p>4. The details produced for the proposed heritage listing are incorrect. The building is not Italianate, it is Queen Anne. Filigree styles were added during renovation in the late 1980s, as was the fashion for reproduction Victorian iron lace. The building is not rendered, but painted sandstone with large crack repairs and infill rock-block arch supports. Broad Masonry (not sandstone) stairs are cracked and have moved in multiple places. Although 5 Penkivil is currently titled Somerton (not Summerton), it was originally called San Jose. We look forward to your favourable review of these points.</p>
<b>Comments from Council Officers</b>	
<b>Heritage fabric missing</b>	Missing historical detail on a building is capable for replacement and does not of itself preclude heritage listing.

<b>Heritage listing prevents development</b>	Heritage listing does not preclude development occurring. There are many examples in the Waverley LGA area – including most of Queens Park Urban Conservation Area – where significant development has occurred on heritage listed buildings and those in UCAs. The building at Penkivil St appears from street-level examination to be capable of being extended and developed. Heritage listing will not prevent this.
<b>Street as lost most of its heritage buildings</b>	Other original buildings of heritage significance remain in Penkivil Street. Even if there were no others, it is not unusual for a street to contain only listed house. If the argument is that the heritage building survived because it is unsuited to development, it cannot then be argued that it can't be listed because listing precludes development.
<b>Zoning/development changes</b>	Zoning changes or development approvals in a street have no impact on decisions about heritage significance and do not preclude the listing of interesting buildings.
<b>Outdated historical details</b>	The building's access via 43 steps from the street does not preclude sale of the property. Heritage listing would not prevent inclusion of a lift from the garage to the house.
<b>Description of architecture</b>	Thank you for the information regarding the changes in architectural style of the house over time. It is not unusual for buildings to have been subject to historic overlays of detail. For example, the nearby heritage-listed Scarba House was originally a mid-Victorian colonial house before it was upgraded to high Victorian Italianate. The listing will be adjusted for to reflect new information.
<b>Draft Panel recommendations – subject to panel input</b>	
The Independent Expert Panel: <ol style="list-style-type: none"> <li>1. Recommends that the building at 5 Penkivil St, Bondi, be listed as Individual heritage items on Schedule 5 of the Waverley LEP.</li> </ol>	

<b>160 Bondi Rd, Bondi</b>	
<b>Objection to draft individual heritage listing of 160 Bondi Rd, Bondi (also known as 70 Penkivil St - Harcourt Hall)</b>	
<p><b>Statement of Significance:</b>  Constructed in the 1930s in a simple Classical style with Chicago School influences, rendered frieze and cornice and upper level window architraves. History: Victorian, Federation and Inter-War shop-top housing buildings are a feature of Waverley streetscapes. Bondi Road has some fine examples of such architecture, which makes an important contribution to its distinctive character. It is a strong defining element of the corner site and the streetscape. Few shop-top housing buildings display Classical revival architectural styles, as the majority are Edwardian, Arts &amp; Crafts or Federation in style for those built in the 1910s to 1920s, while those constructed in the 1930s to 1940s tend to be Art Deco in style. Significance: Historical, aesthetic Level of Significance: Local Integrity: Substantially intact.</p>	
<b>Objector's comments</b>	
	<p><i>Please find attached a dispute for the Heritage listing on 160 Bondi Rd, Bondi.</i></p> <p>Submission includes a heritage assessment report by Oultrum Heritage:</p> <p><b>Summary of Significance</b></p> <p><i>We consider the property would meet only the historic criteria of the Heritage Manual for identification as a place of local significance but only in the most general terms, being from an important building period for the suburb. The building has no distinguishing features and is of the most utilitarian design. The building is not within a conservation area and cannot be classed under the Contributory item status as defined in the WDCP ... The building does not make an important or significant contribution to the character of the local streetscape and is significant historically in only the most general terms.</i></p>
<b>Comments from Council Officers:</b>	
<b>Heritage criteria</b>	<p>The building maintains a landmark status on Bondi Road. Its original architectural detail is still present and its effect is to create variety and activity and texture – as opposed to standardisation – on a prominent street corner.</p>

<b>Streetscape significance</b>	<p>The building records and marks out the corner block that once housed one of Bondi Road's early Marine Villa gentleman's estates. Its presence records the pattern of subdivision of the area. It also records the scale of the fabric and the humanity of the original streetscape. As a replacement for that building it remains a key streetscape element with its strong cubic form being part of its strength.</p> <p>Demolition of such a building from the Inter-War period would see the removal of quality and texture from the streetscape. It sets a standard that any additions or replacement fabric will need to meet</p>
<b>Historical detail missing</b>	<p>There is no building in Waverley that is unaltered. Missing historical fabric suggests the building required preservation and restoration. It does not mean it should not be heritage listed. In the 1960s, the Victorian terraces in suburb of Paddington were blighted by enclosed verandas and missing ironwork. Most have since been restored.</p>
<b>Draft Panel recommendations – subject to panel input</b>	
<p>The Independent Expert Panel:</p> <ol style="list-style-type: none"> <li>1. Recommends that the building at 160 Bondi Road, Bondi, be listed as Individual heritage items on Schedule 5 of the Waverley LEP.</li> <li>2. Recommends that Council prepare a DCP with comprehensive and detailed Design Guidelines to help conserve and protect the established Federation character of Waverley.</li> </ol>	

25 Denham St, Bondi	
<b>Objection to draft individual heritage listing of 25 Denham St, Bondi</b>	
<p><b>History</b></p> <p>Inter-War landmark two-storey Spanish Mission-style house on corner of Bondi Rd. Rainbow terra cotta roof tiles. Paired window arches on ground floor separated by barley columns and featuring sunrise motif above windows. Paned double-hung windows on upper floor. Barley columns at entry. Detailed heavy stucco overlap render. Masonry fence characteristic of predominant style of the era. Development along Bondi Rd was integrally linked with extension of the Bondi tram, which helped to drive the Inter-War building boom in the Bondi Valley. The associated break-up of old land grant estates provided sites for speculative building to meet rapidly increasing population growth. This site once formed part of the O'Brien estate and its carriage-way entrance. Reasons for listing: Historical; architectural; aesthetic; streetscape</p> <p><b>Statement of Significance:</b></p> <p>Good example of an Inter-War Spanish Mission-style flat building. Typical of the style. Landmark building on Bondi Road. Level of Significance: Local Integrity: Substantially intact</p>	
<b>Objectors' comments</b>	
	<p>We object to the listing of the property as a heritage item on the following grounds:</p> <ol style="list-style-type: none"> <li>1. This property is not true Spanish Mission architecture, however an eclectic mix of styles that are irrelevant and hold no heritage or architectural benefit. The blanket approach of the report and Council's approach has incorrectly identified the property.</li> <li>2. As homeowners of a locally listed heritage property, we experienced the difficulty of getting council approval for any work including necessary repairs. Council would require drawings and services of a heritage consultant. We spent a lot of time and money to the extent of taking time off from work employment to speed up the processing of paperwork and know first-hand of the additional costs linked to heritage listed properties. We would encounter the same problems and suffer stress by having another heritage listed property. The current approach is a restriction on individual property rights.</li> <li>3. Should the property be listed, we reserve the right to tender this correspondence in any proceedings.</li> </ol> <p>Looking forward to your kind consideration.</p>



<b>Comments by Council officers:</b>	
<b>Streetscape significance</b>	Over 80-plus years, the building has become a notable and strong streetscape element and a strong example of the style of the period.
<b>Architectural style</b>	Inter-War architecture is known for its Revival styles and the mix is often eclectic, which does not necessarily make it irrelevant or insignificant.
<b>Development of the site</b>	Heritage listing does preclude development of the site. All development – for listed and unlisted buildings – requires paperwork and DAs, so heritage buildings are not disadvantaged in that way. They are able to take advantage of Heritage Exemption Certificates as an inexpensive way to maintain the building where works do not impact on significance.
<b>Draft Panel recommendations – subject to panel input:</b>	
<p>The Independent Expert Panel:</p> <ol style="list-style-type: none"> <li>2. Recommends that the building at 25 Denham St, Bondi, be listed as Individual heritage items on Schedule 5 of the Waverley LEP.</li> </ol>	

## 28 Park Parade, Bondi

### Objection to draft individual heritage listing of 28 Park Parade, Bondi (listed as a pair with 29 Park Parade)

#### History:

Victorian pair of attached Victorian Italianate terraces, high off street. Dual central arched entry tower, original double-hung tower window. Balcony enclosed on left. Original sandstone fencing; stair tiles, chimney on left. Distinctive streetscape feature facing Waverley Oval, aesthetic, historical significance as part of late Victorian subdivision of early grand estates sub-division along Bondi Road. History: Three 10-acre lots fronting present Bondi Road were sold in the late 1830s. This included land now identified as Waverley Park and Cricket Oval and formerly Flagstaff Farm. The land on which Park Parade was constructed was bought by Edward Bennett in March 1853, who paid the high price of £5 per acre for his 10-acre lot. It ran along Bondi Road and extended to Birrell and Bennett streets. The estate was subdivided for sale on May 16, 1881. The house is from that period.

#### Statement of Significance:

The double-storey Victorian Italianate semi-detached residential pair retain extensive original detailing and provide a streetscape element of considerable aesthetic quality. The building, while containing unsympathetic later work, retains aesthetic significance and could be restored. Level of Significance: Local Integrity: Substantially intact, reversible

#### Objector comments

I strongly object to the recommendation for individual listing for 28 Park Parade... it is in a general state of decay with significant structural, asbestos and wood rot problems. The evidence below overwhelmingly supports removal from the draft Assessment.

28 Park Parade fails to satisfy the 7 NSW heritage criteria required for inclusion.

**1 Historical Significance:** No evidence has been provided that the property contributes to the historical narrative of the early history of Waverley. Its known history is that it was a boarding house and then single family residence. While it was part of the Bennett estate, this alone does not warrant heritage significance beyond general interest.

**2 Associative Significance:** Originally constructed as a private residence, no record of past ownership or occupation has been provided to warrant inclusion.

**7. Aesthetic Significance:** Considered as a pair, 28 and 29 Park Parade have been extensively

	<p>modified both internally and externally. I contest the draft Heritage report statement that the pair “retain extensive original detailing”:</p> <p><b>28 Park Parade:</b></p> <ul style="list-style-type: none"> <li>• Original tiles removed and damaged</li> <li>• Significant subsidence and structural issues. Ongoing</li> <li>• Asbestos extensions to the north and eastern elevations 1970s</li> <li>• Western balcony has been infilled and original ironwork destroyed. Early 20<sup>th</sup> century.</li> <li>• Original windows removed 1970s</li> <li>• Significant building decay and wood rot is evident throughout the property. Ongoing.</li> </ul> <p><b>29 Park Parade</b></p> <ul style="list-style-type: none"> <li>• Addition of a garage at street level.</li> <li>• Significant internal works completed in mid-1990s have removed all original interior detailing</li> <li>• Original windows to western elevation removed.</li> <li>• In summary, additions to the pair demonstrate little sympathy to the original style and do not contribute to the overall aesthetic character of the dwelling pair or their heritage value as a pair or individually.</li> </ul> <p><b>4. Social Significance:</b> 28 Park has no strong or special association with a particular community or cultural group in Waverley for social, cultural or spiritual reasons.</p> <p><b>5. Technical/Research significance.</b> There is no evidence that the building demonstrates construction techniques other than those commonly employed at the time. The subject site therefore does not meet this criteria.</p> <p><b>6: Rarity:</b> The pair are a common example of a typology found in Waverley. Numerous examples are found throughout Waverley in better condition with numerous original features.</p> <p><b>7. Representativeness:</b> The subject site representative of the early establishment of residential housing in Waverley. However, due to the asymmetry between 28 and 29 and later, non-original unsympathetic modifications to both dwellings, the subject site does not demonstrate the earlier history of the site and its principal characteristics. Judges against the seven NSW criteria required for inclusion the property fails to satisfy the requirements.</p>
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	<p><b>Economic hardship</b></p> <p>The economic hardship placed on our young family by a heritage listing would be debilitating. Council-mandated involvement by third-party consultants would prohibit us maintaining and upgrading. The cost of these consultants would be borne solely by our family if listed. Our inability to comply with Heritage controls would accelerate the sad path of decay of 28 Park Parade. For these reasons and the above, I strongly oppose inclusion of 28 Park Parade in the draft Waverley Heritage Assessment.</p>
<b>Comments by Council Officers</b>	
<b>Heritage criteria</b>	<p>The attached terraces are the most prominent pair along Park Parade, facing Waverley Park.</p> <p>They are a significant example of the transition in architectural styles from late Victorian to early Federation. The towers incorporated into the building serve to emphasise the scale of the building and give far greater substance to building than typical terrace.</p> <p>Their position on the park and their relationship to water/horizon views/Bondi Valley reflect their landmark status and their original outlook across Waverley before the area was developed in the Inter-War period and later.</p>
<b>Draft Panel recommendations – subject to panel input</b>	
<p>The Independent Expert Panel:</p> <ol style="list-style-type: none"> <li>3. Recommends that the buildings at 28-29 Park Parade, Bondi, be listed as Individual heritage items on Schedule 5 of the Waverley LEP.</li> </ol>	

No panel input required  
Listing changes/matters for discussion arising from public consultation

To be removed from draft Schedule 5 individual listing

2 Read St, Bronte - architectural detail to original to house	
Objectors' comments	
	Owner has photos of the house's historical detail being added from a Paddington terrace by the previous owner
Comments by Council Officers	
	Remove house from draft individual heritage listing

34a Yanko Avenue, Bronte - Request for removal of existing individual listing	
Objector comments	
	Locally listed lot – listed because of coach house from original Yanko Estate in backyard. House on the lot was built in the 1980s. Asks if Council could list only the coach house - rather than the whole property - to simplify the process of making changes to the house
Comments from Council Officers	
	Heritage listing status should remain on the whole building lot because the site is, which was once part of the grounds of Yanko Estate, is likely to contain archaeological evidence of the former marine villa estate. Heritage Exemption Certificates for work on the modern house can be readily processed.

19 Prospect St and 17 High St – Mapping discrepancy	
	The proposed area extension to the Charing Cross Heritage Area has a mapping discrepancy between the draft Heritage Assessment and the Exponare maps. <b>The draft Heritage Assessment map is correct.</b>

Comments by Council Officers	
	Correct mapping error on the heritage layer of the Exponare map to match the more accurate draft Heritage Assessment map.

24 Edmund St, Queens Park – request for removal from Schedule 5	
Comments from Council Officers	
<p><b>Draft Heritage Assessment proposed an extension of Charing Cross HCA to include the streets where house is located and listed as a local heritage item.</b></p> <p>Owners sought to have its listing removed, but have since sold the house in October 2020 (\$3.36m)</p>	

New items proposed for individual listing outside the Heritage Assessment process	
12 Ebley St, Bondi Junction – Bondi Vet	
Bondi Vets propose individual listing for their buildings as the oldest purpose-built small animal veterinary hospital in Australia, built in 1934 by Major Norman Larkin. Council research concurs.	
Worshops of Lionel Von Praag, 35 Fletcher St Tamarama – world motorbike champion	
Archway and cliff stairs, Kimberley St, Vaucluse	
Maori Flax, Tamarama	
17 Ocean St, Bondi – request to heritage list native garden	
<p><b>Request for heritage listing of Waverley Council Innovation Award commended native garden at 17 Ocean Street Bondi</b></p> <p><i>In your Heritage Assessment you propose listing 17 Ocean Street Bondi, an Inter-War block of Functionalist apartments. I have already written to council in support of this proposal which will preserve a unique streetscape. The Waverley Council heritage team subsequently provided advice via Council's Urban Ecology co-ordinator, that the Council Innovation Award commended native garden at the rear of the property could be included in the listing. I am writing to request that the garden be included in the listing for the following reasons: The garden is designed to work with native trees in neighbouring properties as an understorey of locally and regionally indigenous plant species sourced as locally as possible (attached plant list). Four species are indigenous to this garden and I have cultivated them simply by weeding out non-indigenous species, so they are now the dominant round covers. Although the garden is not directly in Waverley's designated Biodiversity Habitat Corridor, it just misses out, and other nearby properties in Ocean St are in the habitat corridor. This</i></p>	



would indicate that the garden at 17 Ocean St could provide valuable habitat for native fauna moving through the area.

The ecological value of the garden was recognised by Council's commendation in the Innovation category of the 2018 garden awards. I attach a copy of the commendation and a letter to the Owners' Corporation by the Local Connections Co-ordinator, explaining the reasons for the award. I understand she has since left the Council but the ecology co-ordinator was also involved in the awards and can speak to the ongoing value of the garden. The garden could be considered a heritage restoration of a piece of Bondi bushland, albeit modified by the constraints of the contemporary urban space (such as overshadowing). It was planted from tube stock and three years after planting it is beginning to come into its own. If left in place to continue to grow it will provide increasing areas and levels of habitat in years to come. The listing will encourage the Owners Corp to preserve the garden in the future and enhance these ecological values. - J C

## Precinct Committee feedback

### Queens Park Precinct Committee (Peter Cohen, Simon Swifte)

*The Queens Park Precinct Committee is pleased with Council's interest and efforts in undertaking this heritage assessment.*

*Local residents in Queens Park, one of the oldest and best preserved areas in Waverley, have shown strong interest in heritage preservation over the years at both our public meetings and in contacts with the committee.*

*The committee has considered the document and has attached some comments and suggestions in response.*

*We welcome the addition of a number of new Urban and Landscape Conservation area and the expansion of others.*

*1: We note that one aim of the study is to "educate and inform Waverley's residents about heritage protection" and support this as an important action.*

*2: We also support another aim of the Study for further "analysis and assessment of Waverley's cultural heritage" and "ongoing research".*

*[WAMP comments]*

*It was disappointing that there were no additional individual items identifies in the Queens Park Conservation Area. Most items have been on the list for many years and it is difficult to know why some are on the list while other important examples are not eg none of the fine examples of Federation houses in Queens Park Road are included.*

*Also, it is believed that 26 Alt St (a small timber house in the middle of later Federation homes) is one of the original farm houses in the district and, if so, should be considered for heritage status (photo provided).*

*3. The committee supports the extension of the Charing Cross and Grafton St UCAs, the latter hopefully ensuring the preservation of the western end of Oxford St in Bondi Junction.*

*4. The detailed history provided of each of the proposed new heritage areas was very interesting and informative. If this information is to be included in a public document on Council's website, perhaps the same analysis of existing areas, including Queens Park Conservation Area, could also be included.*

*5. With the addition of a number of new UCAs and LCAs, we believe that all heritage areas and Special Character Areas should be consolidated in one part of the DCP and listed in the index.*

*Currently, Queens Park and Charing Cross conservation area are Annexures to Part B of the DCP and do not appear in the index. This lack of prominence belies their importance. On the other hand, Special Character Areas (Bondi Heights, North Bondi and Ben Buckler) are located at the start of Part C and appear in the index.*

**Bondi Beach Precinct Committee - Lenore Kulakauskas, Co-Covenor**

*Bondi Beach Precinct strongly supports adoption of the draft Waverley Heritage Assessment. From 2012 on, the current committee has actively supported the preservation of the built heritage story in the Bondi Basin and to that end organised many well attended and well-received relevant events for the residents.*

**Bronte Beach Precinct Committee – Susan Hely**

*The Bronte Beach Precinct Executive Committee (BBPEC) welcomes the two Draft Heritage Assessment reports for Waverley. There is much to celebrate about the long and unique history of Waverley, its people, the buildings and amenities. The BBPEC commend the Heritage and Conservation team at Waverley Council who put together the detailed reports, the first review of heritage and conservation for 13 years.*

*The BBPEC supports the expanded Urban Conservation Area of Evans Street to include retail and residential parts of Macpherson St, Chesterfield Lane, Yanko Ave, Gardyne St, Bronte Rd, Lugar Brae Avenue, Lugar St, Brae St, Evans St, Rose St, Violet St and Albert St.*

*As well it is pleased to see the amended Landscape Conservation Area of the South Bronte headland – Calga Reservice.*

*It is heartening to see that there are 59 new individual buildings that have gained a Heritage listing in the Waverley area.*

*The Committee found the historical research and other information contained in the reports to be eye opening and valuable. Feedback by many residents to the BBPEC is that they want to preserve the heritage character of the area and are supportive of maintaining the consistent streetscapes and landscapes. New residents have moved in often because of heritage features, and as the report points out, the heritage houses and apartments are keenly sought and trade at a premium.*

*What does stand out in the reports is that Waverley and particularly the Bronte Beach precinct has lost buildings with a significant heritage pedigree over the years. In the area of the BBPEC we have lost grand marine villas with lush landscaped gardens such as Lugar Brae House, Yanko House (except for the stables), Bleak House and Chesterfield House. As well smaller Victorian, federation and inter war homes of the 1920s have been lost, breaking up important street scapes and often replaced by unsympathetic apartment blocks or houses by 'get rich quick' developers. Car ports and garages have altered the character of houses as well as renovations contrary to the character of the area.*

*Neglected heritage classified buildings or 'demolition by neglect' does concern the BBPEC. We would like to see some obligation or incentive for owners to maintain these old buildings to a certain standard. It might be as simple as ensuring the building is watertight and free of pests. An annual maintenance inspection by Council would be worthwhile. This should be welcomed by a responsible owner.*

*Sensible maintenance expenditure is to the owner's advantage and not an unnecessary cost impost. A red flag is when a heritage item is adjacent to other property held by the same owner, increasing the risk of development. The dilapidation of Stamatiko flats at Charing Cross and two stone houses in Busby Parade are examples. Hopefully it is not too late to save them.*

*The BBPEC wants to understand how the expanded conservation and heritage assessment will help protect the area from developments that will alter the integrity of houses and streetscapes. It hopes that it will be taken seriously, and that Council will ensure that it is taken into account properly in its approval process.*

*Recommendations by the BBPEC:*

*More funding for heritage and conservation at Waverley Council. The role of heritage architect be expanded to a full-time role.*

*Further strengthening of the controls of the Local Environmental Plan and the Development Control Plan to safeguard the heritage and conservation of the Waverley area.*

*We recommend promotion of the benefits of owning a heritage building and being in a conservation area.*

*It was stated by council that the Department of Planning has received feedback that there is much pushback from some over proposed heritage listings. We respond that promotion and support of heritage is needed so that it becomes valued by the community as opposed to being regarded as a burden particularly by owners.*

*We would like to see more trees listed as protected Heritage items for example some of the large pine trees, Moreton bay fig trees as well as established paperbarks in Evans Street and Brae Street. Tree streetscapes such as Chesterfield Parade are important to conserve and more would be welcomed to preserve the character of the area and act as a buffer against high temperatures.*

*We would like to see more celebration through promotion and education about Waverley's unique heritage. Already there are some area walks that can be downloaded and followed.*

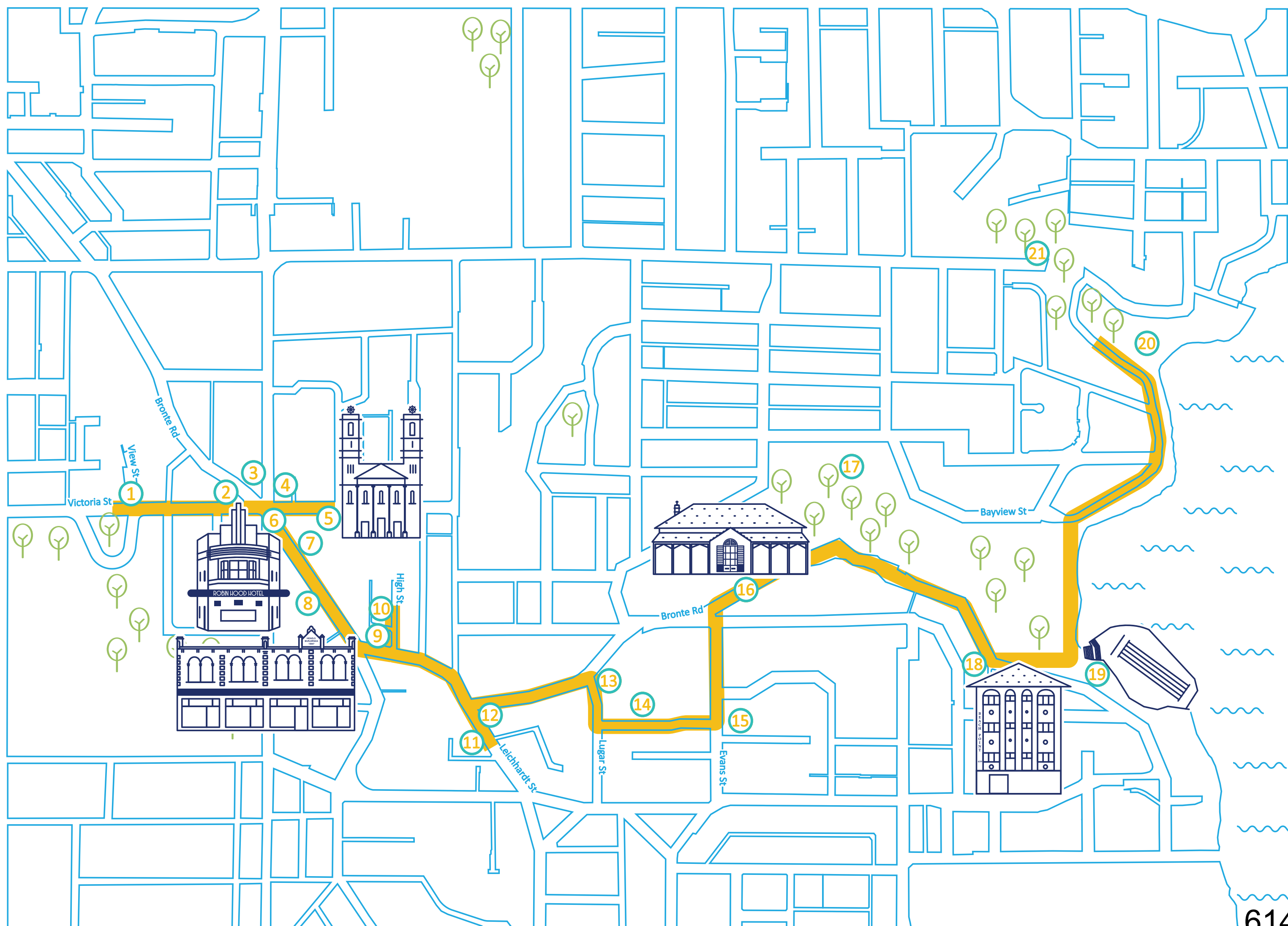
*We would like to see 'unbuilt' heritage such as green spaces and open areas to be under conservation. These too have a heritage pedigree and Council needs to deal with these.*

*We would like to suggest that Calga Reserve is extended to Calga Street in order to help protect the built form here from dominating the Reserve.*

# HELLO WAVERLEY BONDI WALKS



## CHARING CROSS to BRONTE



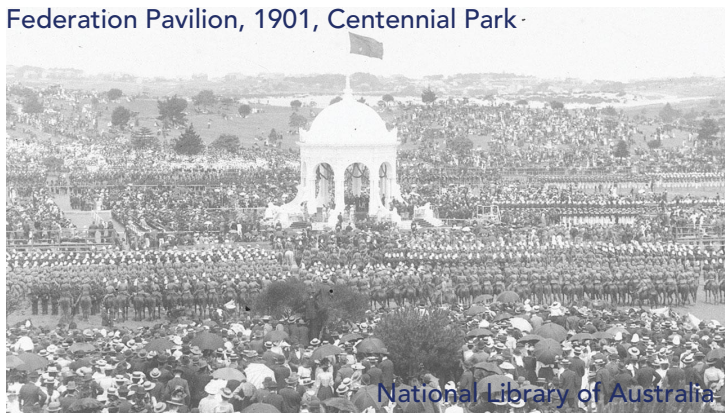


# CHARING CROSS to BRONTE

Welcome to Waverley's heritage walk through Charing Cross to beautiful Bronte Beach. The journey - much of it through a heritage conservation area - is a story of colourful characters; of fortunes made and lost; of a colony that became a country; and an artists' colony that helped define it; and surf and swimming culture that became a permanent part of Australia's national identity.

## 1 - Start Point Corner of View St and Victoria St

You are standing on a high sandstone ridgeline, one of many criss-crossing Sydney's east coast. In the distance are vast views across parkland to the Blue Mountains. It's an extraordinary vista that takes in a wide sweep of this country's history. For a small LGA, the Waverley municipality has a big story to tell. It is closely connected with many of the landmark events in Australia's evolution as a nation.



### Aboriginal custodianship

The oldest stories are those of the indigenous inhabitants of Sydney's coast. The parklands you see below are a key part of that history. For over a thousand generations Aboriginal people lived in the area now known as Waverley. They walked the high ridgelines to travel, overlook and manage their lands. The Bidjigal and Gadigal people of Sydney's east lived before and during the last Ice Age (25,000 – 15,000 years ago) and witnessed the rapid rise in sea levels in that period. Waverley's cliffs marked the safe high ground. Yet their legacy has endured and is now globally recognised as the world's oldest living culture.

We acknowledge that we are on land traditionally occupied by the Bidjigal and Gadigal people. We also acknowledge their elders - past, present and emerging.

### First Fleet

Today, the First Fleet's arrival at Sydney Cove is marked by the skyscrapers you see in the distance. The ridgeline viewing platform you are on offers sweeping views. You are able to see that far because of the flat-plain typography of the greater Sydney Basin.

### Parklands

The huge Centennial parklands below are an extraordinary asset bequeathed on future generations by Governor Lachlan Macquarie. He quarantined the freshwater wetlands - known in the early colony as Sydney Common - so that the growing town would have a fresh water supply after the Tank Stream along Pitt Street was polluted. The wetlands also supplied drinking water for the Charing Cross commercial strip behind you. It was the first commercial centre in Waverley, dating from the 1840s.

### Federation

The parklands below were also the birthplace of modern Australia. On January 1, 1901, Lord Hopetoun stood under the Federation dome and read out a proclamation signed by Queen Victoria that declared the Commonwealth of Australia. The native-born Edmund Barton was sworn in as the first Prime Minister of Australia. Barton died suddenly in 1920 and is now buried at Waverley's South Head Cemetery.

Also standing in Centennial Park, near the Paddington Gates, is a statue of Sir Henry Parkes - a towering figure in the push towards Federation and self-government for the Australian colonies. Parkes was Premier of NSW a number of times and at the last election he contested, he stood for the seat of Waverley.

## 2: Bank of NSW 189 Bronte Rd

On the corner of Victoria St and Bronte Rd is a fine example of a late-Victorian commercial building pair. They are an important streetscape element on the intersection and date from 1888. The pair have special historic interest as the Bank of NSW's first Waverley branch. "The Wales", no longer in existence, was Australia's first bank, established in 1817 during Governor Macquarie's rule. One of the first Bank of NSW's directors was D'Arcy Wentworth - an unusual choice for a bank, given he arrived in Sydney in 1790 fresh from being acquitted in Britain of three charges of highway robbery. One Bank of NSW Waverley branch clerk in the early 1900s was the young artist J. J. Hilder. He became a noted Australian painter whose inspiration included Bondi Beach (pictured), where he meet fellow artist and art teacher Julian Rossi Ashton, around whose home at Tamarama an important artists' colony was forming.



## 3 - Post Office 234 Bronte Road

In 1901, the new Australian nation needed a range of architecture to establish its federal government. Across the road from the bank, you will see the heritage-listed former post office building wedged between Bronte and Carrington roads. The design of the post office, built in 1923, was overseen by the Scottish architect John Smith Murdoch, who was the nation's first Commonwealth Architect. Its architectural style is known as Stripped Classical. Murdoch is little-known today but his architecture legacy is vast, including more than 120 buildings. He was kept busy in the first decades after Federation designing key government buildings, many in



the Stripped Classical style. Murdoch's most significant building is Canberra's "temporary" Parliament House, which remained the centre of government until 1988. He helped to select Walter and Marion Burley Griffin as winners of the competition to design the nation's new capital. He was also an adjudicator in design competitions for Canberra's war memorial and the Stripped Classical building that is now the Australian War Memorial on the Western Front at Villers-Bretonneux in France.

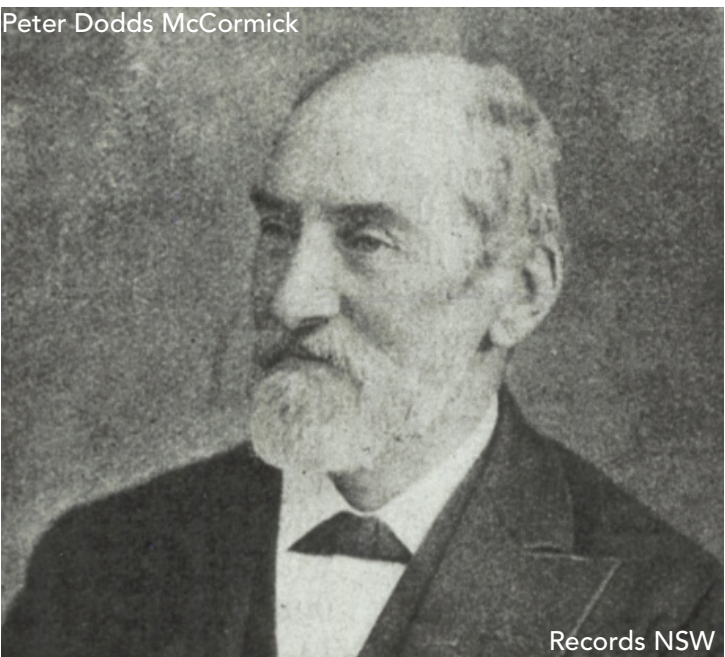
### Early Charing Cross

The former post office site on Bronte Rd was once known as Madden's Corner, after early Waverley resident John Madden. The Charing Cross area was created from land purchases made by William Manners Clarke (1837), Lewis Gordon, (1838) and Samuel Peak, (1839). Later subdivision of the land provided sites for a small service village built along the road south to Coogee Bay and Governor Macquarie's watchtower at La Perouse. Madden purchased his land from Lewis Gordon, a government surveyor, and built three stone cottages on the post office intersection. Madden and his son of the same name were signatories to Waverley Council's establishment in 1859. At that inaugural meeting, held in a local hotel, council renamed the area Charing Cross, after its London namesake. The last of Madden's 1840s stone cottages, which became a Catholic presbytery and then a home of "Granny" Cosgrove (a granddaughter of John Madden and noted local), was demolished c.1919.

## 4: Grahame Memorial Church

Continuing uphill along Victoria St is the sandstone Grahame Memorial Uniting Church. The church was built in 1897 in the Gothic style, complete with buttresses and feature stained glass window. It is an outstanding example of its type. The gable-parapet front façade and belltower are embellished with carved stone decorative features.

Another feature in the church is a plaque to the noted Waverley resident Peter Dodds McCormick. He composed the national anthem, Advance Australia Fair. McCormick, a Scotsman who arrived in the colony of NSW in 1855, was also an elder at the church. The anthem was sung by a 10,000-strong choir at the inauguration of the Commonwealth of Australia at Centennial Park on January 1, 1901, and by massed bands at the federal capital celebrations in Canberra. McCormick lived in Waverley from 1889, first in a house along this walk at 5 Virgil St (now 20 Yanko Avenue). In 1902 he moved to 103 Birrell St (now No 87). He died in 1916 aged 83.



## 5: Mary Immaculate Church

Across the road is the magnificent Mary Immaculate Catholic Church, built in 1912. It is a single-nave basilica in the Romanesque Renaissance style with east-west transepts, designed by noted ecclesiastical architects Sheerin and Hennessy, who also designed St Patrick's College at Manly and completed St Mary's Cathedral to William Wardell's design. The façade was remodelled in the Academic Classical Revival style in 1929, with pediment portico and four ionic columns. The square bell towers are landmarks that can be viewed across the east and beyond. Watch for glimpses of them as you walk.

The church, which replaced an earlier one dating from 1854, was built on a 3-acre plot donated to the church on or near the site of Vickery's Tannery.

The church walls are adorned by seven frescos painted by the Italian artist Cesare Vagarini. He came to Australia as a prisoner of war after he was captured in Palestine working on a fresco by Allied forces during World War II. One of the murals was shortlisted for the Sir John Sulman Prize in 1947. Vagarini left Australia in 1948.

## 6: Charing Cross And Robin Hood Hotels

Walking back to the Charing Cross crossroads, you will see two streamlined Art Deco hotels, the Charing Cross and the Robin Hood. Together, they make an outstanding architectural contribution to the busy intersection streetscape. Both were built in the 1930s, when hotel design was coming into its own. The Art Deco pubs of this era have been described as a "phenomenon of Australian architecture". The sleek modern look conveyed a sense of optimism as Australia emerged from the Great Depression. Australia was one of the few countries to adopt English licencing laws, which required public bars to provide accommodation. Breweries used the opportunity to promote themselves with landmark architecture.

The Charing Cross Hotel was built in 1934. It replaced an old inn built by William Newland in 1857, the first in Charing Cross. The inn was used by Waverley council for meetings in its early days. Joseph Vickery, on whose family's land Mary Immaculate Church was built, was a member of a committee that agitated for the establishment of the municipality, proclaimed in June 1859 – the second municipality in Sydney to be constituted.

The 1934 Charing Cross Hotel was designed by Sidney Warden, the most prolific architect then working for Tooth and Co, the oldest brewer in NSW. Warden completed 392 Art Deco hotels, buildings and extensions across NSW in the 1930s and '40s, including the Light Brigade in Paddington.





Across Bronte Road is the Robin Hood Hotel, an archetypal Ocean-liner building from the hotel boom period, wedge-shaped, with light-faced brick, characteristic dark horizontal lines and classic lettering set. The first Robin Hood hotel, dating from 1859, was built on Carrington Rd. In 1937, that hotel was demolished and rebuilt by Tooth and Co and renamed the Robin Hood. The striking design was the work of Copeman Lemont and Keesing architects. Note the retro poster of the lifesaver on the front of the hotel, reflecting the surf culture then emerging at the beaches nearby.

## 7: Early Charing Cross

252-254 Bronte Rd

Heading south along Bronte Rd, you will see an old sandstone building, at 252-254 Bronte Rd. It is an important element of the streetscape as probably the oldest building in Charing Cross. The high integrity of buildings in Charing Cross tells a clear story of its historic evolution from an early village east of Sydney.

The earliest villa built in the municipality also gave it its name. Waverley House was a 2-storey Colonial Georgian estate built in 1828 on a 24-hectare grant in what is now Bondi Junction. It was built for Barnett Levey, a merchant from London's East-end who arrived in Australia in 1821 to join his prospering former-convict brother, Solomon. Barnett named his villa after the book Waverley by Scottish author Sir Walter Scott, published in 1814.

### Trams:

Imagine, as you look back towards the Robin Hood hotel, that it is the mid-1800s. Waverley's first horse-drawn tram terminus would be in view in the middle of Bronte Rd outside the hotel. Charing Cross was a small village containing industry, cottages, small shops and hotels. The road through it was called the Coogee Road, built in 1832. It followed an Aboriginal path across the ridgeline and linked Charing Cross with the emerging Tea Gardens settlement that is now Bondi Junction.

Horses, buggies or carts and foot were the main means of transport. Mr Ward of the Waverley Hotel at Tea Gardens offered trips in a spacious omnibus in 1849. Horse-bus services began operating commercially in the 1850s. For sixpence, you could travel from Tea Gardens and Charing Cross to Wynyard in the city in about 50 minutes. Each bus also carried newspapers, milk and other goods. Horse-buses competed with the early steam trams, but by 1889 were unviable.

Waverley was one of the first areas to have trams. The first tram track, from Darlinghurst to Charing Cross, was built in 1884. In the same year the line from Tea Gardens to Fletcher St in Bondi was built. The two lines formed a "junction", which was effectively the beginning of the new commercial centre at Bondi Junction.

## 8: Head's building

245-263 Bronte Rd

Heading south along Bronte Rd again, you will see Head's grand commercial terraces. The group was designed in the Victorian Italianate style in 1887. The building is one of the best surviving late 19th-century commercial terraces in the Waverley area. Its style is testament to the rapid growth of the late-Victorian boom period, during which Waverley's population quadrupled to 8,842 in the 20 years to 1891.

Continuing south down Bronte Rd, before

turning left where the street forks, look back across the road and you will see an original bright red Victorian letterbox.

## 9: Bronte Palace Theatre

340 Bronte Rd



Turn left into Bronte Road and stop at No 340 (once 82-90 Leichhardt St). This was the site of John Bunyan's stables, from which he ran his horse omnibus service. In 1910, when tram power replaced horsepower, he partnered with Charing Cross newsagent William J. Napier to operate an open-air cinema on the site.

Hoyts Theatres was the last operator, until 1950. The cinema was demolished in 1957 and became a petrol station, then an equipment hire business.

## 10: Glenrock Terraces

4-22 High St

Turn left into High Street and look for a row of Georgian terraces made of hand-cut sandstone. They are the oldest terraces constructed for working families in Waverley, built by Ebenezer Vickery in 1866 for staff at his adjacent tannery. He later became a NSW MP in the Legislative Council.

Waverley had many industrial sites in its early years. Despite complaints from residents, tanning yards operated for more than 50 years, until health concerns about odours resulted in their closure in 1881. Protests also forced nearby landholder Joseph Dickson (Dickson St) to close his soap factory and boiling works in 1859. Stone quarries operated and expanded to supply city construction.

## 11: St Catherine's School

Leichhardt St

Head back to Bronte Rd now, turn left and follow the road to the roundabout. Ahead on the right, on Leichhardt St, is St Catherine's boarding school – Australia's oldest Anglican girls' school, opened in 1856. Notable past students include one of the world's most celebrated operatic sopranos, Dame Joan Sutherland; neurosurgeon Dr Una Fielding; Arts and Crafts Movement artist Eirene Mort; and writer Madeleine St John, who wrote Ladies in Black, recently released as a film.



## 12: Lugar Brae Church

Leichhardt St

Across the road from the school is Lugar Brae Church. It was named after one of the big Marine Villa estates that covered the Bronte area between 1840 and 1880. The church, built in 1881, was built close to the original house and was paid for by a Methodist Church benefactor, Ebenezer Vickey, whose family estate today forms the historic heart of the War Memorial Hospital near Bondi Junction. Lugar Brae Church was constructed in the Victorian Academic Gothic style, used extensively for cathedrals and churches across Sydney. Lugar Brae was built on a grant of land purchased in 1851 by Dugald MacPherson (1813-1854), who held the position of Cashier of the Receiving Room Iron Chest in the Colonial Treasury. He is remembered in the nearby MacPherson St name.

### 14-16 Leichhardt St

A little further down Leichhardt St, passed the church, is a pair of single-storey terraces constructed in the early 20th century in the Federation Queen Anne and Filigree architectural styles. They were built as part of the great Federation building boom that resulted from the sale of most of Bronte's Marine Villa estates and the extension of the tramline to Waverley Cemetery (1890) and later to Bronte beach (1911), which travelled down the MacPherson St ridgeline. The terrace detailing is typical of the Federation era: face brick exterior with rendered details and high-pitched slate roofs with terra cotta details on gables, all symmetrically arranged around a mirror-reversed plan form. The gable fronts have timber-batten detailing with the main roof extending over the veranda and supported by cast iron posts and filigree frieze. You will see many more examples of Federation architecture along the next few Bronte streets.

## 13: Elizabeth Cadman

12 Lugar St

Turn back to Bronte Rd, then head downhill and turn right into Lugar St. The street was formed from land that belonged to Bleak House, built in 1856. The house was named after the serialised novel by Charles Dickens, which was published in 20 episodes between March 1852 and September 1853. One of its owners was Charles Mottram Evans, after whom nearby Evans St was named.

Many colourful characters have called Bronte home. Elizabeth Cadman (c1797-1861) was one. She was a convict who married John Cadman and they live at Cadmans cottage at Circular Quay. She is believed to have become the first woman to vote in NSW, in the Waverley Council elections of 1860. She reportedly insisted that, as a landowner, she was entitled to cast a vote. Flustered polling officials felt unable to stop her. Elizabeth later moved to Manly, where she ran the Women's Baths. She died in 1861.

Enjoy the historic homes in Lugar Street as you make your way to Brae Street. Nos 9 and 11 Lugar St are unusual examples of late Victorian Gothic-style.

## 14: Miles Franklin

34 Brae St

Another significant, if brief, resident of Bronte was the celebrated novelist (Stella Maria Sarah) Miles Franklin (1879-1954). In 1903, she lived in a Victorian terrace that once stood at 34 Brae St and

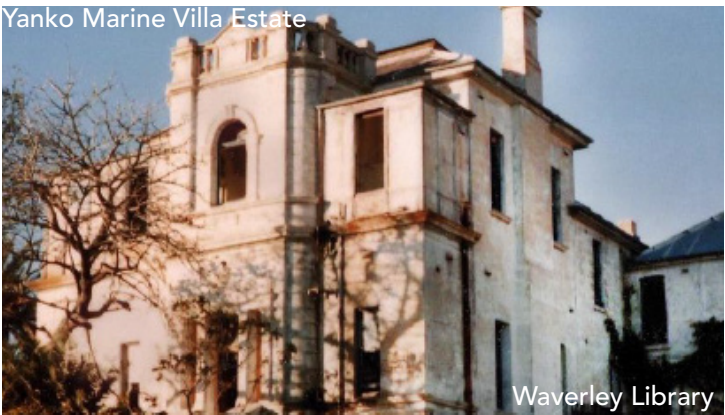
worked as a live-in maid. Her celebrated novel My Brilliant Career had by then been completed, using her middle name "Miles" to disguise her gender so it would be published. She worked as a maid under the name Sarah Franklin and wrote about the experience to publicise the powerless position of female domestic servants. During her three months as a maid, she got half a day off. At her death in 1954, she bequeathed money to establish a literary prize: the Miles Franklin Award. The Stella Prize, established in 2013 for women writers, was also named after her.



## 15: Victorian mansion

19 Evans St

As you leave Brae St you will enter Evans St, which was constructed as part of the Bleak House subdivision from 1879. Look out for the impressive grand Victorian mansion Elsmore at No 19, which first appeared in Sands Directory in 1892. Edwin Fieldhouse, who owned substantial land holdings and dairy farms in Sydney and Campbelltown, lived in the house until 1910. Elsmore's Italianate style evolved from the late 18th-century Romanticist-Picturesque movement in England. Translated to Australia, the picturesque building in landscape design made the style appeal to the landed gentry and wealthier town dwellers. When the estate was put up for sale in 1911, the advertisement described it as "... overlooking the ocean, Bronte, Little Coogee and the coastline ... [with] elegant double drawing room, dining, morning, breakfast, library and ballrooms ... mostly fitted with marble mantels, electric bells [and] richly corniced ceilings".



### Yanko Avenue

Heading downhill, you will see Yanko Ave, which was built on land belonging to the Marine Villa of that name. Yanko House, initially know as Yanco, was built in 1866 by one of Waverley's first councillors, Charles Simmons, and had a distinctive tower overlooking Nelson Bay, as Bronte Beach was first called. The mansion started as a modest single-storey villa of mid-Victorian style with extensive grounds. Successive stages of stone additions were financed by land sales. In 1882, Yanko estate was subdivided, creating Virgil St (now Yanko Ave). All that remains of the house is a heritage listed sandstone coachhouse-stables within the grounds of 34a Yanko Ave.



Bronte Road

Head downhill again and turn right, back onto Bronte Rd and look out for glimpses of the Mary Immaculate towers in the distance. Before it was formally named in 1940, Bronte Rd was known as Nelson Bay Rd. The two names have a surprising link with an eminent figure in history: Admiral Horatio, Lord Nelson (1758-1805), the British naval hero. Bronte Beach was initially known as Nelson Bay, also commemorating the victor of the Battle of Trafalgar against Napoleon’s forces.

The war against Napoleon delayed the arrival of the second fleet to Australia’s shores and left the new colony perilously close to starvation.

Continue down the hill until you arrive at Bronte House, the last of the area’s Marine Villas.

16: Bronte House

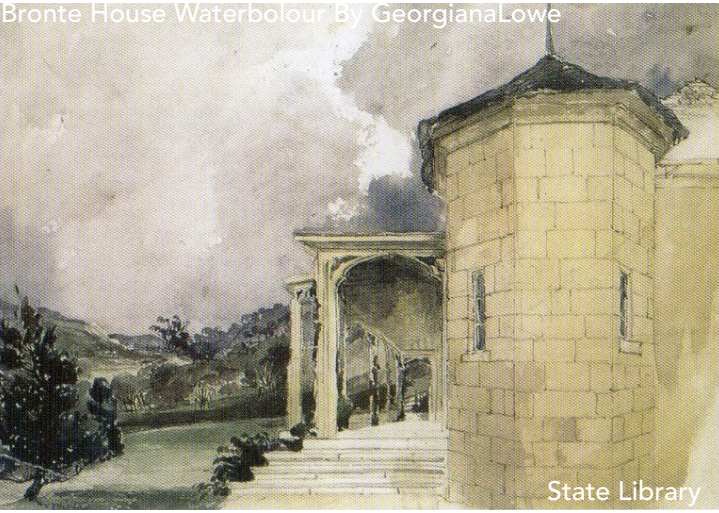
Demand grew for villas in the Waverley area in the 1840s as the economy began to revive. Bronte House, reminiscent of a medieval French chateau, was built in 1845 and is the oldest known residence in Waverley. It was built in what historians have described as “an amusing mongrel Gothic Italianate design”. It is considered to be an outstanding example of a colonial house retaining rare, early architectural features, one of only a small group of exemplary Regency-style villas constructed in the Australia colonies as a romantic retreat from more formal city life.

Gardens were an integral part of the outdoor pleasures of villa life and were designed with waterfalls, grottos, summerhouses, orchards as well as vegetable and flowerbeds. Bronte House is now a small-scale botanic garden and a repository for rare and beautiful plants. The house foundations are believed to have been designed and built by Mortimer Lewis (1796-1879), who was appointed Colonial Architect in 1835.



In the early 1840s he struck financial trouble and reluctantly sold the land at Bronte to Robert and Georgiana Lowe. Robert (1811-1892) had decided to seek his fortune in Australia after doctors told him his defective eyes, caused by being albino, would send him blind within seven years.

His wife Georgiana Lowe (c.1813-1884) was reputedly independent, socially progressive and an excellent horsewoman. She often travelled long distances on horseback with her husband and was called the Black Angel for the way she appeared to fly over ditches and tree stumps along the bush tracks when out riding.



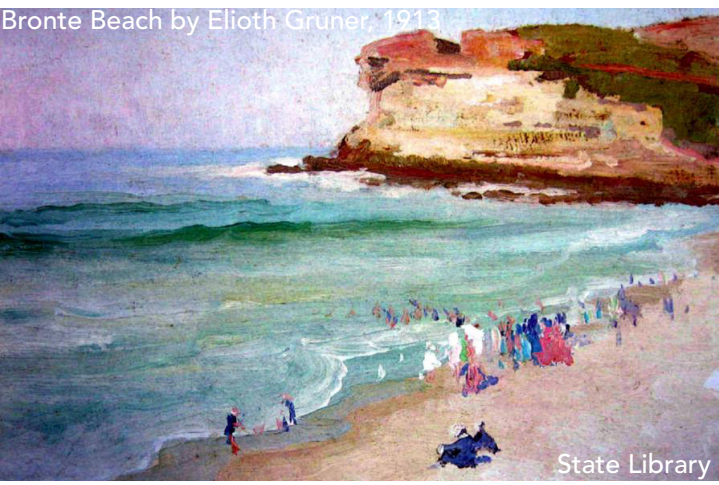
17: Bronte Gully and Park



Walking past Bronte House, look for the public staircase down to Bronte Park. Waverley’s sandstone ridgelines have allowed for the creation of a strong pattern of gully parks across the area.

Bronte Park’s landscape transformed gradually. During the 1870s the creek was a free-flowing fresh watercourse. The north side of the valley was described as “steep and almost in its natural state, tolerably well-timbered in places”, whilst the southern side was more gently sloping, largely cleared of scrub with a park-like appearance. From 1917 the creek and beach zone was progressively filled, levelled and grassed after the sea wall was constructed. Between 1914-19, six 1000-candle-power lamps were placed in Bronte Park, before Waverley’s first electric street lamps were lit on 1 February 1922.

The steep topography also led to the creation of a significant urban feature: sandstone retaining walls along streets and sandstone pedestrian stairways.



18: Beach Point Flats, Bronte 459 Bronte Rd

Walk through the park towards the beach and shops. More colourful characters reveal themselves at Beach Point Flats apartment building. It was once home to a key figure in music history and a sporting great. He was the noted swimming coach and Olympian, Forbes Carlisle. Although he was NSW backstroke champion in 1942, Carlisle is most credited for importing sports science into swimming in Australia. His other great achievement was coaching the legendary young swimmer Shane Gould to five medals, three of them gold, at her only Olympics, at Munich in 1972. She broke 11 world records, including the 200m freestyle three times. By late 1971 she held every freestyle world record: 100m, 200m, 400m, 800m and 1500m. In the Carlisle team rooms was a plaque that said: “Our aim is not to produce champions, but to create an environment in which champions are inevitable.” His swimmers collected a total of 12 Olympic gold medals.

The other noted top-floor resident of the Beach Point Flats on Bronte Rd was Ian “Peewee” Wilson, who in 1958 formed the band The Delltones, known as Australia’s Beach Boys.



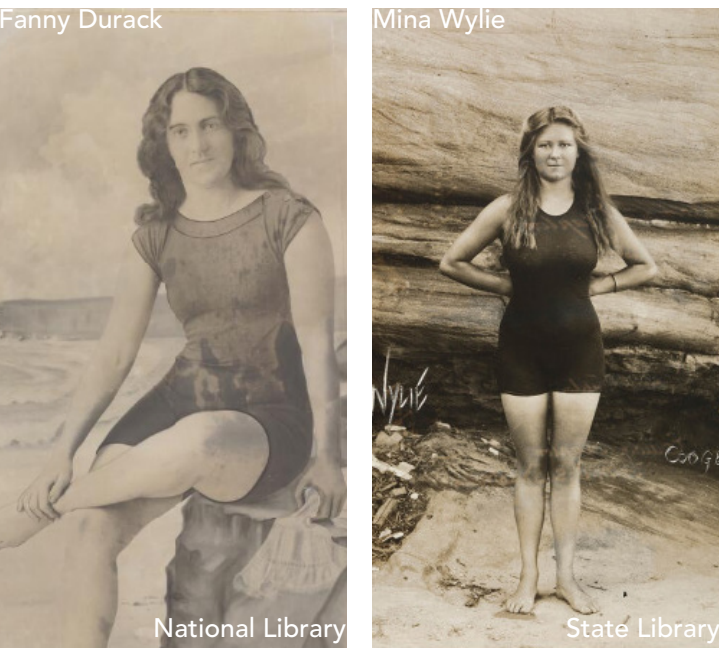
19: Bronte Ocean Pool

To the modern visitor, it seems shocking now that ocean bathing was once illegal in NSW and wasn’t legalised until 1902. Daytime bathing at public beaches was prohibited by an Act of Parliament in 1838. Sharks - and concerns about decency and morality - were cited as reasons for the ban. Things changed after acts of civil disobedience at Manly Beach in 1902 in which people swam in protest at the law. No arrests were made and similar protests followed at other beaches. The protests provided a catalyst for liberalising beach regulations and Australia’s famous beach culture began to emerge. By 1903, Bondi Beach had its first daytime bathing facilities and in 1911 the first bathing shed opened. The nation’s first Surf Life Saving Clubs, at Bronte and Bondi, were formally established in 1906.

Ocean pools also fostered generations of elite Australian swimmers. At Bronte, in the early 20th century, young women were at the forefront and trained at the pool. Fanny (Sarah Frances) Durack (1889-1956) was the first woman to win an Olympic Gold Medal for swimming in the 100m freestyle at the Stockholm Olympics in 1912. She set 12 more world records between 1912 -1918. She is buried in Waverley Cemetery.

Her friend Mina (Wilhelmina) Wylie (1891-1984) was first woman to win an Olympic Silver Medal, also at Stockholm. She learned to swim in Bronte pool while her father Harry Wylie leased it from Waverley Council (November 1895-June 1901), before he developed Wylie’s Baths at Coogee.

Evelyn Whillier (nee de Lacey, 1917-2004) represented Australia at the 1936 Berlin Olympics and won Gold Medal at 1938 Empire Games. She later taught generations of Bronte children to swim in the ocean pool. She was the first member of Waverley Council’s Heroes Walk at Bronte.



20: Tamarama Wonderland

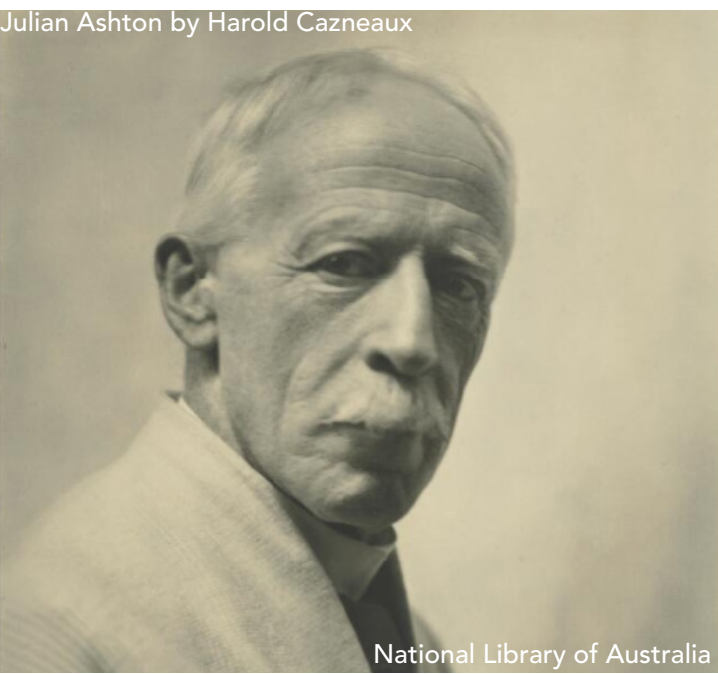
In the late 19th Century, one entrepreneur chose Tamarama beach as the site for a seaside amusement park. His aquarium opened in 1887. Other entertainments included dancing, bowling, skating and a shooting gallery. Competition from aquariums at Coogee and Manly saw the venture close in 1889. Wonderland City, an antipodean Coney Island, later opened on the abandoned aquarium site in 1906, but closed in 1911 due to economic failure.



21: Artists’ Colony – Julian Rossi Ashton’s house

As Federation began, Australia’s search for a national identity started to emerge in Tamarama with an artists’ colony, based around the home of artist Julian Rossi Ashton, illustrator for The Bulletin and founder of the art school bearing his name. He took up residence (Illawong Ave) in a house overlooking Fletcher’s Glen (now Tamarama Gully). He created strong connections with many of Australia’s most notable artists, who orbited his home for the 50-odd years he lived at Tamarama. Their work includes many paintings of Bondi, Tamarama and Bronte beaches, held in most of Australia’s art galleries.

Another significant artist resident was Henry Souter, writer, poet, playwright, graphic satirist for The Bulletin and arts editor for Arts and Architecture magazine. His largest surviving work is the allegorical mural painting depicting the emergence of the lifesaver as an icon of Australian manhood, painted for the Bondi Surf Bathers Life Saving Club, of which he was president in 1920-21. The mural is now on display in the National Maritime Museum’s permanent collection. Along with the ‘digger’ and the ‘bushman’, the lifesaver achieved an iconic place in Australia’s cultural imagery ... and the iconography of the Bronzed Aussie was born.





Public Feedback – Heritage Conservation Areas					
Area	Submissions Received	Key Issues Raised	Council Officer Comments	Expert Panel Comments	Recommendation
<b>Bondi Road UCA – new UCA</b>	13 supportive 1 objection	<p>Draft UCA should be extended to Denham Street-Waverley Park.</p> <p>Heritage shopfronts, human scale and village feel should be conserved.</p> <p>One owner did not want shops in UCA, – too altered.</p>	<p>Bondi Road’s streetscape of 1881-1939 produced a setting of Federation and Inter-War styles that is cohesive in alignment scale and massing and remains notable for its detail and extended groupings, and the society of early 20<sup>th</sup> century Waverley. A majority of submissions supported the UCA. While buildings have been altered, it does not negate the character and consistency of the remaining built fabric.</p>	<p>Feedback shows clear community passion for UCA’s fine grain, small lots and diversity of shop types.</p> <p>Support conservation of early, continuous shopfronts with no driveways, original scale, setbacks, parapets, view lines and original interior features including pattern ceilings, door joinery, fireplaces, floorboards and pressed metal panels.</p> <p>Supports a DCP focused on restoration conservation of UCA’s original shopfronts and interiors.</p> <p>Original tiles, stone and brick should remain unpainted. Support UCA extension to Park Parade.</p>	<p>Endorses the new Bondi Rd UCA and investigate its extension to Park Parade as a future body of work.</p> <p>Support conservation and restoration of UCA’s heritage buildings with Design Guidelines that encourage preservation of internal and external original fabric, fine-grain small lots, diversity of shop types, early shopfronts, original scale and features, appropriate setbacks, parapets, heights across the area, view sharing, careful insertion of modern amenities and community resilience initiatives.</p>
<b>Bondi O’Brien Estate Urban Conservation Area – new UCA</b>	15 support 7 objections	<p>Heritage is what makes Bondi special – it gives a cohesion and make LGA’s roots visible; Rampant development destroys it; Important to retain Bondi’s unique scale and identity;</p>	<p>Conservation areas are not snapshots of the past: the planning system allows sympathetic development through an approvals process that ensures the retention of significant built form and</p>	<p>Support new UCA – historical, architectural, aesthetically significance part of the Waverley LGA.</p> <p>Extra mapping of the area’s important architectural eras – Victorian, Federation and Inter-War – and the legacy of the O’Brien</p>	<p>Endorses the new Bondi O’Brien Estate UCA.</p> <p>Endorses preparation of Design Guidelines that encourage conservation and restoration of buildings with heritage significance and the retention of core internal</p>

		<p>Concerns VPAs and exploitation of planning provisions for affordable housing and seniors living are bypassing zone controls.</p> <p>Most buildings are of no significance - just eyesores; Don't want to live in snap-shot of the past capturing only ugliness; Will reduce property values and restrict creativity; Contradicts Codes SEPP.</p>	<p>fabric. This helps maintain quality and desirability. UCAs contain buildings that contribute to its heritage fabric, and others that do not. Both can be developed within existing planning rules. Evidence in Waverley LGA shows that being in a UCA does not harm property prices: heritage houses are in high demand and often sell at a premium.</p>	<p>Estate will aid community understanding of the historical importance of the southern slopes of the Bondi Basin.</p>	<p>and external, original and early fabric and streetscapes.</p>
<p><b>Bondi Inter-War UCA – new UCA</b></p>	<p>14 supportive 2 objection</p>	<p>Support the preservation of Bondi's built heritage story; Inappropriate development harms charm, character; Protect streetscapes - painful to see old buildings demolished; Inter-War buildings a rich part of Waverley's history. Oppose large additions to fine-grade streets. Codes SEPP damaging heritage.</p> <p>UCA is too big, most buildings detract from its heritage significance; Unreasonable restriction on owners; UCA will prevent Codes SEPP use;</p>	<p>Demonstrates town planning principles of Inter-War, combining broad planted avenues with the emerging form of the residential flat building. Cohesion achieved by consistency of materials and condensed period of construction. Character is now highly esteemed. UCA will not stop owners renovating or upgrading. It will require only that heritage be considered. The UCA compares in size with other historic areas: Paddington, Mosman, Haberfield,</p>	<p>Supports UCA – historical, architectural, aesthetically significant part of the Waverley LGA.</p> <p>Agrees the Garden City landscape principles employed in the Inter-War development of the Bondi Basin reinforces the scope of the UCA.</p> <p>Supports research on the architects of Inter-War period and the significant architectural legacy they left Waverley, which should inform DCP guidelines.</p> <p>Supports investigating ways to reduce damage to heritage fabric resulting from the Codes SEPP.</p>	<p>Endorses the new Bondi Inter-War UCA.</p> <p>Endorses preparation of Design Guidelines that encourage conservation and restoration of buildings with heritage significance and the retention of core internal and external, original and early fabric and streetscapes.</p> <p>Supports further research on the Inter-War architects who helped establish the character of Waverley to inform the DCP and better conserve the Inter-War character of Waverley.</p>

		Bondi is a planning mess – modernize.	Hunters Hill, North Sydney.		Endorses the investigation of ways to reduce impact on heritage fabric resulting from the Codes SEPP.
<b>Avoca Estate UCA – new UCA</b>	12 supportive 2 objection	Value streetscapes of old Waverley; Conserve cohesive unique character; Conservation means old buildings will be enjoyed in future; Old character can't be replicated; Federation houses in Tamarama St harmed by traffic.  UCA creates unwanted restrictions to development; Most houses have no heritage significance; Need more efficient ways to complete modifications.	Historic, aesthetic, social significance revealing Waverley's evolution from isolated gentleman's residences to close-set suburban housing. Aesthetically significant streetscapes of cohesive form, scale. UCAs don't stop change - planning allows for it in a managed way. Minor change can be made with a Heritage Exemption Certificate at limited cost. DA rules do not prevent second-storey additions.	Supportive of UCA's historically cohesive streetscapes.  Notes that the key historical features of the area should be retained. Mapping of the area's important architectural features – from the Victorian, Federation and Inter-War – will aid community understanding of the UCAs historical importance.  Supports Tamarama Street traffic calming using a multidisciplinary approach including urban design and planting, paving, shared zones.	Endorse the new Avoca Estate UCA.  Endorses preparation of Design Guidelines that encourage conservation and restoration of buildings with heritage significance and the retention of core internal and external, original and early fabric and streetscapes.  Investigates traffic calming measures as part of a future body of work along Tamarama Street.
<b>Palmerston UCA – reduced UCA</b>	1 supportive 4 objection	Reducing the UCA size establishes a retrograde precedent; Coherent group of Inter-War and Post-War flat buildings should be conserved.	Buildings provide a benchmark for the beginnings of stylistic change of the residential flat building from Inter-War to Post-War. Concern about the future of the flat is not warranted as they remain in the UCA.	Support the reduced boundary of the Palmerston UCA.  Recommend assessment be made of other Bronte buildings nearby for inclusion in the UCA, including 19a Brown St, 17 Palmerston Ave, 37 Dickson St.	Endorse amended boundaries of the Palmerston UCA.  Endorses preparation of Design Guidelines that encourage conservation and restoration of buildings with heritage significance and the retention of core internal and external, original and early fabric and streetscapes.

<b>Charing Cross UCA – extended UCA</b>	2 supportive 1 objection	<p>Henry Street should not be included in UCA because architecture is of mixed character and individual houses should be heritage listed;</p> <p>Concerned by the un-sympathetic signage and paint colour in Charing Cross heritage shops and the effect on internal and external fabric caused by the Codes SEPP.</p>	<p>Charing Cross HCA covers Waverley’s oldest and most intact commercial centre. Its long history remains visible in the streetscapes, characterised by rare, mid-Victorian shops, two-storey retail facades of late-Victorian, Federation and Inter-War styles. The HCA extension includes residential buildings of those eras. Henry, John and Edmund streets (the Canonbury Estate) is historically significant as an early subdivision mapped by noted colonial surveyor C. E. Langley.</p>	<p>Supportive of extension on eastern side of UCA.</p> <p>Recommended further research on the historical significance of the western extension to UCA [since completed, revealing the association with, and a subdivision pattern laid out by, the noted colonial surveyor C. E. Langley who was also closely associated with key historical figures in the development history of Waverley, including Robert Lowe and Mortimer Lewis of Bronte House, and the upkeep of the historically important South Head Road as secretary and surveyor to the Commissioners of the South Head Road Trust.]</p> <p>Noted the important Victorian streetscape along Carrington Rd, within the boundaries of the extended UCA.</p> <p>Appropriate colour palette should be included in DCP.</p>	<p>Endorses new, extended boundaries of the Charing Cross UCA.</p> <p>Endorses preparation of Design Guidelines that encourage conservation and restoration of buildings with heritage significance and the retention of core internal and external, original and early fabric and streetscapes. This should include an appropriate colour palette.</p> <p>Endorses the investigation of ways to reduce impact on heritage fabric resulting from the Codes SEPP.</p>
<b>Yanko-Lugar Brae UCA (formerly Evans St UCA) – extended UCA</b>	5 supportive 3 objection	<p>Support enlarged UCA to prevent heritage pillaging at expense of loved buildings; Heritage must be promoted. Heritage list</p>	<p>Maps out Bronte’s early colonial history of marine villas, which can still be traced in the extant subdivision patterns, built form and street and family names (Lugar Brae, Yanko, Evans, Macpherson).</p>	<p>Supports extension – historically significant streetscapes resulting from the break-up and subdivision of historically significant marine villa estates.</p> <p>Notes that mapping of the boundaries of the Yanko, Lugar Brae and Bleak House marine villas</p>	<p>Endorse Palmerston UCA.</p> <p>Endorses preparation of Design Guidelines that encourage conservation and restoration of buildings with heritage significance and the retention of core internal and external, original and</p>



		<p>2 Leichhardt St as former manse to Lugar Brae church.</p> <p>Current controls adequately covers heritage; False to market heritage as a positive;</p> <p>Remove Macpherson St shops from UCA;</p> <p>Heritage adds red tape.</p>	<p>Inclusion of shops in UCA supported during public engagement for Our Liveable Places strategy.</p>	<p>will aid community understanding of the UCAs historical importance and highlight the consistency of form, detailing and development of the area.</p>	<p>early fabric and streetscapes. The DCP should include an appropriate colour palette.</p> <p>Endorses investigation of 2 Leichhardt St for individual heritage list.</p>
<p><b>Grafton St UCA – extended UCA</b></p>	<p>1 supportive 3 objection</p>	<p>Recent DA approvals (194 Oxford St) nearby destroyed village atmosphere.</p> <p>The time to create a UCA has passed [this is an extension to an existing UCA, which dates from its proposed listing by the National Trust in the 1970s];</p> <p>The quality of life has been destroyed and the area feels commercial / industrial;</p> <p>To apply heritage restrictions leaves a low-rise pocket surrounded by high-rise.</p> <p>Heritage imposes costs including insurance.</p>	<p>The UCA is a remnant of the historic Grafton Estate and the late-Victorian and Federation commercial streetscape of Oxford St and remains historically consistent in character and form and demonstrates important historical phases of development. The area is significant for its association with the growth of the heritage conservation and has been listed since the 1960s. UCA backed by Queens Park Precinct Committee.</p> <p>The quality of living will not be destroyed by extension of the UCA - it might improve how the area is treated in planning matters.</p>	<p>Supports the extended UCA.</p> <p>Recommends the Oxford St shops in the UCA be able to increase in height to match the historic pub on the corner of Leswell and Oxford streets, subject to appropriate setbacks from front and back boundaries, use of cohesive materials.</p> <p>Recommend investigation of possible individual listing of:</p> <p>8-16 Leswell St; 5, 7, 11 Grafton St; 9, 11, 13 Nelson St.</p>	<p>Endorse Grafton St UCA.</p> <p>Endorse preparation of Design Guidelines that encourage conservation and restoration of buildings with heritage significance.</p> <p>Investigation the possible individual listing of:</p> <p>8-16 Leswell St; 5, 7, 11 Grafton St; 9, 11, 13 Nelson St within the extended Grafton Street UCA.</p> <p>Endorses renewed dialogue with the Heritage Office on how the insurance industry responds to conservation areas to reduce costs for owners.</p>

<b>South Bronte Headland-Calga LCA – extended LCA</b>	1 supportive 0 objections	Heartening to see such good heritage work from Council. To avoid domination of the reserve by the build form, the LCA could extend to include Calga St.	Significant value as a natural and cultural landscape due to its long history of seaside bathing and the beginnings of the surf lifesaving movement. The headland has aesthetic value based in its dramatic sandstone cliff-scape and views.	Supports the extension to LCA, which is an area of historical and aesthetic significance.	Endorses the extension of the South Bronte Headland LCA to include Calga Reserve.  Endorses further investigation of inclusion of Calga Street in the LCA.
<b>Dickson Estate LCA – new LC</b>	1 supportive 1 objection	Trees’ role as place-maker is overlooked; area around tree is and sightlines important to appreciate it;  Preservation of fig trees has landscaping upsides, but downside risks that need to be managed.	Cohesive groupings of heritage fig street trees, most dating back to Great Depression jobless relief tree planning programs of the 1930s. Has historic, social and aesthetic significance.	Supports the new LCA as a historically, socially significant Depression-era tree-planting work scheme.  Supports Council developing a tree succession planning policy with end-of-life options for species replanting or change. Specific species of trees underlie the historic significance of the LCA. An interpretation strategy and consideration of new plant species should then considered if trees become dangerous.	Endorses the new Dickson Estate LCA.  Endorse preparation of Design Guidelines that encourage conservation and restoration of buildings with heritage significance.  Supports Council developing a tree succession planning policy with end-of-life options for species replanting or change.

Public Feedback – Individual Items					
Item's address	Description	Public feedback	Council Officer Comments	Expert Panel Comments	Recommendation
<b>Bondi Beach Precinct</b>					
<b>1:</b> 28-30 Campbell Parade	<b>Inter-War:</b> <i>Cenira Mansions</i> - 1924 Paired with <i>Remola</i> (1923)	No feedback received	A fine example of the Inter-War Free Classical style, despite some loss of integrity. One of the original buildings on Campbell Parade to retain its original character and streetscape appeal. <i>Cenira Mansions</i> has aesthetic and historical significance defining the Campbell Parade Conservation Area.	Recommend individual listing	Endorse individual listing
<b>2:</b> 32 Campbell Parade	<b>Inter-War:</b> <i>Arnotts Flats</i> <b>1923</b>	No feedback received	An essentially intact Inter -War Classical Revival - style shop and residential flat building. Some loss of integrity but continues to make a streetscape contribution.	Marginal individual listing, but capable of restoration	Endorse individual listing
<b>3:</b> 50-54 Campbell Parade	<b>Inter-War:</b> <i>Walhalla Court</i> <b>1930s</b>	No feedback received	Walhalla Court has aesthetic and historical significance as an Inter -War flat building defining the Campbell Parade Conservation Area.	List jointly with 56 and 58 Campbell Parade as a significant streetscape element	Endorse group listing of 50-54, 56 and 58 Campbell Parade
<b>4:</b> 56 Campbell Parade	<b>Inter-War:</b> <b>1930s</b> Art Deco style	No feedback received	Two-storey Art Deco-style Inter-War shop-top housing. Upper-level original brick in four regular bays. Decorative parapet with central detail of Egyptian style. Has aesthetic and historical significance at local level.	List jointly with 50-54, and 58 Campbell Parade as a significant streetscape element	Endorse group listing of 50-54, 56 and 58 Campbell Parade
<b>5:</b> 58 Campbell Parade	<b>Inter-War:</b> 1938 Functionalist	Objections received	The building by the significant Inter-War architect Percy Gordon Craig represents the final stage of the Inter-War architecture story, before post-war Modernism took hold. Façade represents a dropping of affectations of the past as architects responded to changes flowing from Europe. Of architectural,	List jointly with 50-54 and 56 Campbell Parade as a significant streetscape element.	Endorse group listing of 50-54, 56 and 58 Campbell Parade.  Recommend further research on Waverley's Inter-War architects.

			streetscape, aesthetic, historical significance at local level.	Recommend further research on Waverley's Inter-War architects	
<b>6:</b> 72-76 Campbell Parade	<b>Federation:</b> <i>Grenfell Court, Majestic Mansions 1916</i>	No feedback received	Historical, aesthetic local landmark in Bondi Beach townscape. Architectural integrity weakened but continues to make a streetscape contribution. Good example of the Commercial Palazzo style.	Recommend individual listing	Endorse individual listing
<b>7:</b> 80 Campbell Parade	<b>Federation:</b> <i>Oceanic Mansions 1918</i>	No feedback received	Has aesthetic, historical significance as a fine example of Inter-War Stripped Classical style. One of original buildings on Campbell Parade to retain its character.	Recommend individual listing	Endorse individual listing
<b>8:</b> 96 Campbell Parade	<b>Inter-War</b> <i>Ozone Flats 1921</i>	No feedback received	Three-storey Inter-War Chicago School influences. Features pilastered columns above awning, with moulded capitals.	Recommend individual listing	Endorse individual listing
<b>9:</b> 104 Campbell Parade	<b>Inter-War</b> <i>Biltmore Private Hotel 1915- 1928</i> Classical Revival style	No feedback received	Four-storey residential building with shopfronts. Good Classical Revival style. Bracketed cornice to parapet of special note. Some good leadlight survives in some windows.	Recommend individual listing	Endorse individual listing
<b>10:</b> 140-142 Campbell Parade	<b>Late Federation</b> <i>Hazel Flats 1920</i>	No feedback received	Three-storey Inter-War flat building with shopfronts. Stripped Classical-style in three bays. Raised lettering on parapet with raised Classical framing detail.	Support individual listing	Endorse individual listing
<b>11:</b> 33 Denham St	<b>Inter-War, 1930</b> Architectural firm noted on the plans is L and G. McCredie and D Forsyth-Evans. Latter designed other significant buildings including a Georgian	Objections received	Further research on the building includes locating the original approval documents from January 1930 for H. C. Cutler, proprietor for "proposed flats to be erected at Denham Street, Waverley". Architectural firm noted on the plans is L and G. McCredie and D Forsyth-Evans. RAIA lists buildings associated with the firm including Burn Philp (Bridge St), University of Sydney, Mark Foys / Downing St Courts. George McCredie's son Leith is noted for his design of Bondi Surf Club in 1930 (noted in <i>Bondi Pavilion CMP</i> ), Sydney Boys High, and later as a partner in the noted firm Robertson, Marks & McCredie (designer of	Building is worthy of listing for its notable and worthwhile corner presentation, unique design elements and Inter-War Georgian revival detailing.  Recommend further research on Waverley's Inter-War architects.	Endorse individual listing.  Recommend further research on Waverley's Inter-War architects

	Revival cottage in Gordon (1926) for sister Annie Forsyth Wyatt OBE National Trust movement founder (1945). George McCredie, Scottish architect and engineer, oversaw cleansing, lime washing and demolition in The Rocks after plague outbreak in 1900. His photographic record of housing and poverty an extraordinary reminder of 1900s Sydney. Also a NSW MLA ( <i>Dictionary of Sydney</i> ).		state-listed AWA Tower). It is likely Leith served his apprenticeship in his father's firm. He was elected president of the RAIA in 1936.		
<b>12:</b> 25 Denham St	<b>Inter-War</b> Landmark Mediterranean-style building	Objections received	Landmark Spanish Mission-style house on Bondi Rd corner. Rainbow terra cotta roof tiles. Paired window arches on ground floor separated by barley columns and featuring sunrise motif. Barley columns at entry. Detailed heavy stucco overlap render.	Support individual listing for its design detail: window corbelling, roof tiles, parapet detail, balcony brick detail, arch tops of windows.	Endorse individual listing

<b>13:</b> 1 Edward St 10 Francis St	<b>Federation Arts and Crafts</b> <i>Cecil Flats</i> , 1919 Nominated for State heritage listing – declined by Heritage Council	No feedback received	Late Federation Arts and Crafts style by noted architect Claud Hamilton. Exceptional example of innovative design utilizing evolving residential flat building with high social significance for notable aesthetic qualities.	Support individual listing	Endorse individual listing
<b>14:</b> 8 Fletcher St	<b>Inter-War</b> Spanish Mission, Fence characteristic of the predominant local style	No feedback received	Spanish Mission-style. Detailed render in seashell pattern stucco-overlap. Stained glass arched leadlight window over entry portico with scrolled decorative parapet above.	Support individual listing	Endorse individual listing
<b>Bronte Precinct</b>					
<b>15:</b> 2 Bayview St	<b>Inter-War</b> Well-detailed entrance brickwork of note.	No feedback received	Unusually large Old English style building overlooking Bronte Beach with landmark proportions.	Support individual listing	Endorse individual listing
<b>16:</b> 10 Belgrave St	<b>Victorian</b> Constructed during the subdivision of Palmerston estate lands	No feedback received	Freestanding single-storey bungalow in Victorian Italianate style.	Did not support individual listing – loss of original detailing	Remove from draft listing
<b>17:</b> 13 Belgrave St	<b>Federation</b> Part of the speculative subdivision housing of the early Federation period	No feedback received	Early Federation Worker's cottage built on land from 1860s Palmerston Estate land. An example of the evolution of housing in Waverley from a district of rural worker housing and isolated marine villas to close subdivisions.	Did not support individual listing – loss of original detailing	Remove from draft listing



<b>18:</b> 20 Belgrave St	<b>Victorian</b> Resulted from the sell-off of early land grants in the Bronte area	No feedback received	Evidence of Free Classical style; freestanding single-storey bungalow; projecting central front bay. Original chimney	Did not support individual listing – loss of original detailing	Remove from draft listing
<b>19:</b> 22 Belgrave St	<b>Victorian</b> Built on land that once formed the Mandeville estate	No feedback received	Example of speculative subdivision housing, 1890s Freestanding single-storey bungalow; iron veranda posts. Rendered brick.	Did not support individual listing – loss of original detailing	Remove from draft listing
<b>20:</b> 209 Birrell St	<b>Federation:</b> Well-detailed freestanding bungalow. Double-fronted symmetrical design.	No feedback received	Early single-storey bungalow on corner. Dominant roof form. Double-fronted symmetrical design. Banded brick now painted; contrast banding also on front fence.	Support inclusion in a potential new Birrell St conservation area	Endorse individual listing
<b>21:</b> 213 Birrell St	<b>Federation:</b> Subdivision of Waverley's early estates began along ridgelines	No feedback received	Single-storey bungalow. Dominant roof form. Double-fronted symmetrical design. Iron veranda posts. Palisade fence. Original Federation freestanding bungalow	Support inclusion in a potential new Birrell St conservation area	Endorse individual listing
<b>22:</b> 3 Blandford Avenue	<b>Inter-War:</b> Californian bungalow. Blandford Ave formed from land sale, 1855.	No feedback received	Good and last remaining example of a 1920s Californian Bungalow in this location at Bronte with mature gardens and landscaping across sandstone terraces stepping down steep site.	Support individual listing of lot including interiors	Endorse individual listing
<b>23:</b> 2 Read St	<b>Federation:</b> example of the evolution of housing in turn-of-century Waverley	Objection received	Freestanding, single-storey early 20th century weatherboard cottage	Do not support individual listing – loss of original detailing	Remove from draft listing

<b>24:</b> 7 Read St	<b>Federation:</b> early 20 <sup>th</sup> century weatherboard cottage with ironwork	Objection received	Early 20th century freestanding weatherboard cottage	Do not support individual listing – loss of original detailing	Remove from draft listing
<b>25:</b> 16 St Thomas St	Inter-War, 1927, <i>Meta-Court</i> , Georgian Revival. Good leadlight survives in the upper floor windows.	Support from one owner and Bronte Precinct Committee	Georgian Revival-style Inter-War residential flat building; symmetrical façade with extruded central entry bay. Name appears above entrance in raised lettering on a contrasting concrete band across original face brick.	Support individual listing	Endorse individual listing
<b>Penkivil/Waverley Precinct</b>					
<b>26:</b> 40 Flood St	<b>Inter-War:</b> Freestanding three-storey Art Deco style flats building.	No feedback received	Part of a cohesive Inter-War streetscape group. Rounded cantilevered balconies on corners. Original face brick.	Support individual listing	Endorse individual listing
<b>27:</b> 17 Ocean St North	<b>Inter-War:</b> Functionalism-style flat building. Symmetrical design. Bow-fronted paired with decorative parapets. Unusual curved bays. New native garden at rear of note.	Support for group listing 17, 17a and 19 Ocean St from apartment owner at No 17	Elevated from street. Impressive raised prominence creates a significant Inter-War apartment streetscape alongside the adjacent heritage bungalows. They offset the extreme modernity of development on the opposite side, allowing a historically layered streetscape.	List jointly with 17a and 19 Ocean St North as a significant streetscape element	Endorse group listing of 17a and 19 Ocean St North
<b>28:</b> 17a Ocean St North	<b>Inter-War:</b> Free Classical-style with Art Deco elements.	No feedback received	Good, intact example of an Inter-War, Free Classical-style flat building with Chicago school elements. Original face-brick with decorative brick.	List jointly with 17 and 19 Ocean St North as a significant streetscape element	Endorse group listing of 17 and 19 Ocean St North

<b>29:</b> 19 Ocean St North	<b>Inter-War:</b> Georgian Revival-style. Original face brick, rosette detailing on rendered lintel cornice. Stained glass above classical portico. Balconies enclosed. Sandstone garage to street.	Objection received	Some original features have deteriorated, but this does not disqualify it from heritage listing. Nor does a mix of styles identifiable across the sites –a key feature of Inter-War architecture is its use of Revival styles. While Waverley contains many quality expressions of the Inter-War architecture, this does not mean the subject site falls short of the reaching the benchmark of significance.	List jointly with 17 and 17a Ocean St North as a significant streetscape element	Endorse group listing of 17 and 17a Ocean St North
<b>30:</b> 2b Penkivil St	<b>Inter-War</b> Freestanding three-storey Art Deco-style Inter-War flats building, named <i>Roland Gardens</i> .	No feedback received	Freestanding flats. Original textured multi-coloured face brick of red-brown. Symmetrical facade with 5 stepped bays. Art Deco-style stepped decorative brick parapets. Façade also features decorative contrasting brick banding.	Support individual listing	Endorse individual listing
<b>31:</b> 5 Penkivil St	<b>Victorian</b> villa, Italianate and Filigree styles with Federation Arts and Crafts overlay. Dramatic streetscape character of heritage significance.	Objection received	Of aesthetic significance as an example of evolving form of the Victorian freestanding townhouse. Of aesthetic and historic significance as a dramatic streetscape element on a raised site with views to Bondi over Schneider's Glen. Missing historical detail is capable for replacement and does not preclude heritage listing. Listing does not prevent site development. Other buildings of heritage significance remain in Penkivil St. Even if there were none, it is not unusual for a street to contain only one listed house. Zoning change has no impact on decisions on heritage significance.	Support listing. Villa is capable of revitalization – missing fabric does not preclude listing. Historically important as a surviving example of upper middle class housing in Waverley.	Endorse individual listing
<b>32:</b> 70 Penkivil St	<b>Inter-War:</b> Constructed in the 1930s in a	Objection received	The building records and marks out the corner block that once housed one of Bondi Road's early Marine Villa gentleman's estates. Its presence records the	Support listing.	Endorse individual listing

Also known as 160 Bondi Rd	simple Classical style with Chicago School influences. Inter-War shop-top housing a feature of Waverley's streetscapes - Bondi Road has fine examples.		pattern of subdivision of the area. It also records the scale of the fabric and the humanity of original streetscape. Strong cubic form is part of its strength. Demolition of such a building from the Inter-War period would see the removal of quality and texture from streetscape. Missing historical fabric does not mean it should not be heritage listed.	Building has landmark status; its architectural detail is still present, giving quality and variety, texture and activity – as opposed to standardisation	
<b>33:</b> 22 Bennett St	<b>Victorian:</b> Freestanding double-storey Italianate terrace, arched entrance with Classical detail. Iron lace on veranda. Back-to-back pair with Park Parade.	No feedback received	Grand Italianate terrace. Aesthetic, historical significance as part of early grand estate subdivision along the top half of Bondi Road. On the land of Edward Bennett, who purchased in 1853. His estate was subdivided for sale in 1881, with 66 allotments. This house dates from that period.	Support listing.	Endorse individual listing
<b>34:</b> 27 Bennett St	<b>Victorian</b> Freestanding terrace; central tower with Classical detail. Palisade fence, with decorative sandstone.	No feedback received	Double-storey Italianate residence retains original detailing and provides a streetscape element of landmark quality. The building suffers from later unsympathetic work, but could be restored.	Support listing.	Endorse individual listing
<b>35:</b> 28, 29 Park Parade	<b>Victorian:</b> Pair of attached Victorian Italianate terraces, high off street. Dual	Objection received from No 28	The attached terraces are the most prominent pair along Park Parade, facing Waverley Park. They are a significant example of the transition in architectural styles from late Victorian to early Federation. The towers incorporated into the building serve to emphasise the scale of the building and give greater	Support listing.	Endorse individual listing

	central arched entry tower, retains original detail. Distinctive streetscape semi-detached pair facing Waverley Oval.		substance to building than typical terrace. Their position on the park and relationship to water/ horizon / Bondi Valley reflect their landmark status and their original outlook across Waverley before it was developed in the Inter-War period and later. Distinctive street-scape feature of aesthetic, historical significance.		
<b>36:</b> 2-14 King St	<b>Federation:</b> Row of semi-detached dwellings, terra cotta tile roofs, timber balcony fretwork; pitched portico	No feedback received	Cohesive group within a streetscape of mature figs. Streetscape has social significance as a demonstration of Depression-era work schemes. Aesthetic significance includes streetscapes of cohesive planting, type, scale form and alignment.	Support listing.	Endorse individual listing
<b>37:</b> 4, 6, 8, 10 Stephen St	<b>Federation:</b> Row of Federation-era semi-detached dwellings.	No feedback received	Built after the subdivision of Bondi's villa estates. Depression-era tree planting.	Did not support individual listing – loss of original detail.	Remove from draft listing
<b>38:</b> 97 Ocean St	<b>Federation</b> Classic detailing. Complex terra cotta roof with false gables and hoods. Original fence of castellated pattern.	No feedback received	Well-detailed freestanding single-storey bungalow of red brick. Complex and dominant terra cotta tiled roof broken with splayed corner gables. Lowered entry roof supported on turned timber veranda posts. Original chimneys.	Support listing.	Endorse individual listing
<b>Rose Bay Precinct</b>					
<b>39:</b> 70 Liverpool St	<b>Inter-War:</b> Irregular arrangement of	No feedback received	Historical, aesthetic significance. The bungalow is an intact mid-20th century residence constructed in the Ocean Liner style. Records the detail and quality of	Support listing.	Endorse individual listing

	elements, simple curved geometry, white rendered face brick, flat roof concealed by raised parapet. Linear window patterns.		construction employed in consolidation of outer suburbs of Waverley in the Inter-War period.		
<b>40:</b> 1 Warners Ave	<b>Inter-War:</b> Bondi Lawn Bowling Club. Clubhouse an important streetscape element of Warners Ave's park. Features an unusual roof with hipped gable set asymmetrically.	No feedback received	The 1935 Bondi Bowling Club has historical, aesthetic and social significance. Its use as a recreation facility is ongoing. A good example of an Inter-War building with Old English influences. Collection of memorabilia contained in clubhouse reaches back to the inception of the club in the 1930s.	Support listing.	Endorse individual listing
<b>North Bondi Precinct</b>					
<b>41:</b> 127, 129 Hastings Parade	<b>Inter-War:</b> paired Inter-War Arts and Crafts-style residential flat buildings. Constructed as matching pair with sandstone fences associated with the established use of locally quarried material, which	No feedback received	Substantially intact examples of speculative development at Ben Buckler during the Inter-War period. The new housing form capitalised on the scenic outlook, the growing popularity of Bondi was a residential location and improved tram transport. The grouped buildings demonstrate the initial aesthetic approach to the new housing type adapting articulation and detail previously employed in Federation Arts and Crafts residences.	Support listing as a pair.	Endorse listing as a pair



	further enhanced streetscape.				
<b>42:</b> 131 Hastings Parade	<b>Inter-War:</b> Two-storey Art Deco flats with Moorish variations seen in seaside localities. Incorporates a projected break-front elevation articulated as a Moorish-influenced screen to the front of a conventional hip-roofed face-brick building.	No feedback received	The street elevation incorporates vertically emphasised pointed arched Moorish style windows between expressed pilasters tapered into a raised parapet. Reflects influence of French Art Deco and in turn its North African colonies particularly Casablanca, on the evolution of the Art Deco style. Demonstrates the attention to detail and contemporary taste of flat construction in a competitive market prior to World War II.	Support individual listing.	Endorse individual listing
<b>43:</b> 133, 135 Hastings Parade	<b>Inter-War:</b> paired Arts & Crafts flats of similar design to 127-129 Hastings Pde. Paired two-storey buildings originally face brick, Quarry-faced sandstone spandrels to ground floor and shingle-clad spandrels to first floor.	Support from an owner at 133 Hastings Parade	The paired residential flat buildings demonstrate the later Arts & Crafts style employed in 1920s speculative residential flat buildings of the 1920s. Detailed quarry-faced low sandstone fences associated with locally quarried material, enhanced streetscape.	Support listing as a pair.	Endorse listing as a pair

<b>44:</b> 165, 171 Hastings Parade	<b>Inter-War:</b> Spanish Mission-style group of freestanding residences and residential flat buildings in varied states of intactness. Typical of this area and part of a good group.	No feedback received	All constructed at about the same time. Fine examples of the American influence based on the Spanish Mission style of Mission Valley, California. Popularised in other parts of the world that also have a warm, temperate climate. Especially popular in beach environments due to their white colour and brightness. Most are reasonably intact and characterise the built form of this locality.	Support listing as a group.	Endorse listing as a group
<b>45:</b> 181 Hastings Parade	<b>Inter-War:</b> Art Deco-style flats with Old English influence in ornate brick work. Original red face brick. Parapet with vertical Art Deco detail. Original ground- floor windows replaced by double doors.	No feedback received	Following initial development as the Queenscliff Estate in the 1880s, Hasting Parade at Ben Buckler became a sought-after site for Inter- War residential flat buildings due to exceptional views of the ocean and Bondi Beach. Many replaced earlier Federation cottages, others occupying vacant sites on the rocky slopes looking south.	Support individual listing.	Endorse individual listing
<b>Dover Heights Precinct</b>					
<b>46:</b> 14 Lyons Rd	<b>Modernist.</b> Irregular elements, simple geometry with intersecting shapes, white rendered face	No feedback received	Designed by celebrated Modernist architect Harry Seidler. Rare surviving example of Modernist house. Local aesthetic, historical importance. Substantially intact.	Support Individual listing.	Endorse individual listing

	brick, flat roof concealed by parapet.				
<b>47:</b> 17 Douglas Parade	<b>Functionalism</b> Single-storey, plain render, contrast bands, irregular element arrangement; curved entry; ribbon windows; flat roof concealed by parapet.	No feedback received	Local aesthetic, historical importance. Rare unaltered example of Functionalism-style house built in 1936 for a Dr Campling. Of note is the thoughtful integration of the garage into the house, a new concept at the time.	Support listing.	Endorse individual listing
<b>48:</b> 144 Military Rd	<b>Functionalism</b> Original face brick. Irregular arrangement of building elements. Rounded two-storey front projection.	No feedback received	Rare example of an intact Functionalism home dating from 1938. Historical, aesthetic significance. Intact example of an early house displaying features typical of the period.	Support listing.	Endorse individual listing
<b>49:</b> 7 Napier St	<b>Inter-War:</b> Original face brick, double-fronted irregular arrangement of building elements; curved left half of façade.	No feedback received	Functionalism style, possibly early post-war, a derivation of earlier Ocean Liner forms. Functionalism homes becoming rare in Waverley. Historical, aesthetic significance. Of note is the thoughtful integration of the garage, a new concept at the time.	Support listing.	Endorse individual listing
<b>50:</b> 57 Hardy St	<b>Functionalism</b> Double-storey Functionalism style. Original	Executor of Sheedy estate sought	Functionalism, 1939. F. G. Leslie Allen, noted Inter-War architect, winner of 1945 Wynne Art Prize. Built for S. H. Sheedy. Last resident was his son Sidney David Sheedy, honorary life member of National	Support listing.	Endorse individual listing

	face brick, double-fronted irregular arrangement of building elements; curved left half of facade; timber ribbon windows; pitched roof, terra cotta tiles.	heritage listing	Trust, heritage architect, expert on the preservation of NSW railway heritage. Completed many CMPs for rail conservation projects including Carriageworks. His work was basis for heritage colour schemes at NSW stations. Drawings collection in State Library. Functionalist design now rare in Waverley.		
<b>Charing Cross Precinct</b>					
<b>51:</b> 65 Albion St, <b>52:</b> 67 Albion St	Victorian. Freestanding terrace pair. Original fabric. Slab-sided projecting blade walls. Filigree-style detail on front façade. Original cast iron columns and lacework, original chimneys.	No feedback received	Good examples of Victorian terrace-style housing, with much original fabric intact. No 67 <i>Bolingbroke</i> retains coach house at rear. First mentioned in Sands Directory in 1886. Historically significant streetscape elements related to the evolution of the Charing Cross townscape over the past 130 years. Aesthetic, architectural significance.	Support listing terraces as a pair	Endorse listing as a pair
<b>53:</b> 223-227 Bronte Road (Lot A in DP 332733)  94 Carrington Road	<b>Inter-War:</b> A two-storey c1925 Functionalist-style shopfront building facing Bronte Road with first-floor apartments. Contains three	No feedback received during public exhibition	The buildings at 223-227 Bronte Rd are of historical significance as part of the important overlay of the early 20th century phase of growth and consolidation of the Charing Cross UCA's village precinct, which resulted in a strong theme of early 20th century architecture overlaying the earlier Victorian architecture of the locality.  Stamatiko Flats are of aesthetic significance as a good example of a relatively intact Mediterranean	Support listing.	Endorse individual listing

(Lot A & B in DP 332733)	shops displaying Georgian Revival elements, especially on the upper floor. Substantially intact and in moderate condition. Nos 223, 225 are relatively rare as original early 20th century shopfront.  Stamatiko Flats: c1936 Mediterranean; noted architect George N. Kenworthy. Highly intact externally but in poor condition.		building designed by the noted early 20th century Sydney architect George N. Kenworthy. It displays key characteristics of the style and further distinction as a result of Kenworth's involvement. It has the potential to provide a greater understanding of the domestic work of an influential architect who was highly regarded for his theatre work.		
<b>South Bondi Precinct</b>					
<b>54:</b> 309-311 Bondi Rd	<b>Federation:</b> Matching pair of sandstone semis. Bullnose verandas, turned timber posts. Original tile roofs, original chimneys.	Objections received from 309 and 311	The sandstone semi-detached dwellings appear isolated because they are rare examples of their type in the area. There is no evidence that other sandstone semis were built nearby. They remain a rarity because most sandstone architecture in Waverley is associated with the existence of a local quarry. It is likely these houses were built to support the tourist industry fostered by the growing interest in sea bathing in the decade after ocean swimming in daylight hours was legalised. The semis' unusual	Support listing.	Endorse individual listing

	Notable sandstone fences. Federation houses built in response to tramline extension.		fabric and location serves to highlight their heritage significance. A core aspect of their aesthetic value is the cohesion of the pair.		
<b>55:</b> 67 Fletcher St	<b>Inter-War:</b> 1936, Art Deco-style, four-storey flats. Original face brick. Façade in 3 bays, middle projected. Middle parapet conceals roof.	No feedback received	<i>Stirling Manor</i> , constructed 1936 for C. Williams esq, has local aesthetic and historical significance. Approval documents from 1936 included drawings from Australian Reinforced Concrete (A.R.C) Engineering Pty Ltd Side bays recessed with front rounded balconies - similar design detail to heritage-listed flats on Curlewis St, Bondi, and heritage-listed <i>Lurline</i> on Campbell Parade.	Support listing.	Endorse individual listing
<b>56:</b> 63 Fletcher St	<b>Inter-War:</b> Art Dec-style. Presents to Fletcher Street as two-storey, Dellview Street as three/four storeys in response to topography.	No feedback received	Built around a central courtyard. Current iteration of the building dates from 1938, when additions and alterations were approved to designs by architect Harold W. Reilly, of 10 Togo St, Penshurst for F. B. Shenstone. Longer site history associated with accommodation for visitors to Bondi Aquarium and Wonderland. Local aesthetic, historical and streetscape significance.	Support listing.	Endorse individual listing
<b>57:</b> 69 Fletcher St	<b>Inter-War:</b> 1938, Art Deco-style three-storey flats. Painted brick. Façade broken into 4 bays, middle 2	No feedback received	Historical, aesthetic, architectural, streetscape significance. Curved corner brickwork. Parapet conceals terracotta roof. Strong corner and landmark streetscape presence at southern entry to Bondi. Approval documents from 1938 included drawings from Australian Reinforced Concrete (A.R.C) Engineering Pty Ltd for L. Gordon, builder G. Rowles.	Support listing.	Endorse individual listing



	projected. Vertical decorative pier and centre of both street facades.				
<b>58:</b> 1 Silva St	<b>Inter-War</b> Art Deco style flats. Three and 4-storey reflecting typography. Original face brick. Façade in 3 bays. Middle bay featuring brick arch with orders. Middle parapet conceals roof.	No feedback received	Historical, architectural, streetscape significance, featuring unusual side bay feature projecting curved elements. Designed in 1938 by architect Dudley Ward. Later designed European Modernist-style theatres in Australia influenced by German architecture. Also designed the Metro at Kings Cross.	Support listing.	Endorse individual listing
<b>59:</b> 7, 9 Wonderland Ave	<b>Inter-War:</b> Spanish Mission-style three-storey residential flat building characterised by front portico feature supporting stepped-up terraces to main façade with barley sugar columns marking entry. Centralised	No feedback received	Spanish Mission style. Masonry fence characteristic of predominant style in the locality. Historical, architectural, aesthetic and streetscape significant streetscape as matched pair. Designed in 1933 for Wonderland City Estate for a Mrs A. Darley. Architect not noted on approval documents.	Support listing.	Endorse individual listing

	<p>decorative parapet. Roughly applied stucco. Paired window arches. Combination of cartouche, garland and patina features on scrolled parapet. Detailed render in seashell pattern.</p>				
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